



## **18 Hawthorne Avenue**

Planning Addendum + Revised Design Brief  
Site Plan Control  
April 14, 2023



Prepared for JB Holdings Inc.

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# 1.0 Introduction

Fotenn Planning + Design (“Fotenn”) has been retained by JB Holdings Inc. to prepare this Planning Addendum and Revised Design Brief in support of an application for Site Plan Control to facilitate the proposed development on the lands municipally known as 12, 20, and 24 Hawthorne Avenue (the “subject site”, or referred to in this report as “18 Hawthorne Avenue”) in the City of Ottawa.

The application for Site Plan Control follows an active application for Zoning By-law Amendment which intends to establish the zoning to permit the development of a 6-storey mixed-use building incorporating 67 units consisting of 6 studio units, 30 one-bedroom units and 31 two-bedroom units in addition to 5 commercial tenancies located at-grade. The building will be supported by a variety of amenity offerings including a rooftop area and private balconies. Two levels of underground parking are proposed, accommodating 47 vehicle spaces, bicycle storage, and internal refuse storage.

Please note that this report is considered an addendum to the 18 Hawthorne Avenue Planning Rationale + Design Brief dated September 28, 2022. While this report serves to update the reader on the progress made on the overall building design, please refer to the original report for a broader discussion of the site location and context, as well as the broader policy framework.

## 1.1 Required Applications

In order to proceed with the development as envisioned, the following planning applications are required:

### Zoning By-law Amendment

The recently submitted Zoning By-law Amendment (D02-02-22-0096) seeks to amend the existing Traditional Mainstreet (Subzone 12, Urban Exception 1839, Maximum Height 14.5m) zoning on a site-specific basis in order to facilitate development of the site plan as proposed. The site would be rezoned from “TM12 [1839] H(14.5)” to “TM12 [XXXX] H(20)”. Exception XXXX would incorporate the following revised performance provisions:

- / Amend the front yard setback requirement from a minimum of 2 metres to a minimum of 0.9 metres;
- / Amend the requirement for a building step back from “2m after the fourth storey” to “0.6m after the fourth storey; 1.85m after the fifth storey to the front building wall, and 1.9 after the fifth storey to the rear building wall”;
- / Amend the minimum rear yard setback from 7.5m to 6.5m;
- / Despite Table 65(6)(c), permit balconies to project up to 0m from the front property line; and
- / Increase the maximum permitted building height from 14.5 metres to 20 metres.

### Site Plan Control

The application for Site Plan Control currently being submitted pertains to the detailed aspects of the development design such as parking lot layout, refuse collection, building materiality, engineering design, and other features.

## 1.2 Overview of Proposed Changes

Following the first technical review of the development proposal and the input from the community at a Community Information Session on January 16, 2023, the following broad changes have been made to the development proposal:

- 1) Commercial uses are now proposed at-grade in five (5) separate leasable units;
- 2) A stepback of 0.6m has been introduced above the fourth floor of the front building wall;
- 3) The mechanical penthouse has been relocated and diminished in size;
- 4) Red brick cladding has been applied in a manner that emphasizes the fourth storey datum line;
- 5) The second floor canopy has been removed;
- 6) The underground parking access has been relocated to the east side of the proposed building; and,

- 7) The rear yard has been revised to add more tree canopy and additional fencing in order to screen the proposed development (See Section 2.4).

Figure 1 illustrates the changes to the front building perspective, with numbers corresponding with the list above.



Figure 1: Comparison between previous building design (top) and current building design (bottom)

### 1.3 Public Consultation Strategy

All public engagement activities will remain compliant with Planning Act requirements, including circulation of notices and the Statutory Public Meeting. The following Public Engagement steps and activities have already been undertaken in preparation of this application submission or will be undertaken in the following months after the application has been submitted:

