

SITE PLAN GENERAL NOTES:

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2. DO NOT SCALE THIS DRAWING
3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
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7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
8. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
9. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
10. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN KEYNOTES:

- 1 EXISTING MAILBOXES ON EXISTING CONCRETE PAD TO REMAIN
- 2 WOOD PRIVACY SCREEN
- 3 EXTENT OF CANOPY ABOVE
- 4 GREEN HOUSE
- 5 EXTENT OF 2ND FLOOR BALCONIES ABOVE
- 6 ELECTRICAL TRANSFORMER
- 7 OIL & GREASE INTERCEPTOR PER CIVIL
- 8 UNDERGROUND STORMWATER STORAGE PER CIVIL
- 9 BENCHES PER LANDSCAPE
- 10 FUTURE ASPHALT PATH
- 11 FUTURE GAZEBO/SHADE STRUCTURE
- 12 DRAINAGE SWALE PER CIVIL
- 13 EXTENT OF ROOF OVERHANG (ABOVE)
- 14 1800x600mm BICYCLE PARKING SPACE C/W PARKING RACK/RING CENTERED BETWEEN EVERY TWO PARKING SPACES.

SITE PLAN LEGEND:

	EXISTING BUILDING
	ASPHALT PAVING
	NEW GRASS AND SOFT LANDSCAPING
	CONCRETE SIDEWALK
	CONCRETE PAD
	GRAVEL/RIVERSTONE/MAINTENANCE STRIP
	PAVER TYPE 1
	PAVER TYPE 2
	BUILDING MAIN ENTRANCE
	SUITE EXIT / EMERGENCY EXIT
	SERVICE DOORS
	PROPERTY LINE
	FENCE PER LANDSCAPE
	NEW DOMESTIC WATER SERVICE
	NEW SANITARY
	NEW STORM
	NEW ELECTRICAL SERVICE (BELOW GRADE)
	GAS
	EXISTING DOMESTIC WATER TO REMAIN
	NEW CATCH BASIN
	MANHOLE
	LIGHT STANDARD
	FIRE HYDRANT
	EXISTING LIGHT STANDARD TO REMAIN
	EXISTING FIRE HYDRANT TO REMAIN
	EXISTING CATCH BASIN TO REMAIN
	EXISTING MANHOLE TO REMAIN
	DROPPED CURB
	NEW TREE PER LANDSCAPE
	EXISTING PLANTING TO REMAIN WITH CRITICAL ROOT ZONE DASHED

