

DESIGN BRIEF - RHYTHM APARTMENTS NAVAN ROAD

Section Two (Refer to Planning Rationale for Section One)

April 26, 2023



DESIGN PROPOSAL

Design Statement

The proposed development of this uniquely shaped parcel contemplates a 6-storey residential apartment building with 119 units in 1, 2, and 2 bedroom plus den configurations. The building has been sited fronting Navan Road, creating a strong street frontage and an anchor to the intersection, while serving to screen the surface parking. Walkout connections for the ground floor units along Navan Road to an asphalt pathway ensure residents have easy access to pedestrian and biking networks, and supports the City's vision of a well-connected, transit-oriented development where residents have opportunities to walk and cycle.

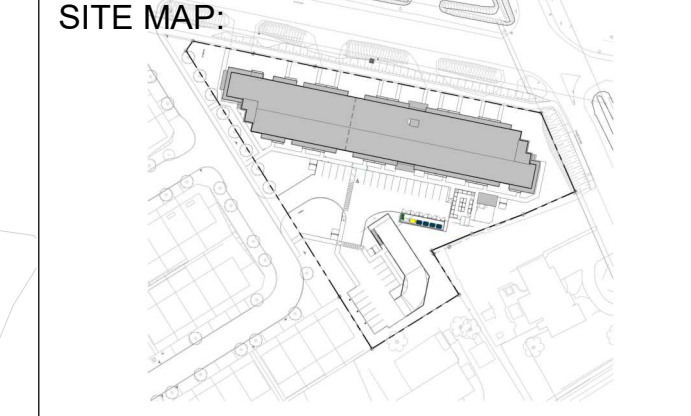
The building features a contemporary, west coast inspired design with a muted color palette and timber beam accents on the building and throughout the site. Articulation to the massing of the building is achieved through architectural bump-outs, balconies, and alternating color and materiality. The contemporary flat roof line caps the polished design of this apartment building while the timber braces echo the west coast theme.

Resident amenities have been concentrated to the rear of the property to provide privacy and create a central outdoor space where people can come together.

The majority of vehicle parking will be provided underground, in addition to a small number of surface parking stalls, while secure bike parking . Six EV capable parking stalls are proposed to support future installation of charging pedestals and are located in visitor spaces to encourage maximum utilization.



Site Plan, Elevations and Floor Plans



PROJECT STATUS:
ISSUED FOR D.P.

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	03/##/2023

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT OAA, T. 604.662.6918

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY. FOR CLARIFICATION AND/OR CONFIRMATION, DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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PROJECT NAME:
RHYTHM APARTMENTS

PROJECT NUMBER:
VP XXXX

ADDRESS:
OTTAWA

DRAWING TITLE:
SITE PLAN

DRAWN BY: PD
CHECKED BY: -
DATE: MAR # 2023
SCALE: As indicated

DRAWING #: **A1.01**
REV #: **A**



LEGEND

[Orange Box]	1 BEDROOM / 1 BATH
[Yellow Box]	2 BEDROOM / 1 BATH
[Blue Box]	2 BEDROOM / 2 BATH
[Red Box]	2 BEDROOM / DEN / 2 BATH
[Pink Box]	RENTAL OFFICE

SITE INFORMATION

PROJECT DESCRIPTION	1-MULTIFAMILY RESIDENTIAL APARTMENT (6 STOREY)	
TOTAL UNITS	119 RESIDENTIAL UNITS	
CIVIC ADDRESS	3080 NAVAN ROAD, OTTAWA, ONT	
MUNICIPALITY	CITY OF OTTAWA	
ZONING	R5N(2744)H20	
LEGAL DESCRIPTION	"BLOCK 64 ON DRAFT 4M-PLAN"	
LOT AREA	6643.91	m ²
DENSITY	72.12 DU/ACRE	
FLOOR SPACE INDEX (FSI)	1.76	

ZONING SUMMARY

	REQUIRED		PROPOSED	
MAX. BUILDING HEIGHT	20 m		18.5 m	
MIN. FRONT YARD S.B.	3.0	m	3.0	m
MIN. REAR YARD S.B.	7.5	m	7.5	m
MIN. INTERIOR SIDE YARD S.B.	VARIABLES	m	VARIABLES	m
MIN. CORNER SIDE YARD S.B.	3.0	m	3.0	m
MIN. LOT AREA	540	m ²	-	m ²
MIN. LOT WIDTH	18	m	-	m
MIN. WIDTH OF LAND. BUFFER	3	m	3	m

LANDSCAPE

	REQUIRED	PROPOSED
PERCENTAGE OF LOT AREA	30%	38%
	1993.17 m ²	2540.17 m ²

VEHICULAR PARKING

SUBJECT SITE IS WITHIN 600M OF THE CHAPEL HILL TRANSIT STATION PARKING RATES FOR AREA X APPLY

	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT - REGULAR	0 / UNIT	12	0	0
APARTMENT - REGULAR	0.5 / UNIT	107	54	121
VISITORS	0.1 / UNIT	107	11	11
TOTAL PARKING STALLS			65	132
OTHER PARKING PROVISIONS				
SMALL CAR	MAX 40%		MAX 71	39
ACCESSIBLE TYPE A			1	1

BICYCLE PARKING

	RATE	AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	-	60	60
CONVENIENCE AND OFFICE	1 / 250 m ²	90 m ²	0.36	0
TOTAL BICYCLE			60	60
OTHER BICYCLE PROVISIONS				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	31	32
MIN HORIZONTAL BIKE STALL	50%	-	31	40
MIN SECURED BIKE STALLS	25%	-	15	20

WASTE CALCULATIONS

	REQUIRED	PROPOSED
GARBAGE	16 y ³	16 y ³
GMP	2 y ³	2 y ³
FIBRE	4 y ³	4 y ³
ORGANICS	720L	720L

BUILDING INFORMATION

	BUILDING A	
FOOTPRINT	1916.37	m ²
GROSS BUILDING AREA	11667.57	m ²

UNIT BREAKDOWN

	BUILDING A
1 BEDROOM / 1 BATH	32 UNITS
2 BEDROOM / 1 BATH	6 UNITS
2 BEDROOM / 2 BATH	57 UNITS
3 BEDROOM / 2 BATH	24 UNITS
TOTAL	119 UNITS

AMENITY

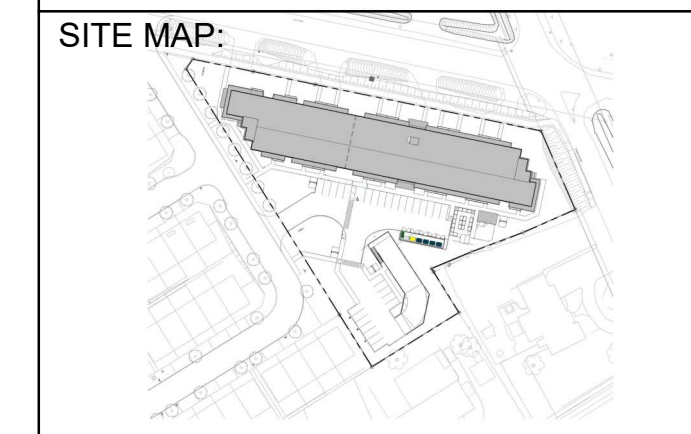
	RATE	REQUIRED	PROPOSED
COMMUNITY AMENITY AREA (50% MIN)	6M ² / DU	714 m ²	930 m ²
INDOOR AND PRIVATE TERRACES / DECKS	6M ² / DU	714 m ²	906 m ²
TOTAL AMENITY SPACE		1428 m²	1836 m²

03/14/2023 9:29:52 AM

2 SITE PLAN LAYOUT
1/16" = 1'-0"



PROJECT NORTH



PROJECT STATUS:
ISSUED FOR D.P.

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	03/##/2023

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT OAA, T. 604.662.6818

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PROJECT NAME:
RHYTHM APARTMENTS