- / Notification of Ward Councillor
  - The Ward Councillor would have been notified by the City of Ottawa's "Heads Up" e-mail when the Zoning By-law Amendment application was received.
- / Notification to residents and local registered Community Associations
  - Would have been completed by the City of Ottawa pursuant to the Planning Act and the City of Ottawa's Public Notification Policy when the Zoning By-law Amendment application was received.
- / Community Information Session
  - A Community Information Session was held with the local neighbourhood residents on January 16, 2023. A number of the recommendations and input have been applied to the current building design and proposal.
  - As necessary, the applicant will be open to future Community Information Sessions to advance the dialogue between the local residents and the proponent as the proposal evolves.
- / Urban Design Review Panel Formal Review
  - A formal review of the proposed development will be undertaken by the Urban Design Review Panel as part of the development application process.
- / Planning Committee Meeting Advertisement and Report Mail out to Public
  - Notification for the statutory public meeting relating to the Zoning By-law Amendment will be undertaken by the City of Ottawa.
- / Statutory Public Meeting for Zoning By-law Amendment – Planning Committee
  - The statutory public meeting relating to the Zoning By-law Amendment will take place at the City of Ottawa Planning Committee.



## 2.0

# Proposed Development and Design Brief

JB Holdings Inc. is proposing to redevelop the subject property with a 6-storey mixed-use apartment building. The proposed development will incorporate 67 units consisting of 6 studio units, 30 one-bedroom units and 31 two-bedroom units in addition to 5 commercial tenancies located at-grade. The building will be supported by a variety of amenity offerings including a rooftop area and private balconies.

The fifth storey will be stepped back 0.6m from the front building wall. The sixth storey of the building will be stepped back 1.85m from the front wall and 1.9m from the rear building wall to provide a transition to adjacent low-rise residential development and the Hawthorne Avenue streetscape.

Two levels of underground parking are proposed, accommodating 47 vehicle spaces, bicycle storage, and internal refuse storage. The garage will be accessed through a recessed door at the easternmost extent of the front building wall.