STAMP



2 18.04.2023 ISSUED FOR SPCA
 REV DATE ISSUE

NOTES

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CLIENT

RIDEAU NON-PROFIT HOUSING INC.
 OTTAWA
 ONTARIO, CANADA

PROJECT

MANOTICK AFFORDABLE SENIORS RESIDENCES
 5581 Doctor Leach Dr. Manotick
 Ontario

TITLE

OVERALL SITE PLAN

PROJECT NO: 2022-0740
 DRAWN: AS / YG
 APPROVED: JS
 SCALE: As indicated
 DATE PRINTED: 2023-04-18 4:52:04 PM

REV DRAWING NO.
2 A.100



LEGAL DESCRIPTION

REFERENCE SURVEY

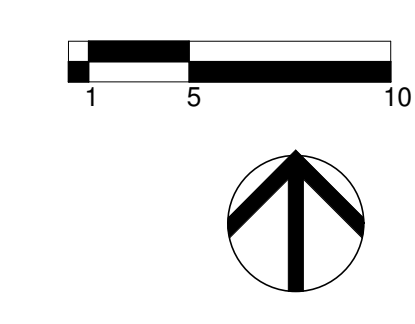
MUNICIPAL ADDRESS

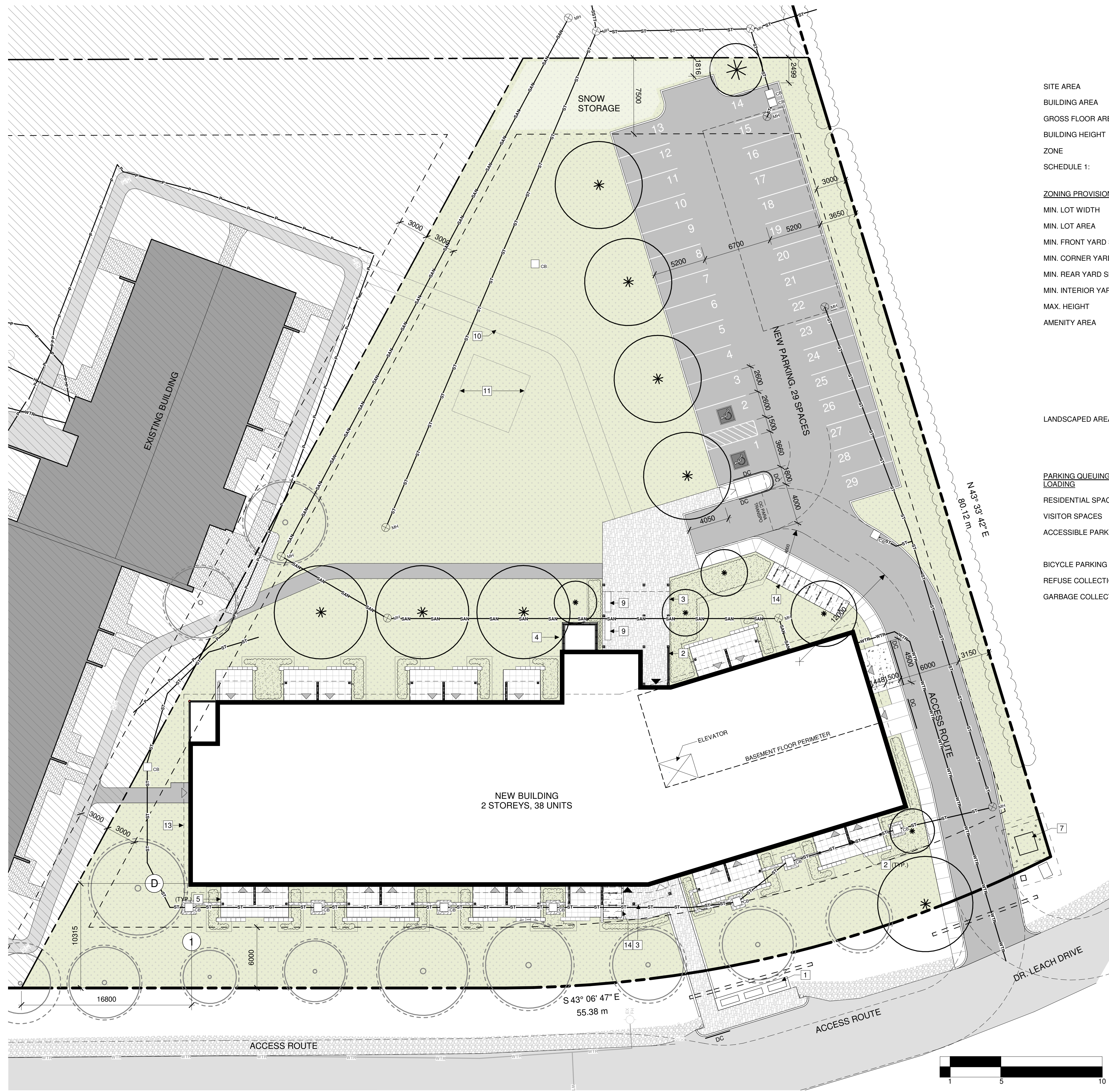
SITE AREA	5881m ²
BUILDING AREA	1302m ²
GROSS FLOOR AREA	2604m ²
BUILDING HEIGHT	7.7m - 2 STOREYS
ZONE	V3G(580f)
SCHEDULE 1:	AREA D

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	—	66.74m
MIN. LOT AREA	—	5881m ²
MIN. FRONT YARD SETBACK	6m	6m
MIN. CORNER YARD SETBACK	6m	N/A
MIN. REAR YARD SETBACK	7.5m	7.5m
MIN. INTERIOR YARD SETBACK	3m	3m
MAX. HEIGHT	11m	7.7m
AMENITY AREA	228m ²	65m ² common interior amenity space +MIN 5.5m ² patio/balcony space @ each suite (209m ² total) +MIN 150m ² additional common exterior amenity space

LANDSCAPED AREA	1176m ²	2973m ² soft landscaping +478m ² unit pavers and concrete surfaces
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PARKING QUEUING + LOADING	REQUIRED	PROVIDED
RESIDENTIAL SPACES	38	21
VISITOR SPACES	8	8
ACCESSIBLE PARKING	—	2 including: -1 type A space -1 type B space
BICYCLE PARKING	19	19
REFUSE COLLECTION	—	Indoor
GARBAGE COLLECTION	—	Indoor





