

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must confirm to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

SITE PLAN LEGEND

- PROPOSED ENTRANCE ARROW
- PROPOSED EXIT ARROW
- PROPOSED FIRE HYDRANT
- PROPOSED SIAMASE CONNECTION
- PROPOSED SIGN
- PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPING
- PROPOSED PAINTED LINES
- PAINTED LINE FOR STOP SIGN



2 CONTEXT PLAN
A001 N.T.S

ZONING CHART

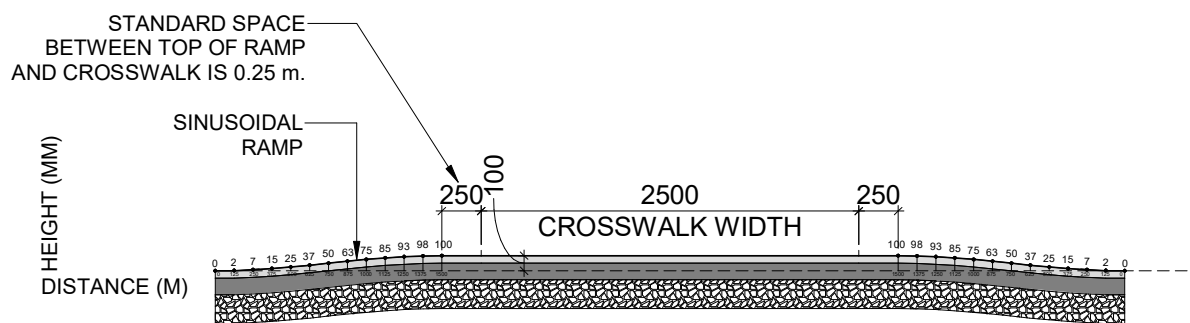
ZONING CHART
Zone: General Mixed Use (GM1628)
City of Ottawa Zoning By-law No. 2008-250

REQUIRED	PROPOSED
NO MINIMUM	13,637.9 S.M.
MIN. FRONT YARD AND CORNER SIDE YARD SETBACK 3.0M	3.0M (ALONG CAMBRIAN ROAD) 3.297M (ALONG REALIGNED GREENBANK ROAD)
MIN. INTERIOR SIDE YARD SETBACK 5.0M	18.8M (WEST SIDE) 14.4M (NORTH SIDE)
MIN. REAR YARD SETBACK 7.5M	6.7M
MAX. BUILDING HEIGHT 24.0M AND 6 STOREYS	2.7M x 5.5M
PARKING SPACE DIMENSIONS ACCESSIBLE PARKING DIMENSIONS 3.68M	121 CARS 3.38/1,000 S.F. 3.64/100 S.M. 13.21%
MIN. PARKING SPACES	121 CARS 3.38/1,000 S.F. 3.64/100 S.M. 13.21%
LANDSCAPE COVERAGE	2 SPACES FOR PARKING AREAS BETWEEN 100-200 SPACED AS PER THE TRAFFIC AND PARKING BYLAW
MIN. ACCESSIBLE PARKING SPACE	4 SPACES
MIN. LOADING SPACES	1 (3.5M X 9M)
MIN. BICYCLE PARKING SPACES	2
	8 SPACES
	18 SPACES