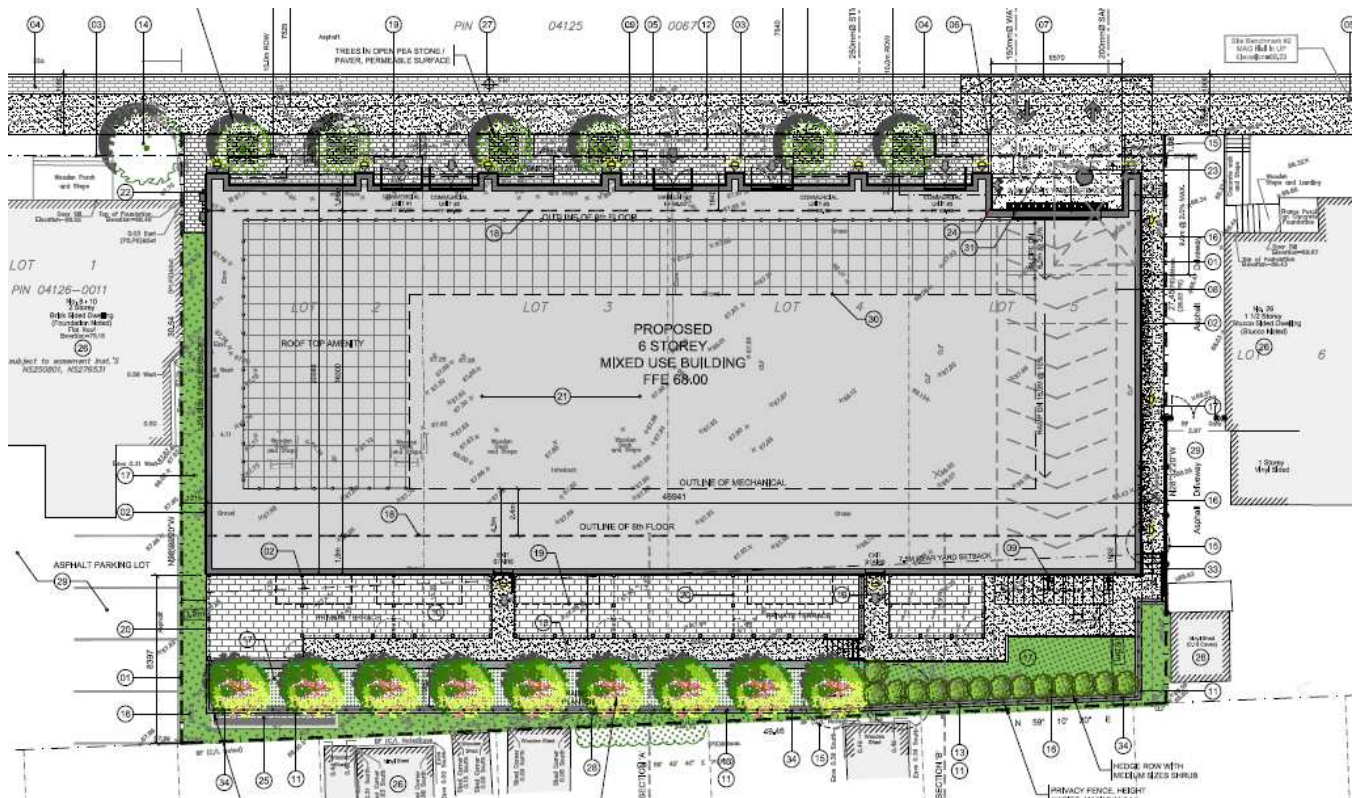


Figure 2: Site plan of proposed development

In redesigning the proposed development, numerous components were assessed to respond to the existing and planned context, and to ensure liveability for future residents. The following sections outline and describe these considerations.

## 2.1 Building Massing and Scale

Given the adjacency to a Transit Priority Corridor and location on a Mainstreet Corridor, the subject property represents an opportunity to support a concentration of density that insulates nearby low-rise forms by locating the highest rates of intensification in areas that can support the capacity. In accordance with the planned and existing context for the area, the proposed development meets the applicable urban design criteria for mid-rise buildings.

With consideration to the planned intensification of the Old Ottawa East Secondary Plan area, a proposal for mid-rise heights on a Mainstreet is appropriate. The building mass has been sensitively designed and located reflecting the need to transition upward and emphasize a human scale. To this end, the building has been broken up into three primary components:

- / **Floors 1-4:** The adjacent character of the two-storey red brick building to the west is carried across through the incorporation of cherry brick cladding at the first four levels which contributes to the cadence and impression of the nearby development, contributing to a consistent street wall. The portion of the ground floor housing the parking garage is finished in consistently coloured cladding to minimize its impression at the street level and appear subordinate to the primary building façade. Classic lighting sconces punctuate the ground level impression, providing passive lighting and interest at the street level. The commercial tenancies proposed at-grade make use of plentiful glazing to provide activity and visual interest to the street frontage.
- / **Floor 5:** Floor 5 is distinguished from the lower floors by a defining awning feature, above which the materiality transitions to an Alaska white brick cladding which softens the appearance of the upper storeys while also framing the articulation cuts present to break up the building mass. A stepback of 0.6m is applied to provide relief from the building frontage and appear subordinate to the 4-storey form.
- / **Floor 6:** The top floor of the proposed building is stepped back 1.85 metres from the front line and 1.9 metres from the rear property line to minimize the impact of the top floor in terms of shadowing and overlook. This level is clad in clear anodized window wall in order to reflect natural patterns in the sky and blend the building into the skyline.



**OLD**

**NEW**



Figure 3: Renderings of proposed development, viewed from the Hawthorne Avenue street edge and from a rear perspective

The subject property is in an area that is intended to evolve to support additional density, particularly as a result of the proximity to public and active transportation options. Any future redevelopment to the east, north and west will likely be of a comparable form to that proposed for the subject property, given the direction from the Official Plan and Old Ottawa East Secondary Plan.



Figure 4 – At-grade perspective of the proposed development looking south

Vehicular access to, and egress from, the proposed building will be provided from one (1) driveway access facilitating bi-directional circulation from Hawthorne Avenue. Per input from the community and City of Ottawa, the garage location was moved from the western edge of the building to the eastern edge to provide improved visibility for drivers exiting the garage.