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- NEW CATCH BASIN
- MANHOLE
- LIGHT STANDARD
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- NEW TREE PER LANDSCAPE
- EXISTING PLANTING TO REMAIN WITH CRITICAL ROOT ZONE DASHED

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1 18.01.2023 ISSUED FOR COSTING
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CLIENT

RIDEAU NON-PROFIT HOUSING INC.
 OTTAWA
 ONTARIO, CANADA

PROJECT

MANOTICK AFFORDABLE SENIORS RESIDENCES
 5581 Doctor Leach Dr. Manotick
 Ontario

TITLE

SITE PLAN

PROJECT NO: 2022-0740
 DRAWN: AS / YC
 APPROVED: JS
 SCALE: 1 : 200
 DATE PRINTED: 2023-04-18 4:52:09 PM

REV DRAWING NO.
 1 A.101

ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

ELEVATION KEYNOTES:

- 1 SUN ROOM
- 2 WOOD ENTRANCE CANOPY
- 3 WOOD SLAT PRIVACY SCREEN
- 4 PRE-FINISHED DOWNSPOUT C/W RIVERROCK SPLASH PAD
- 5 CONCRETE FACED INSULATION PANEL CONTINUOUS AROUND BUILDING AND EXTENDED +/-200mm ABOVE GRADE
- 6 SCREENED CONDENSER AREA
- 7 GLASS GUARD
- 8 WOOD SOFFIT

ELEVATION LEGEND:

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
	A	CONCRETE BOARD CLADDING MANUFACTURER: TBD COLOUR: WHITE
	B	CONCRETE BOARD CLADDING MANUFACTURER: TBD COLOUR: ACCENT COLOUR 1
	C	CONCRETE BOARD CLADDING MANUFACTURER: TBD COLOUR: ACCENT COLOUR 2
	D	CONCRETE BOARD CLADDING MANUFACTURER: TBD COLOUR: ACCENT COLOUR 2
	E	WOOD SIDING MANUFACTURER: TBD COLOUR: TBD
	F	METAL ROOFING MANUFACTURER: TBD COLOUR: LIGHT GREY TO MATCH EXISTING BUILDING
	G	MASONRY MANUFACTURER: TBD COLOUR: TBD

STAMP



2 18.04.2023 REVISED FOR ICA
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ONTARIO, CANADA

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MANOTICK AFFORDABLE SENIORS RESIDENCES

5581 Doctor Leach Dr. Manotick
Ontario

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ELEVATIONS

PROJECT NO: 2022-0740
DRAWN: AS / YG
APPROVED: AS
SCALE: As indicated
DATE PRINTED: 2023-04-18 4:51:52 PM

REV DRAWING NO.