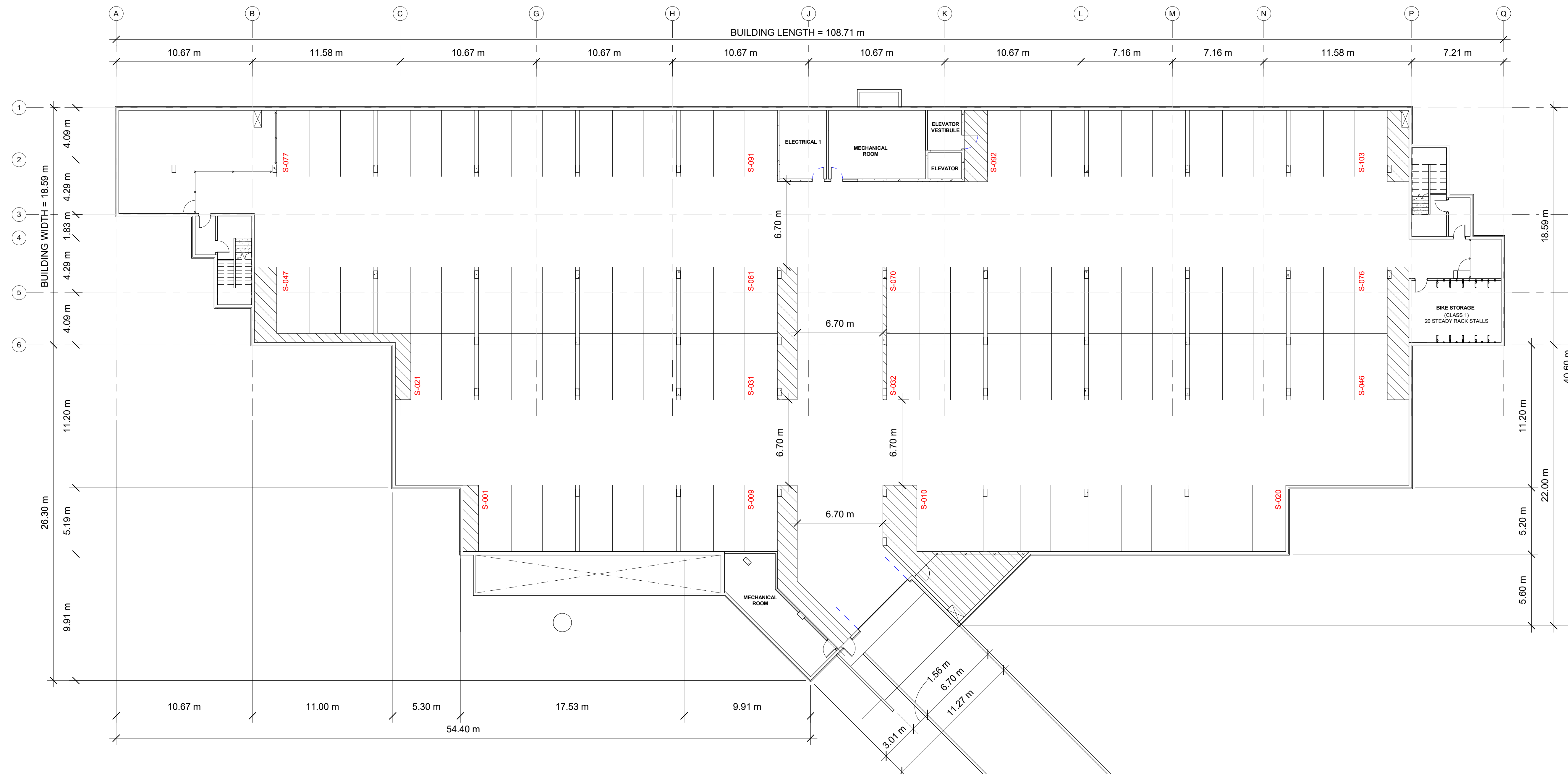
PROJECT NUMBER:
VP XXXX

ADDRESS:
OTTAWA

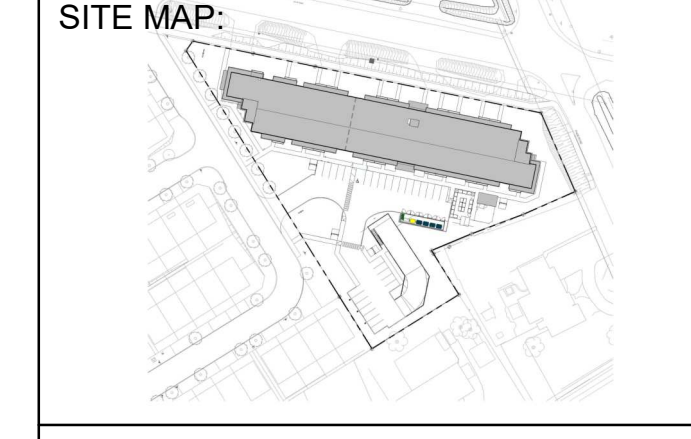
DRAWING TITLE:
PARKADE FLOOR PLAN

DRAWN BY: PD
CHECKED BY: -
DATE: MAR ## 2023
SCALE: 1 : 175

DRAWING #: **A2.00** REV #: **A**



1 PARKADE FLOOR PLAN
1 : 175



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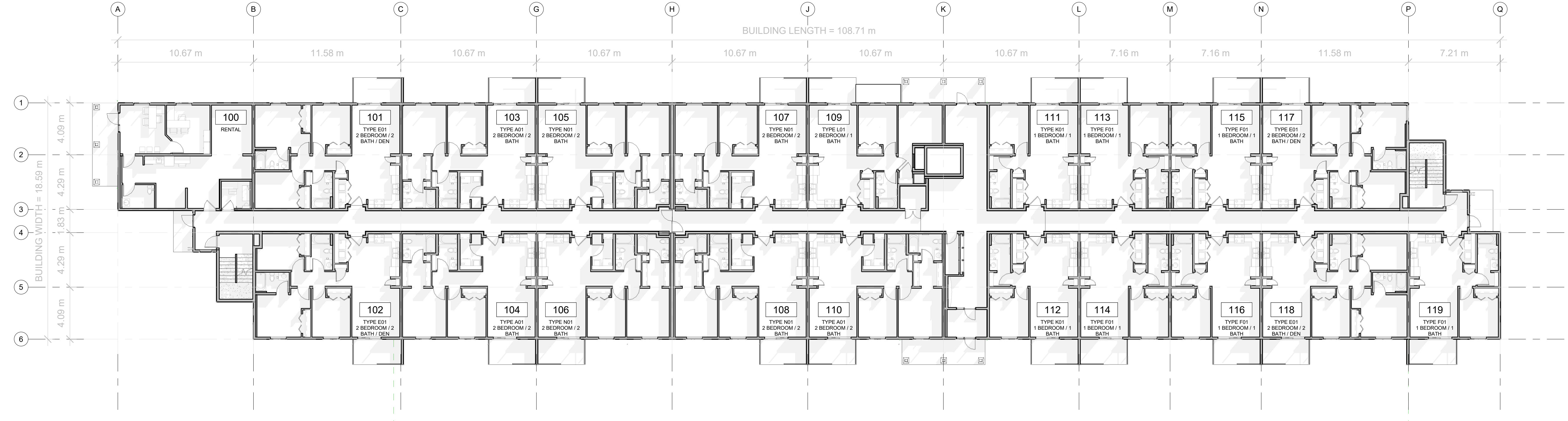
PROJECT NUMBER:
VP XXXX

ADDRESS:
OTTAWA

DRAWING TITLE:
FIRST FLOOR PLAN

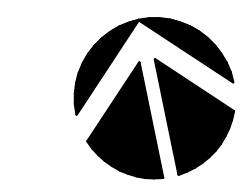
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 CHECKED BY: -
 DATE: MAR ## 2023
 SCALE: 1:175

DRAWING #: A2.01
 REV #: A



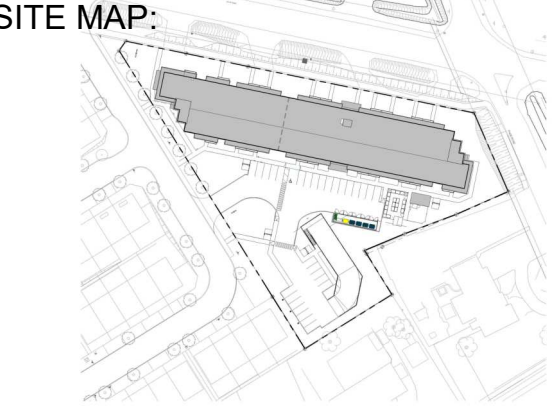
1 FLOOR PLAN - LEVEL 1
1: 175

TOTAL FLOOR AREA = 1894.44M²
FIREWALL FLOOR AREA BREAKDOWN
LEFT SIDE FLOOR AREA = 729.48M²
RIGHT SIDE FLOOR AREA = 1164.95M²



PROJECT NORTH

SITE MAP:



PROJECT STATUS:

ISSUED FOR D.P.

Revision Schedule

No.	Description	Revision Date
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PROJECT NAME:

RHYTHM APARTMENTS

PROJECT NUMBER:

VP XXXX

ADDRESS:

OTTAWA

DRAWING TITLE:

SECOND / THIRD FLOOR PLAN

DRAWN BY: PD

CHECKED BY: -

DATE: MAR ## 2023

SCALE: 1 : 175

DRAWING #:

A2.02

REV #:

A



TOTAL FLOOR AREA = 1921.70M²
FIREWALL FLOOR AREA BREAKDOWN
LEFT SIDE FLOOR AREA = 739.03M²
RIGHT SIDE FLOOR AREA = 1182.68M²

1 FLOOR PLAN - LEVEL 2

1 : 175

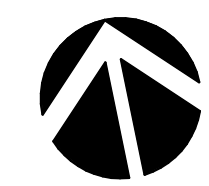


TOTAL FLOOR AREA = 1921.70M²
FIREWALL FLOOR AREA BREAKDOWN
LEFT SIDE FLOOR AREA = 739.03M²
RIGHT SIDE FLOOR AREA = 1182.68M²

2 FLOOR PLAN - LEVEL 3

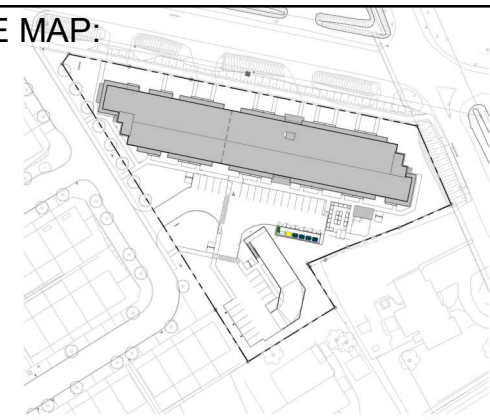
1 : 175

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PROJECT NORTH

SITE MAP:



PROJECT STATUS:

ISSUED FOR D.P.