The proposed development includes 42 tenant parking spaces at a rate of 0.66 spaces per dwelling unit, and 5 visitor parking spots for a total of 47 spaces.

Bicycle parking is provided in the form of 34 spots located in the underground parking garage, at a rate of 0.53 spaces per dwelling unit.

### 2.3 Amenities

The proposed development will provide a variety of amenities for the building residents. The proposal will add the following amenities to the existing offerings of the site:

- / Private balconies and terraces totalling 340 square metres; and
- / Roof top communal terrace totalling 195 square metres.

In total, the proposed new development is offering residents 535 square metres of amenity, 195 square metres of which are communal. This exceeds the requirements of the Zoning By-law.

While not included in the amenity calculations, the proponent's intent is to include a gym and co-working space within the retail tenancies which would be available for membership by both tenants and members of the community.



## 2.4 Rear Yard Context

The rear yard incorporates a raised planting bed that allows for the planting of nine (9) Newport Flowering Plum deciduous trees. It is intended that these mid-size trees will provide privacy, shade and colour to improve the transition between the proposed building and adjacent homes. The remainder of the rear yard is buffered by Pon Purple Ninebark shrubs. A 2.1 metre opaque fence is also proposed along the rear yard to further improve the privacy to nearby properties.



Figure 5: Rear Yard Context. Top: Eastern edge of rear yard; Bottom: Western edge of rear yard.

around to the street frontage. A communal rear yard area is also present which incorporates bicycle parking and soft landscaped areas for taking out pets.

Given the property's irregularly angled rear lot line, a portion will remain as soft landscaping as well as an air intake grill.

## 2.5 Building Sections

The revised building design improves compatibility in relation to the front and rear property lines. The mechanical penthouse is moved towards the centre of the rooftop and reduced in height, minimizing its impact on the rear angular plane. The fourth floor stepback from the front building wall also allows for a more sensitive and human-scaled public realm. The removal of the second-floor canopy allows for reduced shadowing and removes interference with the proposed trees along the frontage.