2 A301



1 SOUTH ELEVATION

A301 | 1:100



3 SOUTH-EAST ELEVATION

A301 | 1:100



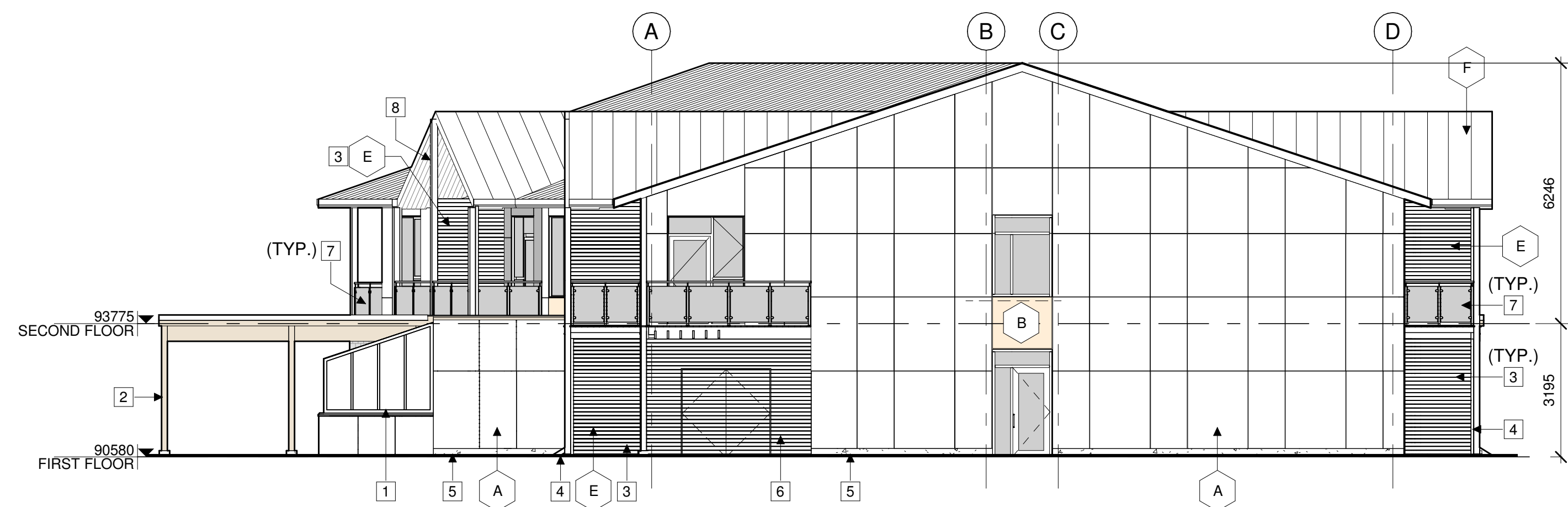
2 SOUTH-WEST PERSPECTIVE VIEW

A301



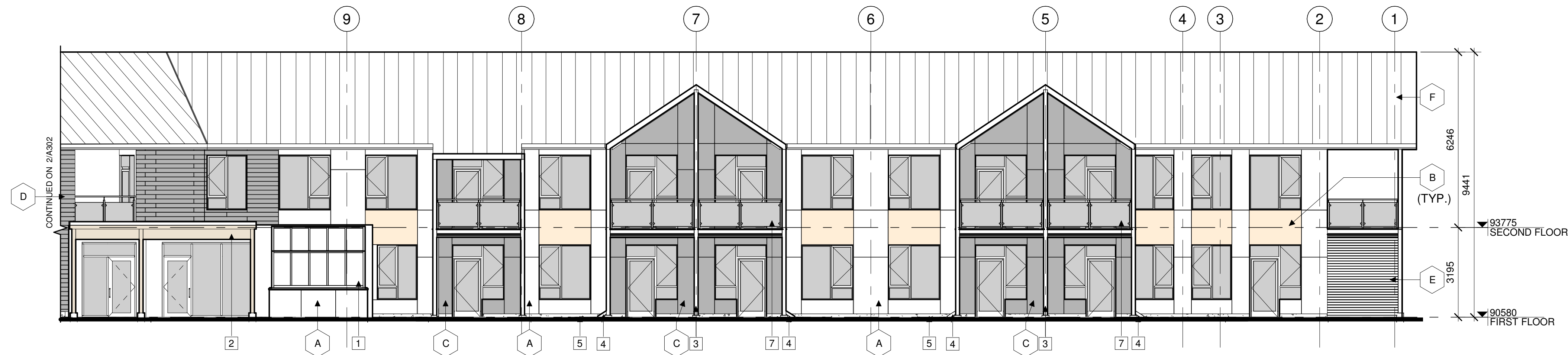
4 SOUTH-EAST PERSPECTIVE VIEW

A301



5 WEST ELEVATION

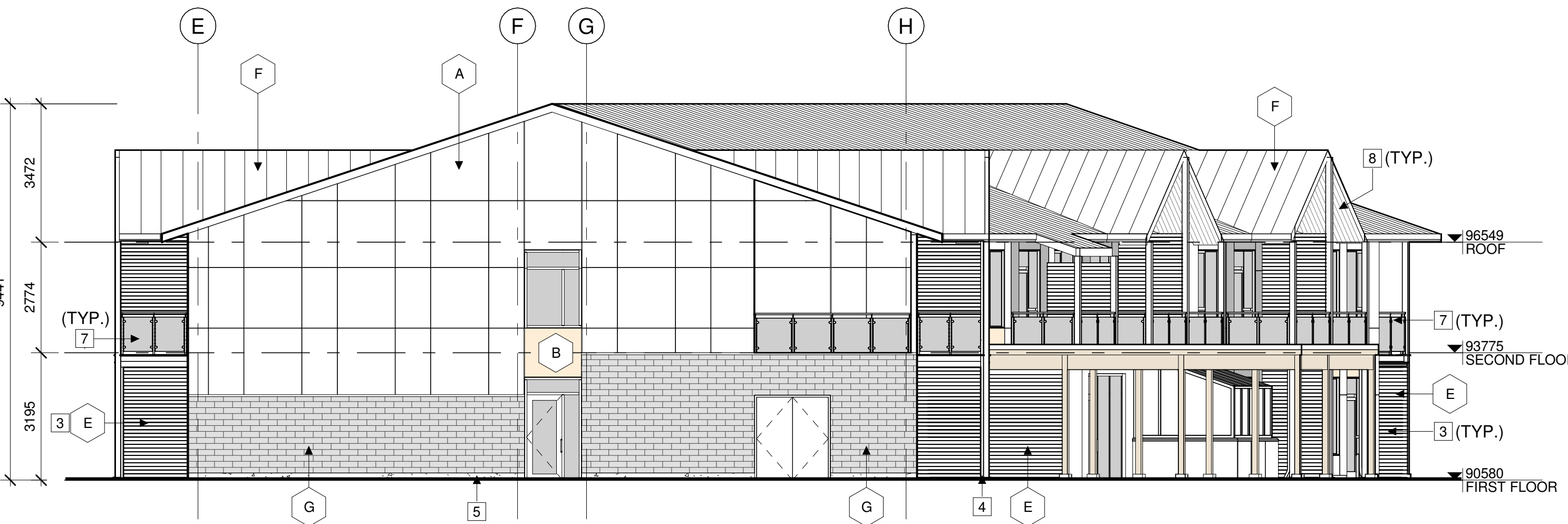
A301 | 1:100



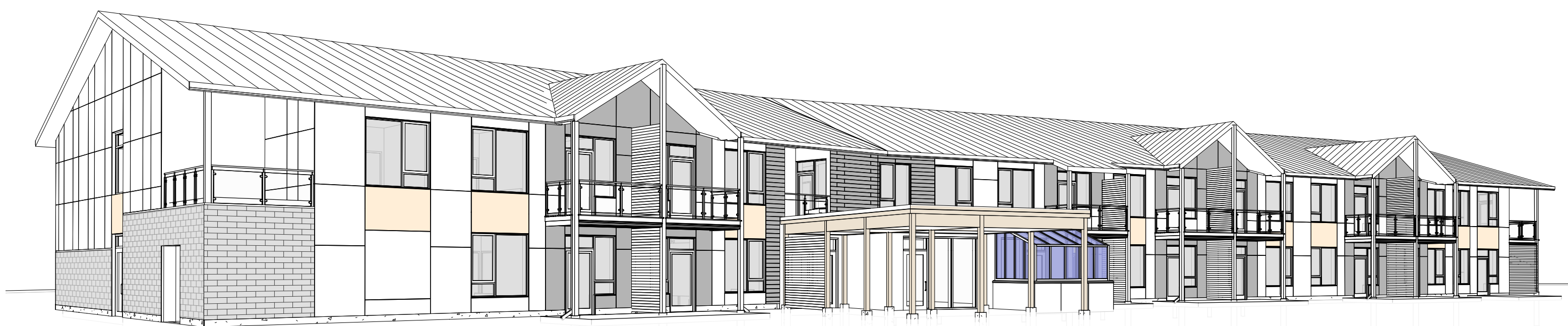
1 NORTH ELEVATION
A302 | 1:100



2 NORTH-EAST ELEVATION
A302 | 1:100



3 EAST ELEVATION
A302 | 1:100



4 NORTH-EAST PERSPECTIVE VIEW
A302



5 NORTH-WEST PERSPECTIVE VIEW
A302

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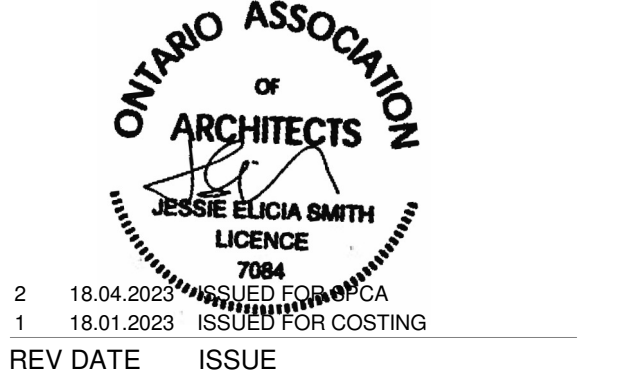
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[Hatch G]	G	MASONRY MANUFACTURER: TBD COLOUR: TBD

STAMP



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2 A302