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	03/##/2023

SEAL: ABELARCHITECTURE
THOMAS C. ABLE, ARCHITECT OAA, T. 604.662.6918



1 FLOOR PLAN - LEVEL 4
1 : 175

TOTAL FLOOR AREA = 1921.70M ²
FIREWALL FLOOR AREA BREAKDOWN
LEFT SIDE FLOOR AREA = 739.03M ²
RIGHT SIDE FLOOR AREA = 1182.68M ²



2 FLOOR PLAN - LEVEL 5
1 : 175

TOTAL FLOOR AREA = 1921.70M ²
FIREWALL FLOOR AREA BREAKDOWN
LEFT SIDE FLOOR AREA = 739.03M ²
RIGHT SIDE FLOOR AREA = 1182.68M ²

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PROJECT NAME: RHYTHM APARTMENTS

PROJECT NUMBER: VP XXXX

ADDRESS: OTTAWA

DRAWING TITLE: FOURTH / FIFTH FLOOR PLAN

DRAWN BY: PD

CHECKED BY: -

DATE: MAR ## 2023

SCALE: 1 : 175

DRAWING #: A2.03

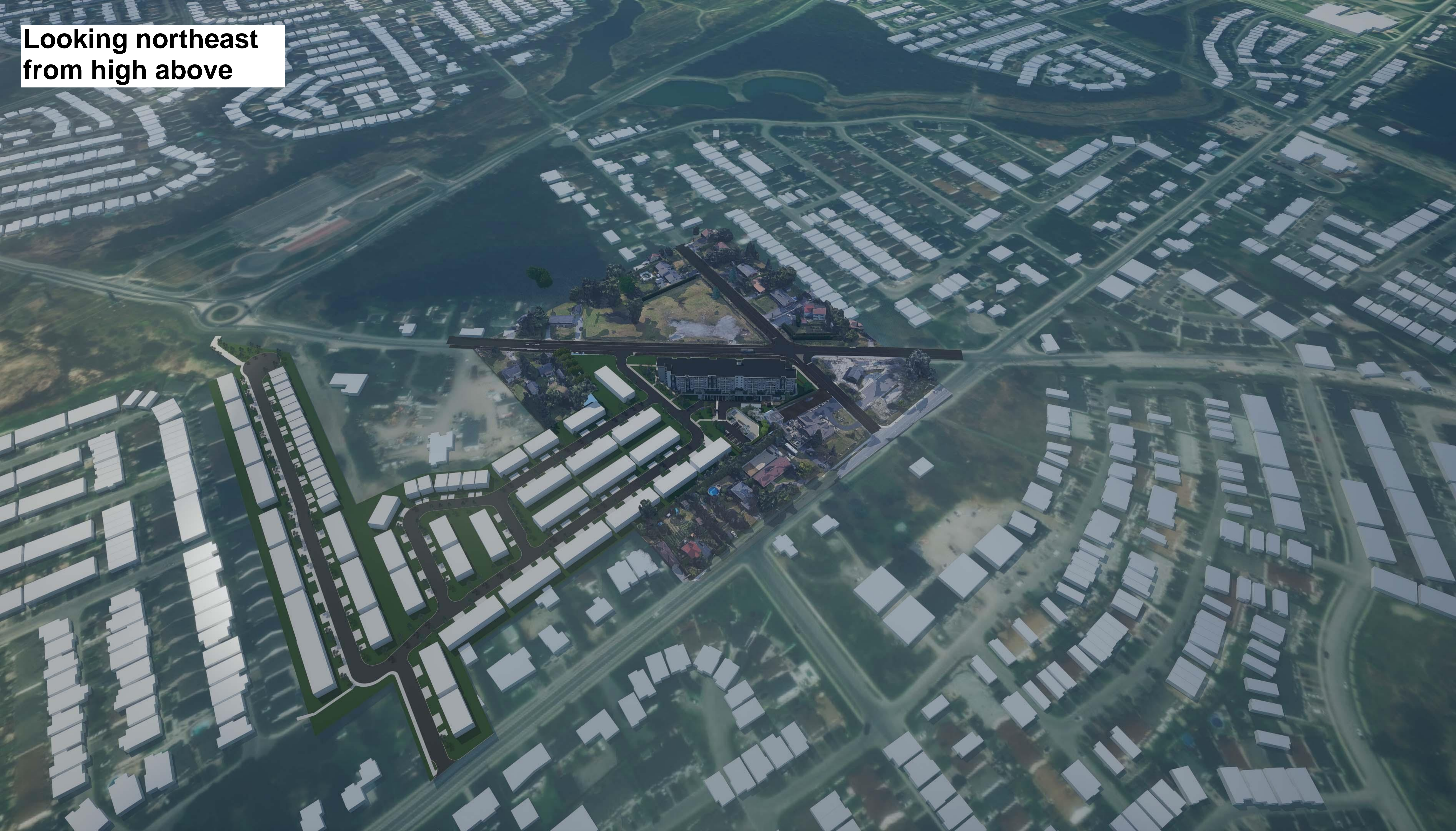
REV #: A

3D Renders - Views, Massing and Scale and Public Realm

Looking southwest
from above



Looking northeast
from high above



Looking south



Looking north



Looking north - detail



Building entry



Looking northeast



Looking west



Community Garden and Dog Run



Additional Contents:

Landscape Plan

Revision Schedule

No.	Description	Revision Date
1	ISSUED FOR SITE PLAN REVIEW	2023-04-19
2	ISSUED FOR SITE PLAN SUBMISSION	2023-04-26

SEAL:



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PROJECT NUMBER:

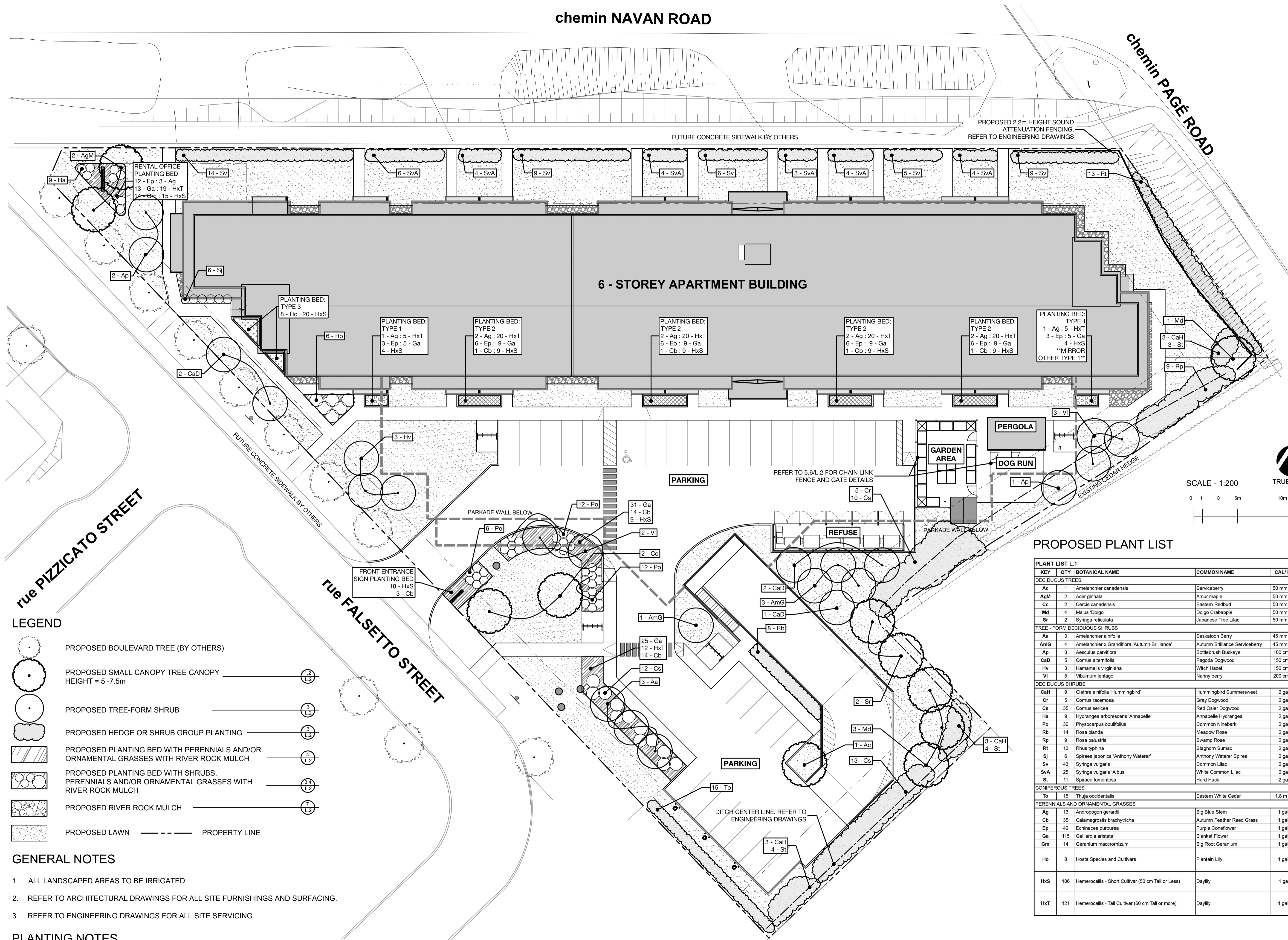
CITY OF OTTAWA:

ADDRESS:
3080 NAVAN ROAD
OTTAWA, ON

DRAWING TITLE:
LANDSCAPE PLAN

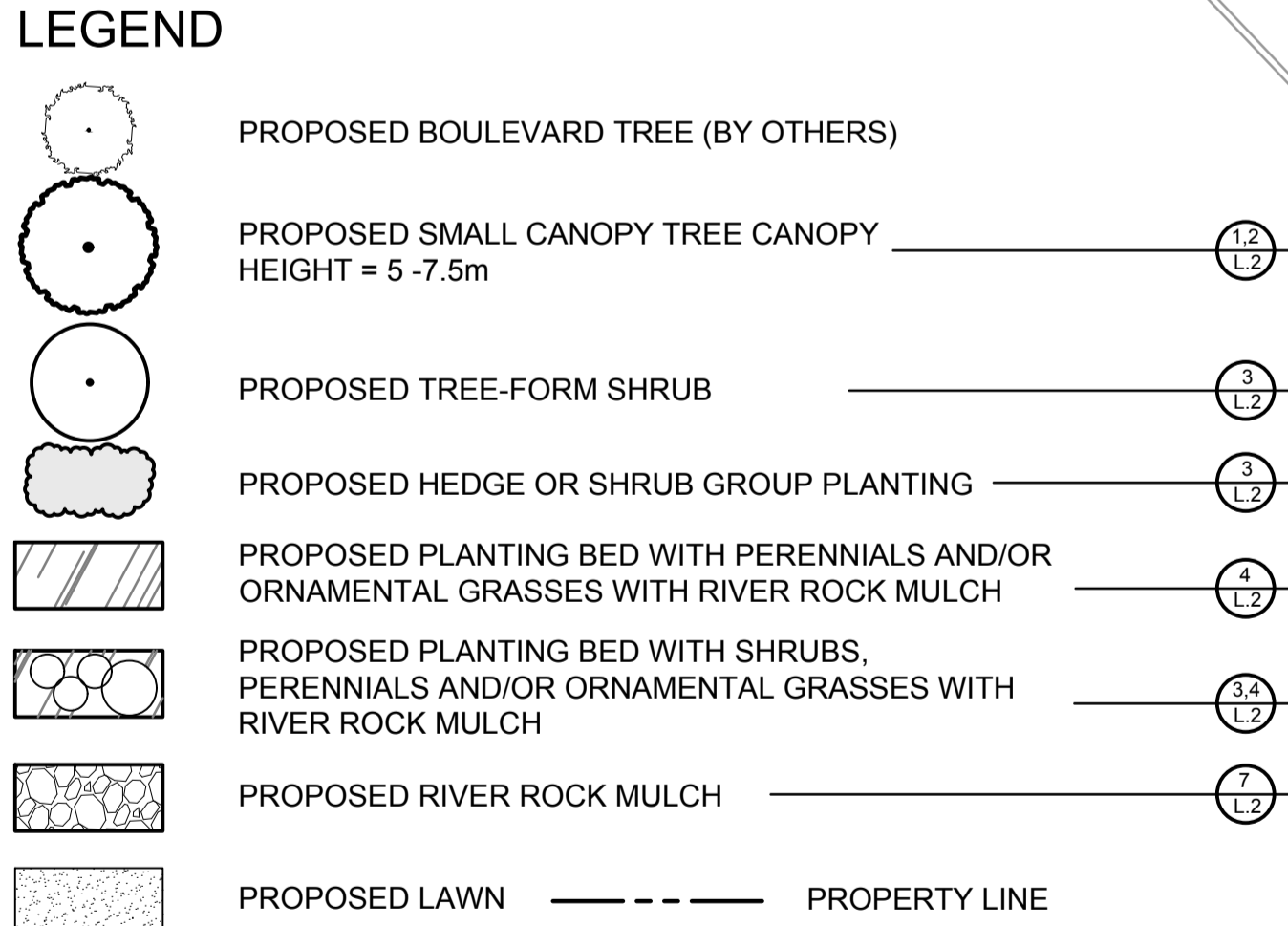
DRAWN BY: K. SELIN
CHECKED BY: K. CERVENÝ
DATE: 2023-04-26
SCALE: 1:200

DRAWING #: L.1
REV #:



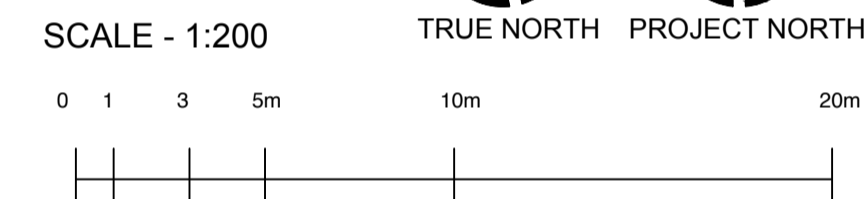
rue PIZZICATO STREET

rue FALSETTO STREET



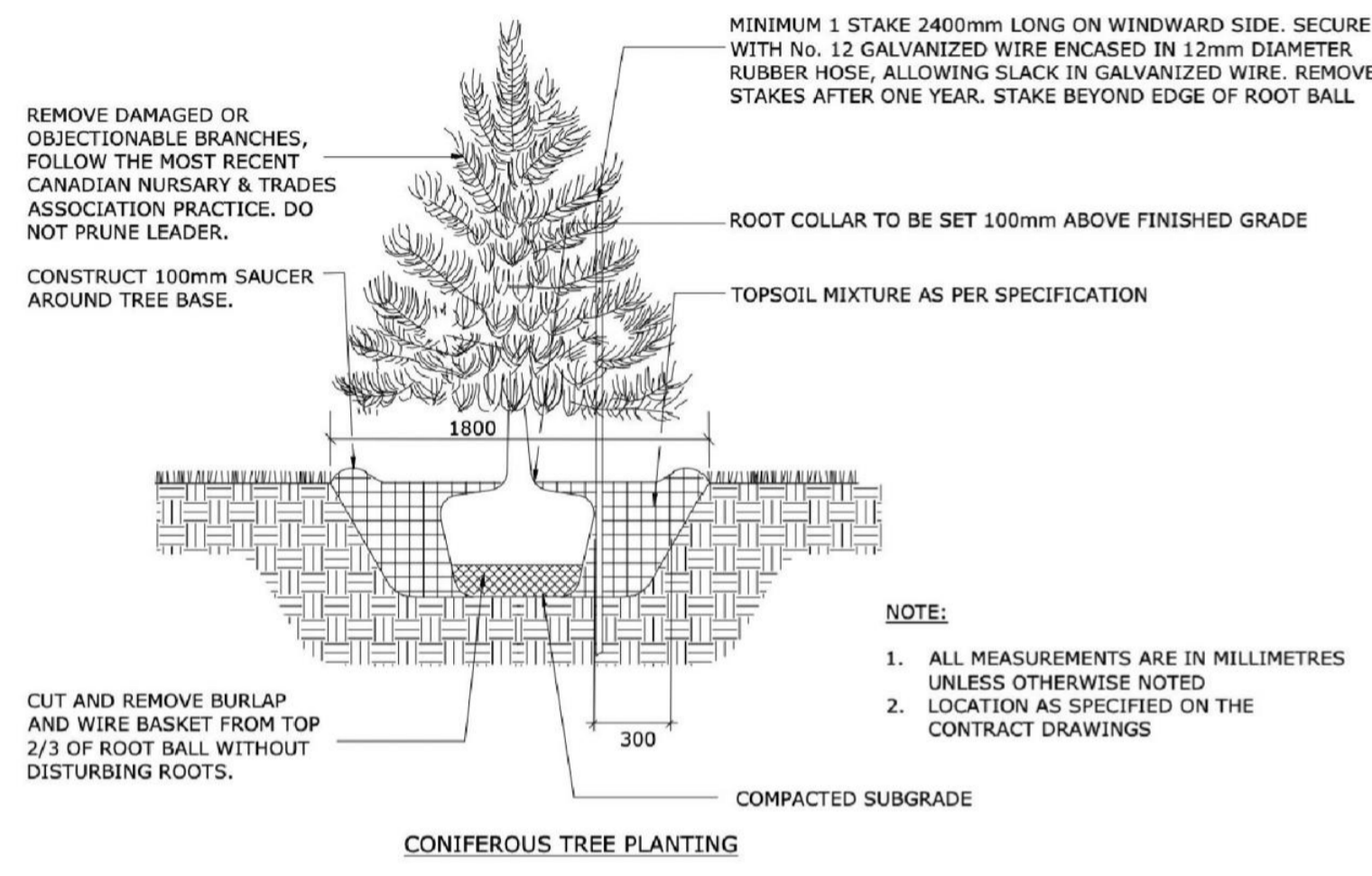
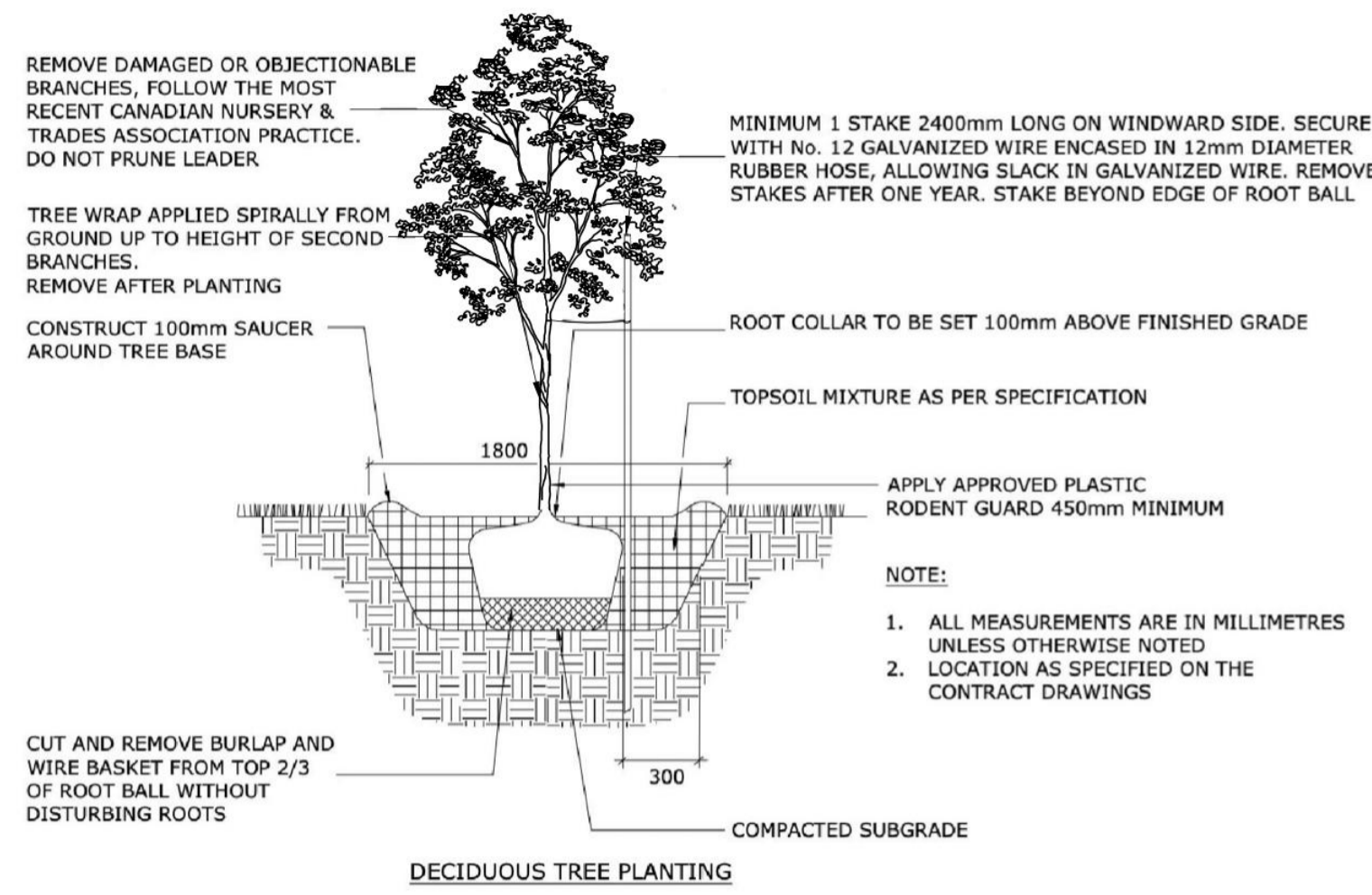
- GENERAL NOTES
- ALL LANDSCAPED AREAS TO BE IRRIGATED.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE FURNISHINGS AND SURFACING.
 - REFER TO ENGINEERING DRAWINGS FOR ALL SITE SERVICING.

