

**LEGEND**

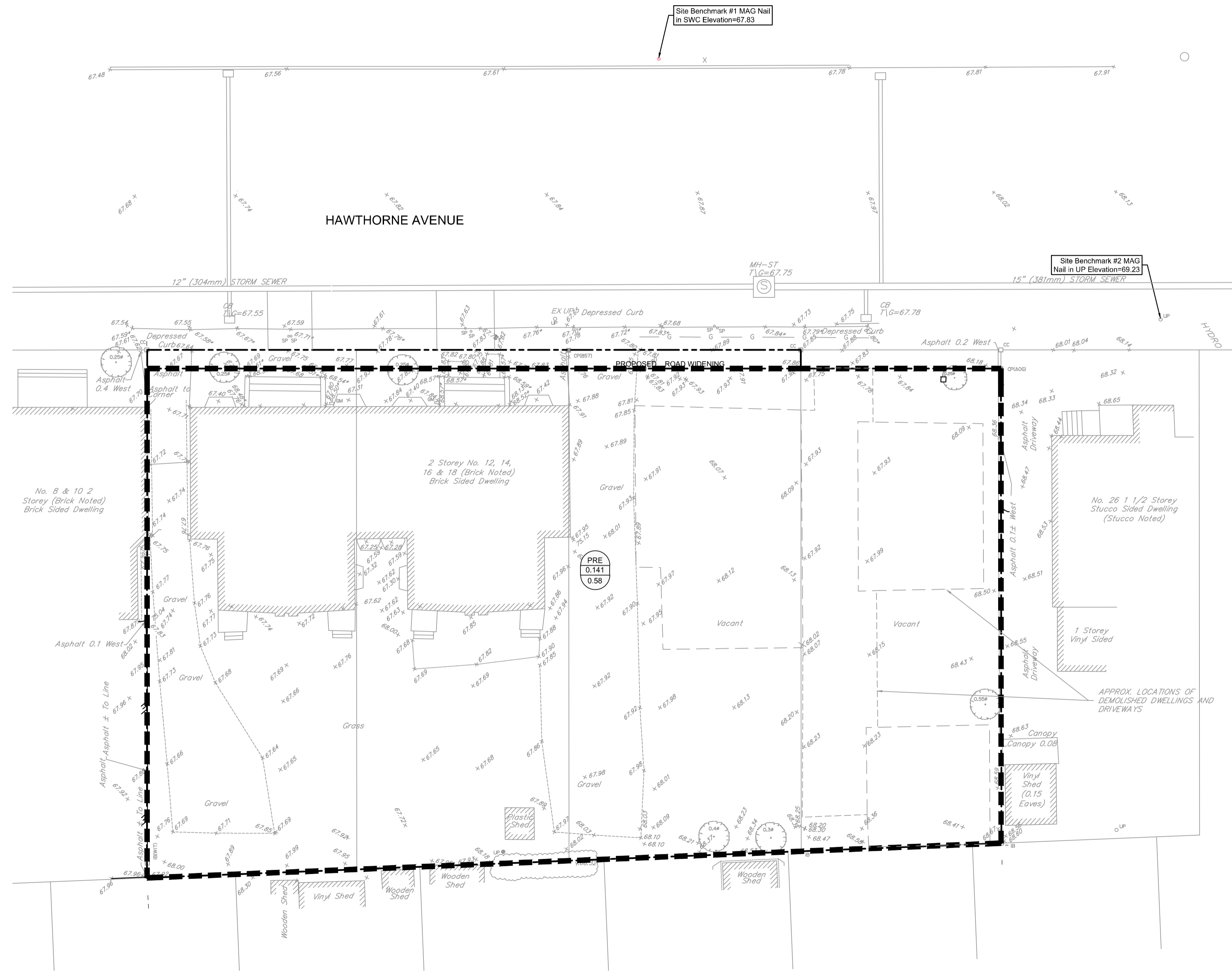
	DRAINAGE AREA LIMITS
	PRE-DEVELOPMENT AREA ID
	PRE-DEVELOPMENT DRAINAGE AREA (ha)
	1:5 YEAR WEIGHTED RUNOFF COEFFICIENT
	EXISTING CONCRETE CURB
	EXISTING CATCHBASIN & LEAD
	EXISTING UTILITY POLE
	EXISTING TREES / VEGETATION
	EXISTING OVERHEAD UTILITY WIRES
	EXISTING STORM MANHOLE & SEWER