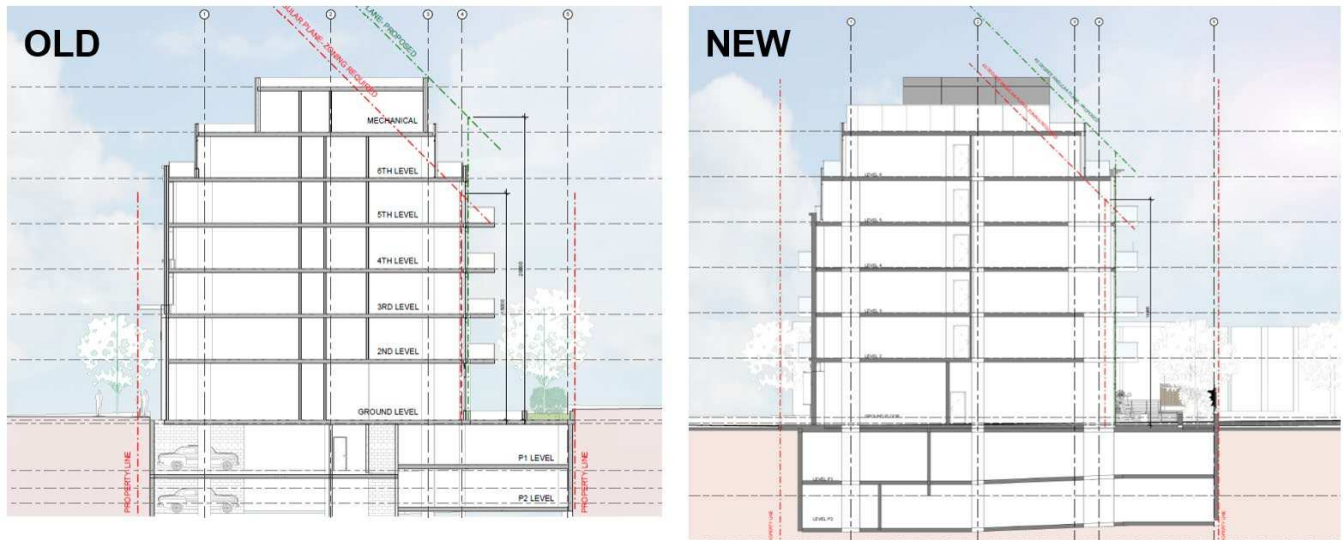


Figure 6: Building Cross-section, compared

## 2.6 Rooftop Plan

The rooftop configuration has been revised in relation to input received from the community and the City of Ottawa. The mechanical penthouse has been reconfigured and moved into the centre of the rooftop. This has reduced the scale of the rooftop amenity area, which now has improved separation from the rear and interior property lines. This will reduce overlook and improve privacy to adjacent landowners.

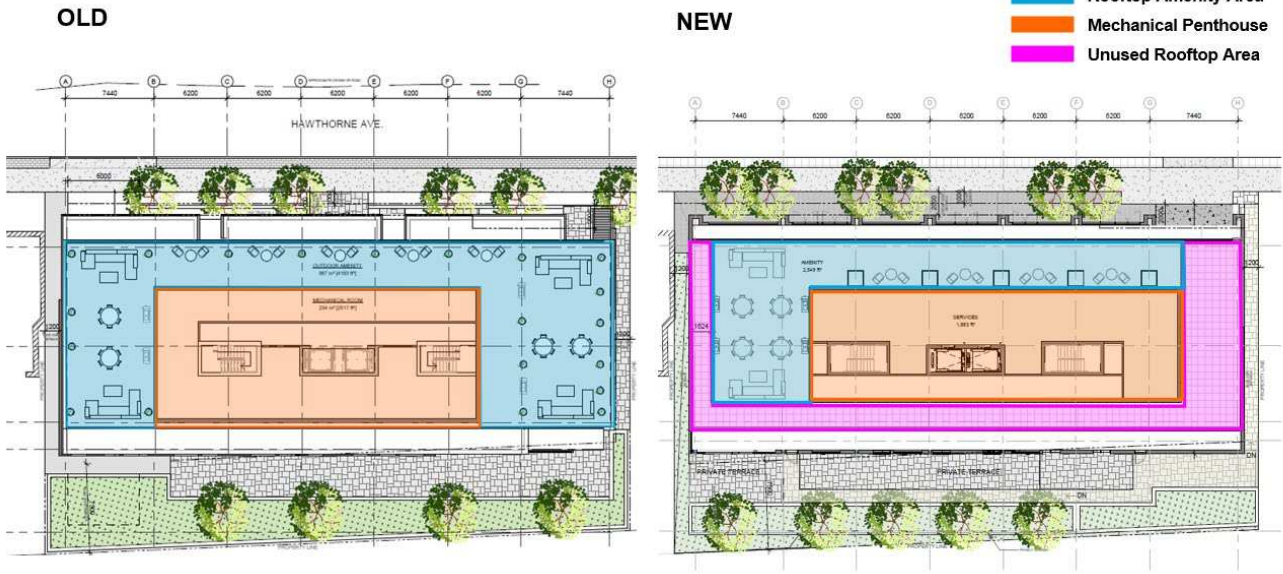


Figure 7: Proposed changes to rooftop area.



### 3.0 City of Ottawa Zoning By-law

The site is zoned Traditional Mainstreet, Subzone 12, with Urban Exception 1839 and a maximum height of 14.5 metres (TM12 [1839] H(14.5)) in the City’s Comprehensive Zoning By-law (2008-250) (Figure 8).