- PLANTING NOTES
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION.
 - LOCATION OF ALL PLANT MATERIAL TO BE STAKED BY THE CONTRACTOR AND VERIFIED IN THE FIELD BY THE PROJECT MANAGER PRIOR TO THE EXCAVATION OF TREE PITS, SHRUBS AND PERENNIALS
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK UNLESS OTHERWISE NOTED.
 - DECIDUOUS TREES TO HAVE A MINIMUM 1800 CLEAR STEM ABOVE GRADE.
 - ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO YEARS FROM THE DATE OF PERFORMANCE ACCEPTANCE AS DETERMINED BY THE PROJECT MANAGER.
 - ALL STEEL STAKING POSTS TO BE REMOVED AFTER ONE GROWING SEASON UNLESS OTHERWISE DIRECTED BY THE PROJECT MANAGER.
 - CONTRACTOR TO MAKE GOOD ALL EXISTING AREAS DAMAGED BY HIS OR HER WORK TO THE SATISFACTION OF THE PROJECT MANAGER.
 - DECIDUOUS TREES TO HAVE A MINIMUM 7.5M SETBACK FROM ALL BUILDING FOUNDATIONS IN ACCORDANCE WITH THE CITY OF OTTAWA TREE PLANTING IN SENSITIVE MARINE CLAY SOILS (2017 GUIDELINES) AND GEOTECHNICAL INVESTIGATION BY PATERSON GROUP DATED JANUARY 30, 2023.
 - ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, HABIT, FLOWER, LEAF, COLOUR AND CULTURE AND ONLY AFTER WRITTEN APPROVAL FROM THE PROJECT MANAGER.

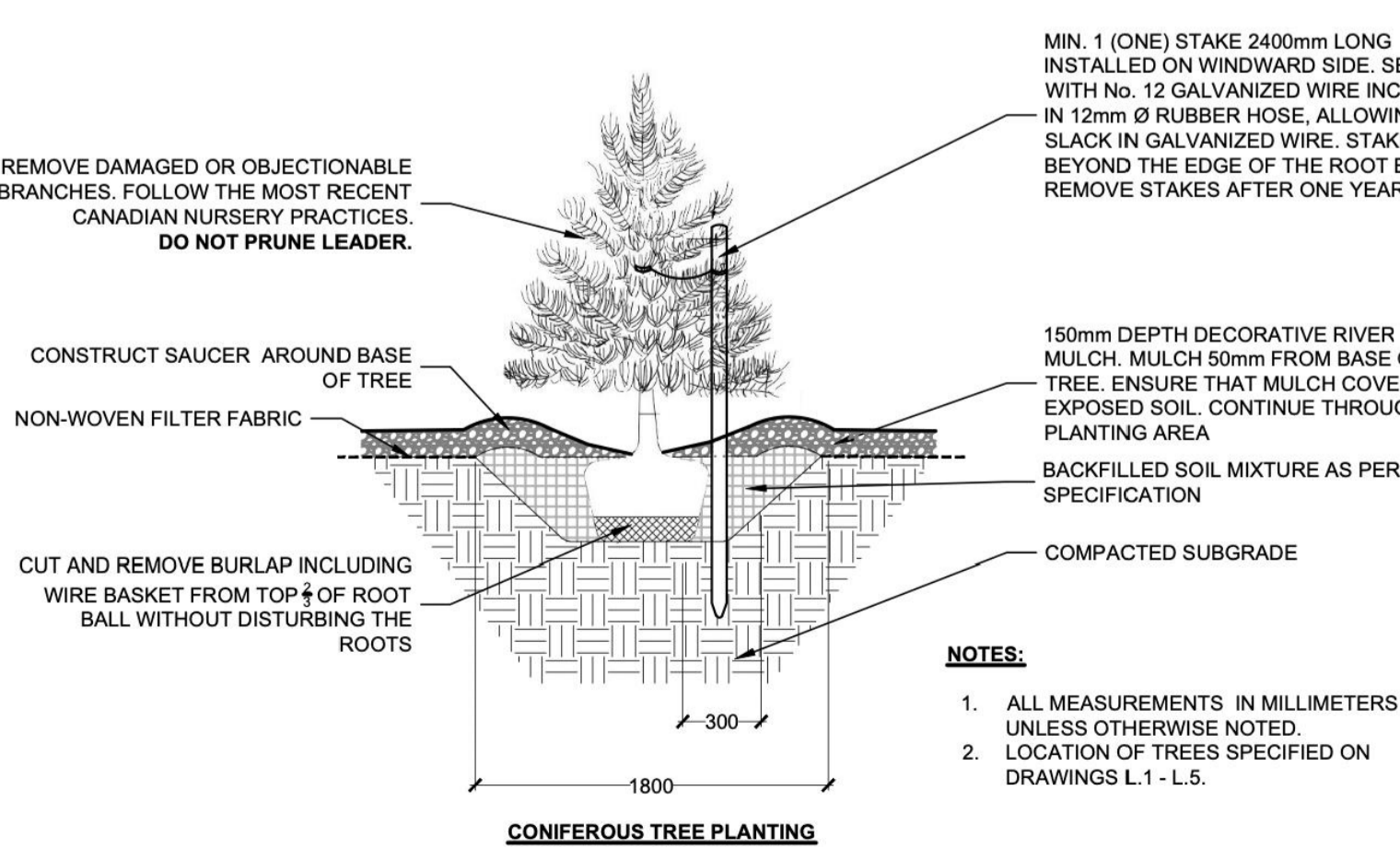
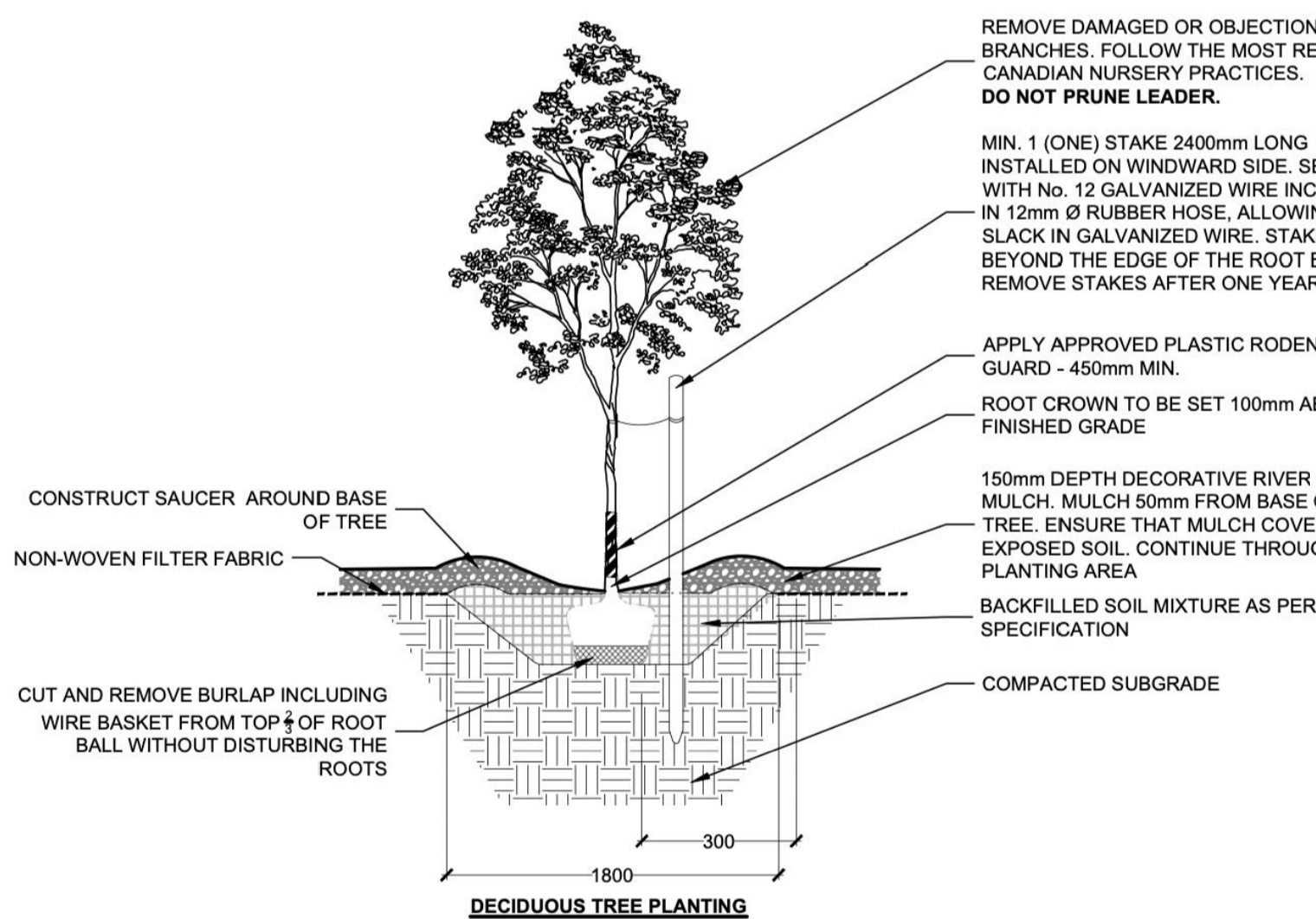