**GENERAL NOTES:**

- COORDINATE AND SCHEDULE ALL WORK WITH OTHER TRADES AND CONTRACTORS.
- DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME RESPONSIBILITY FOR ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON THIS DRAWING.
- ALL ELEVATIONS ARE GEODETIC.
- REFER TO GEOTECHNICAL INVESTIGATION REPORT (58-JBPA-R0, DATED AUGUST 04, 2022), PREPARED BY YURI MENDEZ ENGINEERING, FOR SUBSURFACE CONDITIONS, CONSTRUCTION RECOMMENDATIONS, AND GEOTECHNICAL INSPECTION REQUIREMENTS. THE GEOTECHNICAL CONSULTANT IS TO REVIEW ON-SITE CONDITIONS AFTER EXCAVATION PRIOR TO PLACEMENT OF THE GRANULAR MATERIAL.
- REFER TO THE DEVELOPMENT SERVICING STUDY AND STORMWATER MANAGEMENT REPORT (R-2022-143) PREPARED BY NOVATECH.

**BENCHMARK NOTES:**

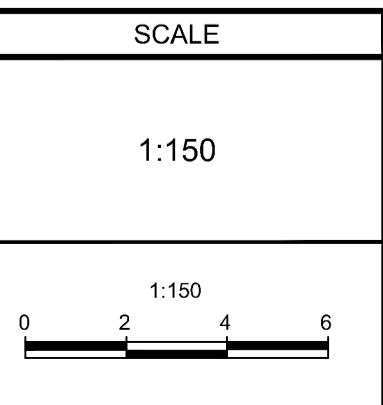
- ELEVATIONS SHOWN ARE GEODETIC AND ARE REFERRED TO THE CGVD28 GEODETIC DATUM, AND ARE REFERRED TO CITY OF OTTAWA BENCHMARK OTT 25, HAVING AN ELEVATION OF 69.613.
- IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.
- TEMPORARY JOB BENCHMARK #1 DESCRIPTION IS LOCATED ON MAG NAIL IN CONCRETE SIDEWALK LOCATED APPROXIMATELY 18m NORTH OF THE NORTH PROPERTY BOUNDARY ALONG HAWTHORNE AVE. TEMPORARY BENCHMARK #2 DESCRIPTION IS MAG NAIL IN UTILITY POLE LOCATED ON BOULEVARD APPROXIMATELY 10m EAST FROM EAST PROPERTY BOUNDARY ALONG HAWTHORNE AVE. SEE TOPOGRAPHICAL PLAN OF SURVEY OF LOTS 2, 3, 4, 5 AND PART OF LOT 6, REGISTERED PLAN Z20, CITY OF OTTAWA, SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD.
- A NEW TEMPORARY BENCHMARK MAY BE REQUIRED IF EXISTING BENCHMARKS ARE DISTURBED DURING THE HAWTHORNE AVE. RECONSTRUCTION PROJECT. ALTERNATIVELY, CONTRACTOR MAY NEED TO USE HAWTHORNE AVENUE RECONSTRUCTION PROJECT BENCHMARKS.



**NOTE:**  
THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

**OWNER INFORMATION**  
JBPA Developments Inc.  
107 Pretoria Avenue  
Ottawa, ON, K1S 1W8  
  
CONTACT: KEVIN FAGAN  
Tel: (613) 695-6767  
EMAIL: kfagan@jbpa.ca

No.	REVISION	DATE	BY
1.	ISSUED FOR SITE PLAN CONTROL APPROVAL	APRIL 12/23	FST



DESIGN	CV/ZA
CHECKED	FST
DRAWN	ZA
CHECKED	FST
APPROVED	FST

**FOR REVIEW ONLY**

**NOVATECH**  
Engineers, Planners & Landscape Architects  
Suite 200, 240 Michael Cowpland Drive  
Ottawa, Ontario, Canada K2M 1P6  
Telephone: (613) 254-9643  
Facsimile: (613) 254-5867  
Website: www.novatech-eng.com

LOCATION CITY OF OTTAWA 12-24 HAWTHORNE AVENUE	
DRAWING NAME PRE-DEVELOPMENT STORM DRAINAGE PLAN	
PROJECT No.	122152
REV	REV # 1
DRAWING No.	122152-STM1
PLAN #	

M:\2023\122152\CAD\Civil\122152-SWM.dwg, STM1, Apr 12, 2023, 11:41am, zsh

D07-12-22-