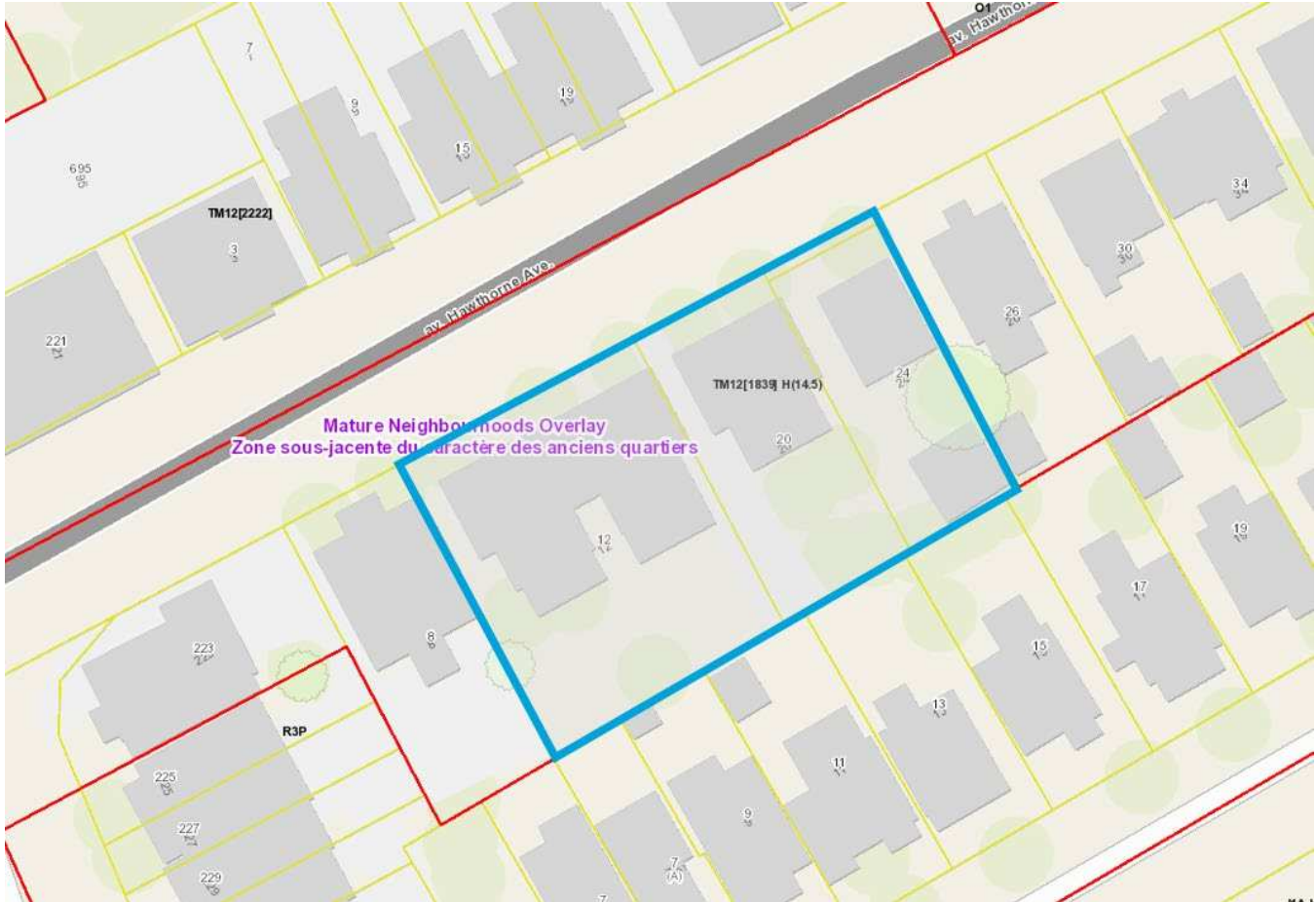


Figure 8: Zoning Map for the subject site

The Traditional Mainstreet zone accommodates a broad range of uses including retail, service commercial, office, residential and institutional uses, and mixed-use buildings. The table below describes zoning provisions and permissions as they currently relate to the subject site.