PROPOSED PLANT LIST

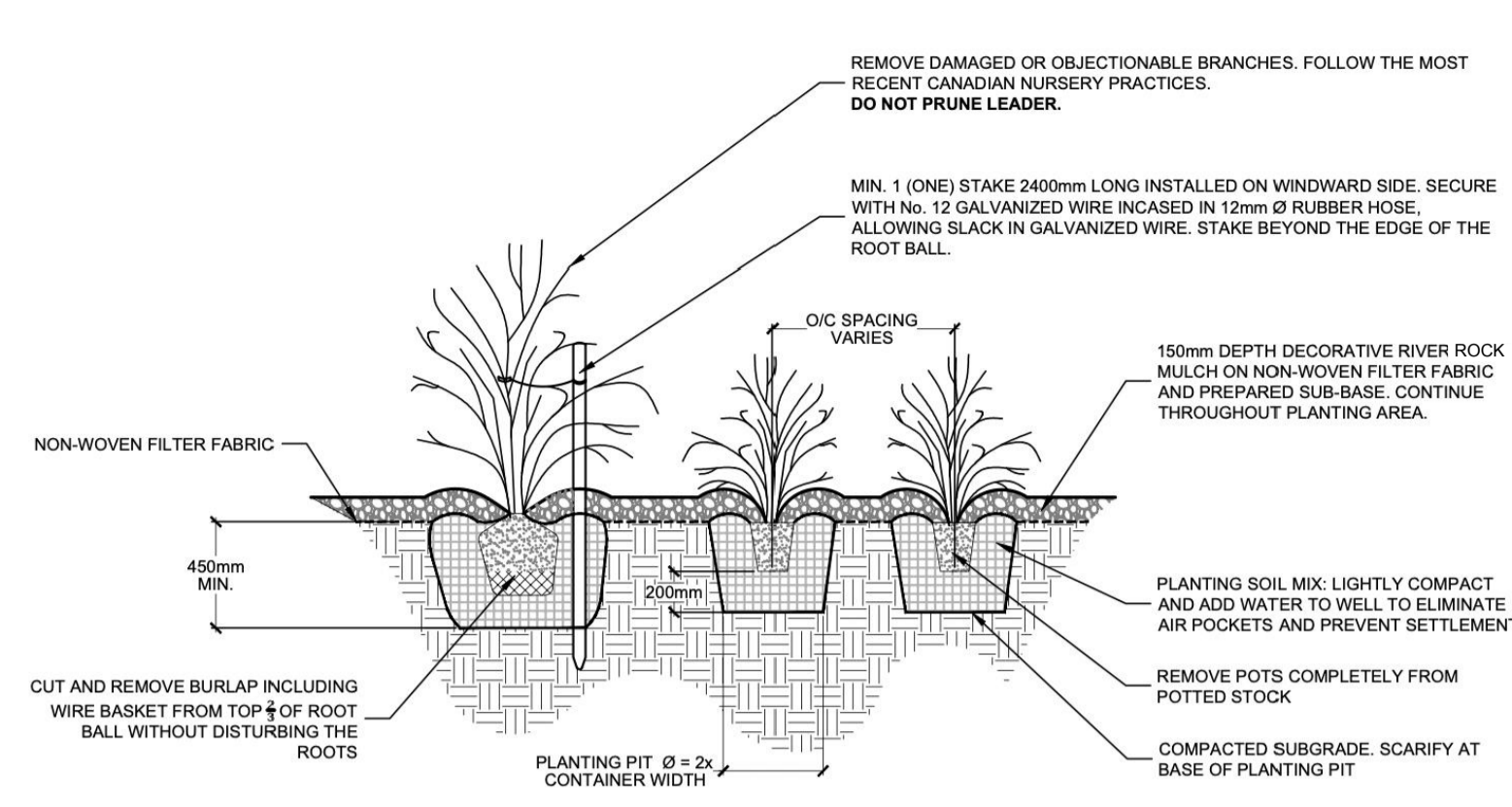
KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL/HT.	CONDITION/REMARKS
DECIDUOUS TREES					
Ac	1	Amelanchier canadensis	Serviceberry	50 mm cal.	W/B
AgM	2	Acer ginnala	Amur maple	50 mm cal.	W/B
Cc	2	Cercis canadensis	Eastern Redbud	50 mm cal.	W/B
Md	4	Malus 'Dolgo'	Dolgo Crabapple	50 mm cal.	W/B
Sr	2	Syringa reticulata	Japanese Tree Lilac	50 mm cal.	W/B
TREE - FORM DECIDUOUS SHRUBS					
Aa	3	Amelanchier alnifolia	Saskatoon Berry	45 mm cal.	W/B Tree Form
AmG	4	Amelanchier x Grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	45 mm cal.	W/B Tree Form
Ap	3	Aesculus parviflora	Bottlebrush Buckeye	100 cm ht.	W/B Tree Form
CaD	5	Cornus alternifolia	Pagoda Dogwood	150 cm ht.	W/B Tree Form
Hv	3	Hamamelis virginiana	Witch Hazel	150 cm ht.	W/B Tree Form
Vi	5	Viburnum lentago	Nanny berry	200 cm ht.	W/B Tree Form
DECIDUOUS SHRUBS					
CaH	9	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	2 gal.	Potted
Cr	5	Cornus racemosa	Gray Dogwood	2 gal.	Potted
Cs	35	Cornus sericea	Red Osier Dogwood	2 gal.	Potted
Ha	9	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	2 gal.	Potted
Po	30	Physocarpus opulifolius	Common Ninebark	2 gal.	Potted
Rb	14	Rosa blanda	Meadow Rose	2 gal.	Potted
Rp	9	Rosa palustris	Swamp Rose	2 gal.	Potted
Rt	13	Rhus typhina	Staghorn Sumac	2 gal.	Potted
Sj	6	Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spirea	2 gal.	Potted
Sv	43	Syringa vulgaris	Common Lilac	2 gal.	Potted
SvA	25	Syringa vulgaris 'Albus'	White Common Lilac	2 gal.	Potted
St	11	Spiraea tomentosa	Hard Hack	2 gal.	Potted
CONIFEROUS TREES					
To	15	Thuja occidentalis	Eastern White Cedar	1.8 m ht.	W/B
PERENNIALS AND ORNAMENTAL GRASSES					
Ag	13	Andropogon gerardii	Big Blue Stem	1 gal.	Ornamental Grass - Container
Cb	35	Calamagrostis brachytricha	Autumn Feather Reed Grass	1 gal.	Ornamental Grass - Container
Ep	42	Echinacea purpurea	Purple Coneflower	1 gal.	Perennial - Container
Ga	115	Gallardia aristata	Blanket Flower	1 gal.	Perennial - Container
Gm	14	Geranium macrorrhizum	Big Root Geranium	1 gal.	Perennial - Container
Ho	8	Hosta Species and Cultivars	Plantain Lily	1 gal.	Perennial - Container, Suggested Cultivars: 'Big Daddy', 'Designer Genes', 'Empress Wu', 'Wide Brim Stained Glass'
HxS	106	Hemerocallis - Short Cultivar (50 cm Tall or Less)	Daylily	1 gal.	Perennial - Container, Suggested Cultivars: 'Pardon Me', 'Stella D'Oro', 'Little Grapette'
HxT	121	Hemerocallis - Tall Cultivar (60 cm Tall or more)	Daylily	1 gal.	Perennial - Container, Suggested Cultivars: 'Bella Lugosa', 'Entrapment', 'Frans Hals', 'Flava', 'Joan Senor'