TM12 [1839] H(14.5)	Requirement	Proposed	
<b>Permitted Uses</b>	<b>Residential</b> apartment dwelling - low rise, apartment dwelling – mid rise, bed and breakfast, dwelling units, group home, home-based business, home-based day care, retirement home, rooming house	Apartment Dwelling – Mid-Rise permitted.	✓

TM12 [1839] H(14.5)	Requirement	Proposed	
	<p>The <b>TM12 Subzone</b> additionally permits detached dwelling, duplex dwelling, semi-detached dwelling, three-unit dwelling, and townhouse dwelling uses</p> <p><b>Non-Residential</b>            amusement centre, animal care establishment, animal hospital, artist studio, bank, bank machine, catering establishment, cinema, click and collect facility, community centre, community health and resource centre, convenience store, day care, diplomatic mission, emergency service, hotel, instructional facility, library, medical facility, municipal service centre, museum, office, park, parking garage, payday loan establishment, personal brewing facility, personal service business, place of assembly, place of worship, post office, recreational and athletic facility, research and development centre, residential care facility, restaurant, retail food store, retail store, school, service and repair shop, storefront industry, theatre, training centre, urban agriculture</p>		
<b>Min. Lot Width (m)</b>	No minimum	Complies	✓
<b>Min. Lot Area (m<sup>2</sup>)</b>	No minimum	Complies	✓
<b>Front Yard Setback</b>	<p><b>Minimum:</b> 2 metres (per Exception 1839)  <b>Maximum:</b> 3 metres (per Exception 1839)</p> <p>/ <b>Note:</b> where the building height is greater than four storeys or 15 metres, at and above the fourth storey or 15 metres whichever is the lesser a building must be setback a minimum of 2 metres more than the provided setback from the front lot line</p>	Ground Floor: 0.9 metres  Floor 5: 1.5 metres Floor 6: 2.75 metres	x  x x
<b>Interior Side Yard Setback</b>	<b>Minimum:</b> 1.2 metres for a residential use building	1.2 metres	✓
<b>Min. Rear Yard Setback</b>	7.5 metres abutting a residential zone, and for a residential use building	6.5 metres	x
<b>Min. Building Height</b>	6.7 metres for a distance of 20 metres from the front lot line	20 metres	✓
<b>Max. Building Height</b>	14.5 metres, as per H-suffix	20 metres	x
<b>Urban Exception 1839</b>	/ a parking garage is only permitted below grade / office uses are not permitted on the ground floor / when not a residential use listed in 198(12) (a mid-rise building) and when located in the TM12 zone, residential uses are permitted to a maximum of 50% of the ground floor area of a building that faces Hawthorne Avenue and the non-residential uses on the ground floor must	/ All parking is proposed below grade / Office uses not proposed at grade / Residential uses do not front onto Hawthorne Avenue at grade	✓  ✓ ✓

TM12 [1839] H(14.5)	Requirement	Proposed	
	face Hawthorne Avenue ( <b>non-residential use is required</b> )		
<b>Notes</b>	Where a non-residential use or mixed-use building is proposed: <ul style="list-style-type: none"> <li>/ The facade facing the main street must include at least one active entrance serving each residential or non-residential use occupying any part of the ground floor;</li> <li>/ a minimum of 50% of the ground floor façade facing the main street, measured from the average grade to a height of 4.5 metres, must comprise transparent windows and active entrances;</li> </ul>	Proposed development includes an active entrance and glazing at the ground level.	✓
<b>Amenity Space Requirements</b>	6m <sup>2</sup> per unit, where 50% is required to be communal space. For 67 Units: Communal: 201 m <sup>2</sup> Total: 402 m <sup>2</sup>	Communal: 210 m <sup>2</sup> Total: 620 m <sup>2</sup>	✓
<b>Min. Width of Landscaped Area</b>	3 metres abutting a residential zone; may be reduced to one metre where a minimum 1.4 metre high opaque fence is provided	Complies	✓
<b>Permitted Projections into Required Yards</b>	Balconies (in all other cases): 2 metres, but no closer than 1 metre from any lot line.	0m from lot line	x

The table below describes parking requirements applicable to the subject site.

<b>Vehicle and Bicycle Parking Requirements</b>			
<b>Area X of Schedule 1A</b>	<b>Residential / Mixed-Use Parking Requirements</b> 0.5 residential parking spaces required, less the first 12 units = 28  <b>Visitor Parking</b> 0.1 spaces/unit of visitor parking, less the first 12 units to a maximum of 30 spaces = 6  Total: 31	Residential: 41 Visitor: 6  Total: 47	✓
<b>Dimensions (Sec. 106)</b>	Each space must be between 2.6m - 3.1m x 5.2m	Complies	✓
<b>Bicycle Parking</b>	Residential: 0.5 spaces / dwelling unit = 34 Commercial: 1 per 250m <sup>2</sup> GFA = 1	67	✓
<b>Bicycle Space Dimensions</b>	Horizontal: 0.6m by 1.8m Vertical: 0.5m by 1.5m (max 50% of required spaces)	Complies	✓

**The proposed redevelopment of the site meets the vast majority of provisions and the overall intent of the Zoning By-law. The sought amendments to the zoning are detailed below.**

### 3.1 Requested Zoning By-law Amendment

A Zoning By-law Amendment is being proposed to rezone the site from “TM12 [1839] H(14.5)” to “TM12 [XXXX] H(20)”. The purpose of the amendment is to:

- / Amend the front yard setback requirement from a minimum of 2 metres to a minimum of 0.9 metres;
- / Amend the requirement for a building step back from “2m after the fourth storey” to “0.6m after the fourth storey; 1.8m after the fifth storey to the front building wall, and 1.9 after the fifth storey to the rear building wall”;
- / Amend the minimum rear yard setback from 7.5m to 6.5m;
- / Despite Table 65(6)(c), a balcony can project 0m from the front property line; and
- / Increase the maximum building height from 14.5 metres to 20 metres.

Proposed Zoning Exception XXXX:

Exception Number	Applicable Zones	Additional Land Uses	Prohibited Land Uses	Exception Provisions
XXXX	TM12 [XXXX] H(20)			<ul style="list-style-type: none"> <li>/ A parking garage is only permitted below grade</li> <li>/ Office uses are not permitted on the ground floor</li> <li>/ Despite Table 197(c), the minimum front yard setback is 0.9 metres, and the maximum front yard setback is 3 metres subject to subsection 197(4)</li> <li>/ Despite Table 197, the minimum rear yard setback is 6.5 metres</li> <li>/ A building stepback of 0.6m is required from the front building wall after the fourth storey</li> <li>/ A building stepback of 1.8 metres is required from the front building wall after the fifth storey</li> <li>/ A building stepback of 1.9 metres is required from the rear building wall after the fifth storey</li> <li>/ Despite Table 65(6)(c), a balcony can project 0m from the front property line</li> </ul>

**The proposed Zoning By-law Amendment will facilitate the establishment of a 64-unit apartment building in an area supported by an array of transportation options. The amendment would result in the contribution to a consistent, active street frontage consisting of quality materials, abundant lighting, and frequent glazing.**

**The proposed building height of 20 metres reflects the planned intent in the Old Ottawa East Secondary Plan to accommodate 6-storey buildings on Mainstreets. The reduced front yard setback allows for the building to align with adjacent development to frame the street edge and establish a comfortable public realm.**

**The reduced rear yard setback is a function of the right of way dedication but still allows for significant rear yard landscaping, and the amenity requirements for the overall building are nonetheless exceeded.**

**With the primary building step back taking place at the fifth storey, the proposed building is still able to provide an adequate transition to adjacent properties that takes into consideration the current and future context of the neighbourhood as it evolves per the direction of the New Official Plan and Old Ottawa East Secondary Plan.**

## 4.0 Conclusion

It is our professional opinion that the enclosed application for Site Plan Control is appropriate and the ongoing application for Zoning By-law Amendment remains appropriate. These applications represent good planning and are in the public interest.

The progress made on the overall design proposal aligns with the direction received from the City of Ottawa and input received from the community. The reduction of the overall building mass has resulted in a form that more effectively accommodates a transition to adjacent properties. The provision of groundfloor commercial uses responds to the Official Plan and Old Ottawa East Secondary Plan intent to provide an animated, active frontage along Hawthorne Avenue that promotes walkability and 15-minute neighbourhoods.

Sincerely,



Scott Alain, MCIP RPP  
Senior Planner



Brian Casagrande, MCIP RPP  
Partner