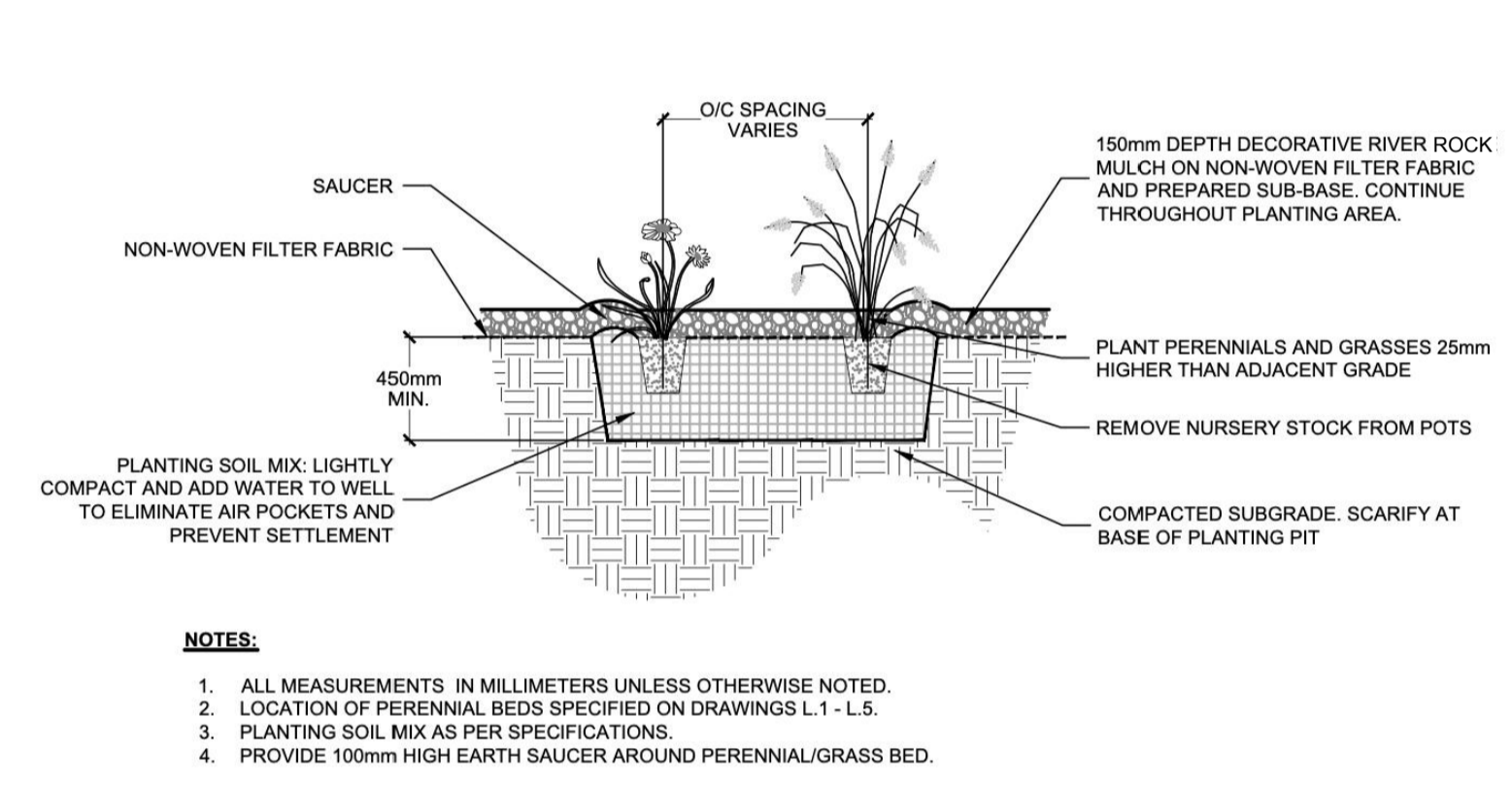
1 DECIDUOUS AND CONIFEROUS TREE PLANTING IN GRASSED AREAS
NOT TO SCALE



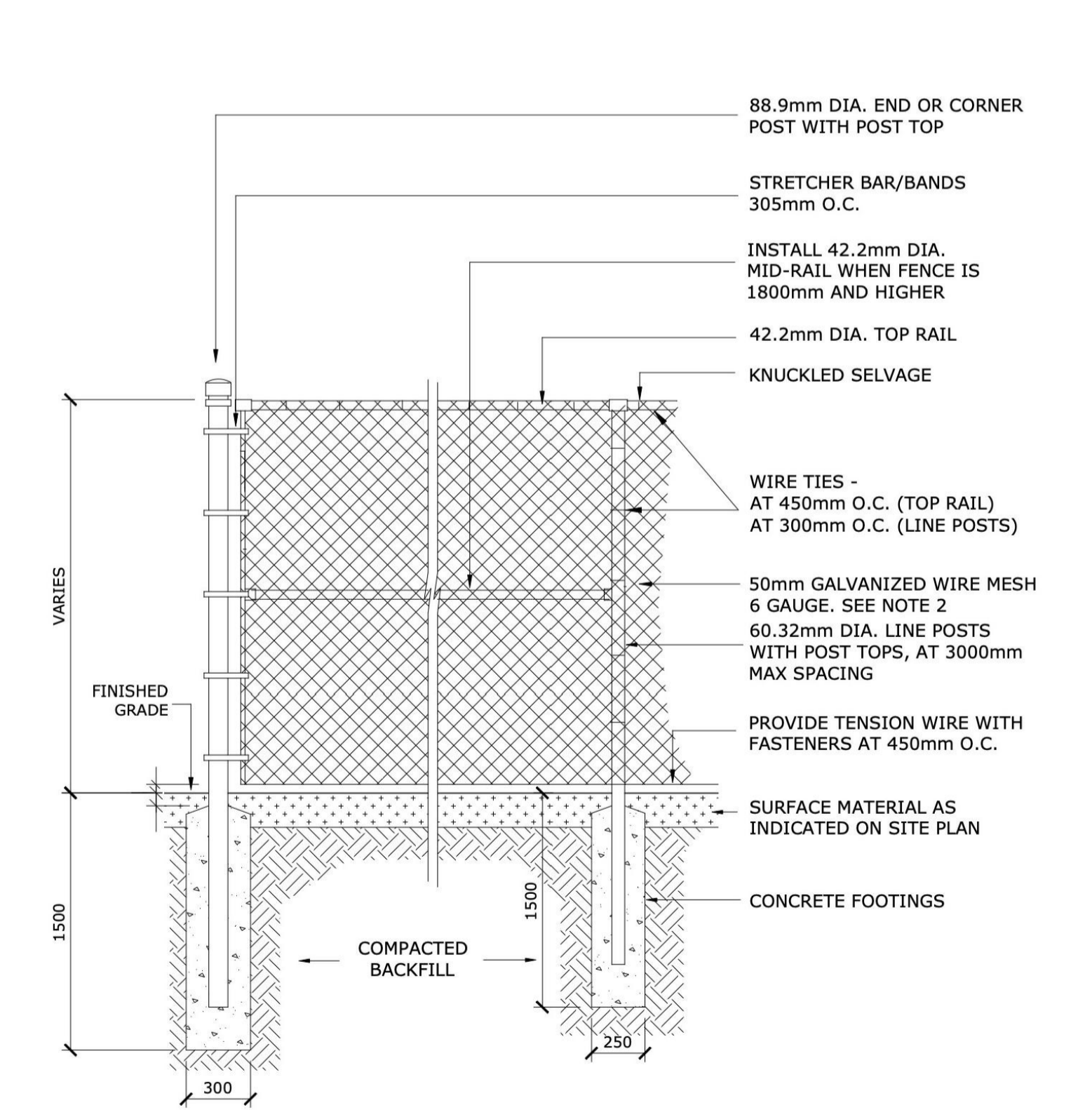
2 DECIDUOUS AND CONIFEROUS TREE PLANTING IN RIVER ROCK MULCH
NOT TO SCALE



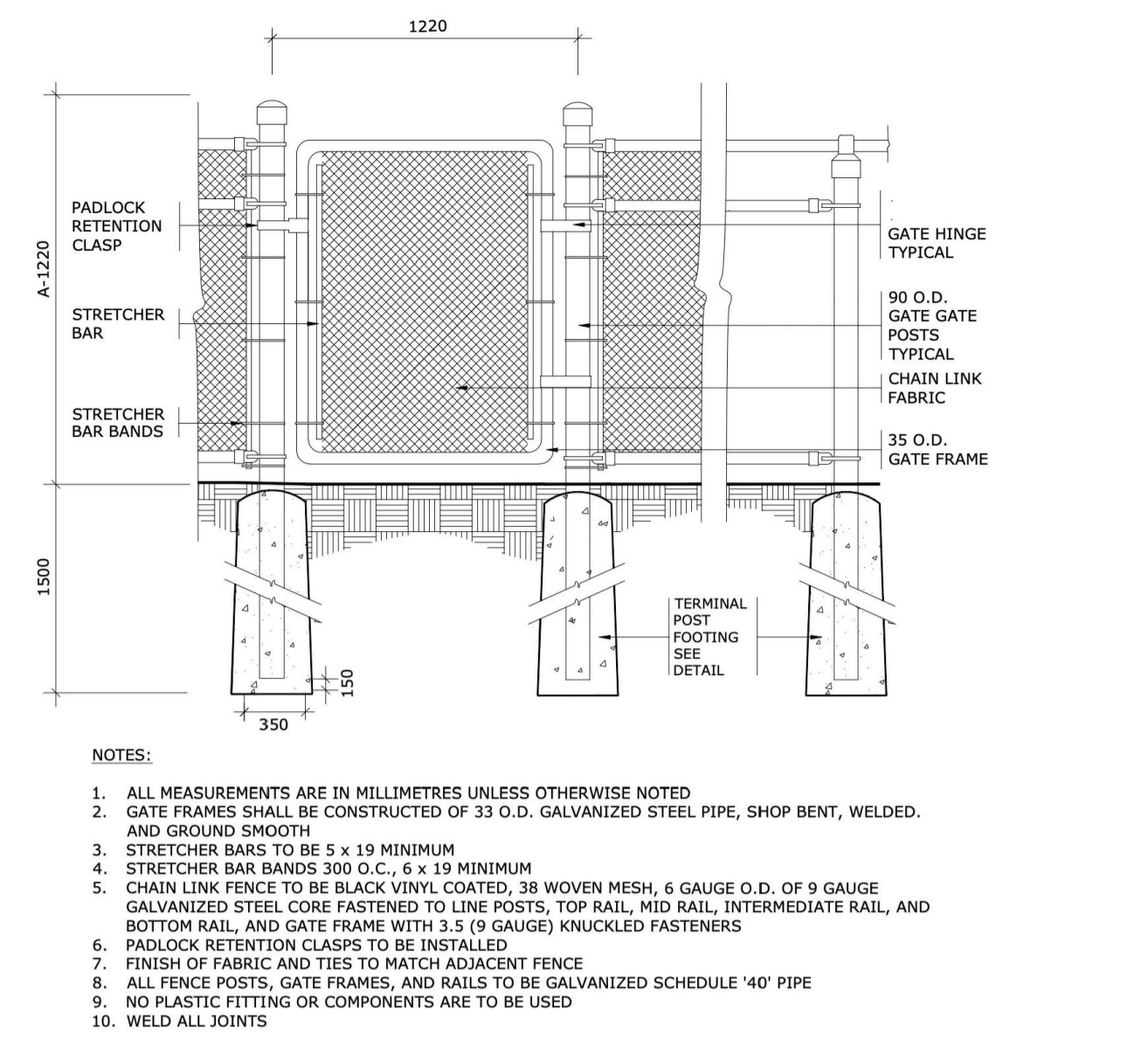
3 CONTINUOUS SHRUB PLANTING IN RIVER ROCK MULCH
NOT TO SCALE



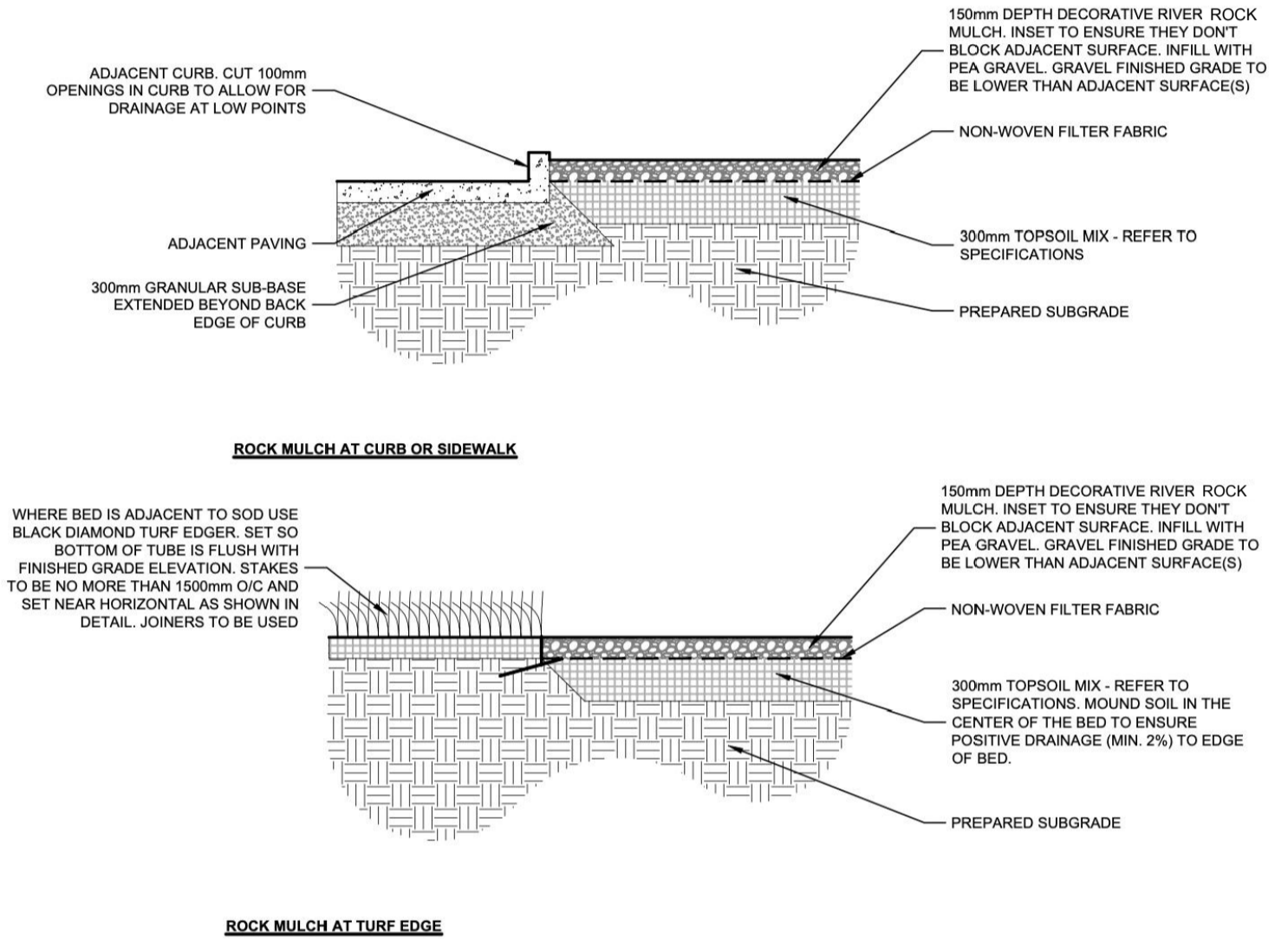
4 PERENNIAL AND ORNAMENTAL GRASS PLANTING IN MULCH
NOT TO SCALE



5 CHAIN LINK FENCE
NOT TO SCALE



6 CHAIN LINK FENCE GATE
NOT TO SCALE



7 RIVER ROCK MULCH EDGE CONDITION
NOT TO SCALE

- NOTES**
1. SEEDED AREAS SHALL HAVE A MINIMUM 150mm TOPSOIL.
 2. ALL SEED MUST BE FROM A RECOGNIZED SEED FIRM, MEETING THE REQUIREMENTS FOR THE SEEDS ACT FOR CANADA NO. 1 SEED. SEED SHALL BE CERTIFIED NO. 1 GRADE. A GERMINATION TEST MAY BE REQUESTED AND ALL LAWN SEED MUST COMPLY WITH FEDERAL AND PROVINCIAL SEED LAWS.
 3. INSTALL SEED MIXTURE BY MECHANICAL SEEDING
 4. PLANT SEED AT A DEPTH EQUAL TO THE WIDEST THICKNESS OF THE SEED. GENERALLY, THIS IS 6mm (¼") OR LESS.
 5. FIRM THE SOIL GENTLY TAMP OR ROLL THE SEED BED. DO NOT COMPACT THE SOIL. EXCESSIVE FORCE WILL DESTROY THE SOIL STRUCTURE AND INHIBIT GERMINATION.
 6. SEEDED AREAS WILL BE ACCEPTED BY THE PROJECT MANAGER FOLLOWING PERFORMANCE ACCEPTANCE, PROVIDED: SEEDED AREAS ARE PROPERLY ESTABLISHED.
 - A. TURF IS FREE OF DEAD SPOTS AND WEEDS.
 - B. NO SURFACE SOIL IS VISIBLE WHEN GRASS HAS BEEN CUT TO A HEIGHT OF 60mm.
 - C. TURF AREAS HAVE BEEN CUT NO LESS THAN TWICE, THE LAST CUT BEING CARRIED OUT WITHIN 24 HOURS PRIOR TO THE ACCEPTANCE INSPECTION.
 7. RIVER ROCK SIZE TO BE 100-150mm DIAMETER.

SITE MAP:

PROJECT STATUS:
ISSUED FOR COORDINATION

Revision Schedule

No.	Description	Revision Date
1	ISSUED FOR SITE PLAN REVIEW	2023-04-19
2	ISSUED FOR SITE PLAN SUBMISSION	2023-04-26



TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY. FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

CONTRACTORS SHALL REMAIN FAMILIAR WITH, SHALL REFER TO, AND SHALL PERFORM IN ACCORDANCE WITH LOCAL LAWS, REGULATIONS AND BUILDING CODES. CONTRACTORS SHALL MAINTAIN GOOD INDUSTRY BUILDING AND SAFETY PRACTICES CONSISTENT WITH THE CONTRACT INTENT AND THE REQUIREMENTS OF JURISDICTIONAL AUTHORITIES.

ADDITIONAL CLAIMS AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, TIME, COST AND QUALITY OF CONSTRUCTION.

CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.

PROJECT NAME:
RHYTHM APARTMENTS

PROJECT NUMBER:

CITY OF OTTAWA:

ADDRESS:
3080 NAVAN ROAD
OTTAWA, ON

DRAWING TITLE:

DETAILS

DRAWN BY: K. SELIN
CHECKED BY: K. CERVENY
DATE: 2023-04-26
SCALE: AS NOTED
DRAWING #: **REV #:**