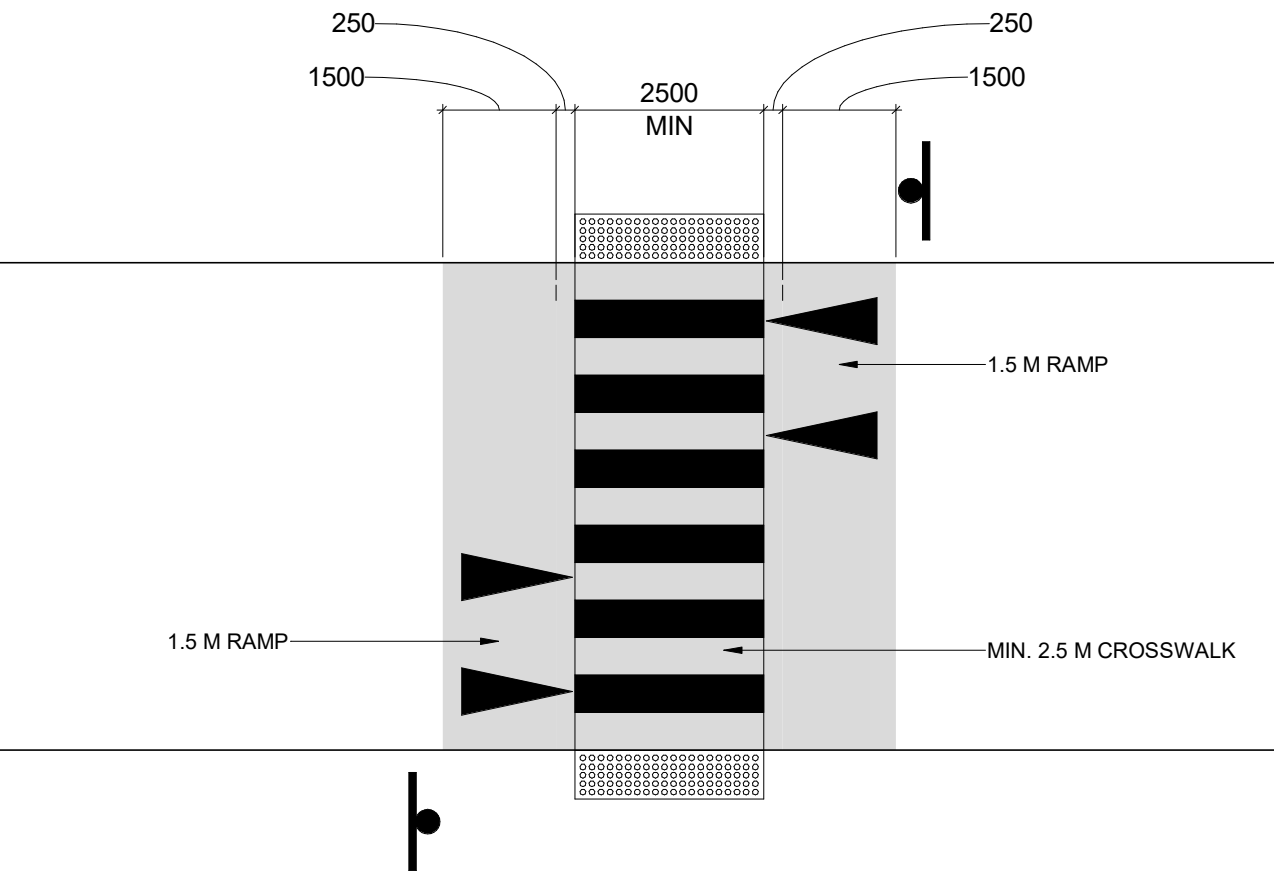
SITE STATISTICS

	\$3.37 ACRES	\$1.36 HA.
TOTAL SITE AREA	±17,000 S.F.	±1,579 S.M.
PROPOSED BUILDING A AREA	±17,000 S.F.	±1,579 S.M.
BUILDING A GLFA	±6,481 S.F.	±602 S.M.
PROPOSED BUILDING B AREA	±2,150 S.F.	±200 S.M.
B1	±3,931 S.F.	±365 S.M.
B2	±5,081 S.F.	±468 S.M.
BUILDING B GLFA	±8,600 S.F.	±799 S.M.
PROPOSED BUILDING C AREA	±200 S.F.	±19 S.M.
M&E ROOM	±2,000 S.F.	±186 S.M.
C1	±1,200 S.F.	±111 S.M.
C2	±1,200 S.F.	±111 S.M.
C3	±1,200 S.F.	±111 S.M.
C4	±2,800 S.F.	±260 S.M.
C5	±8,400 S.F.	±780 S.M.
BUILDING C GLFA	±4,500 S.F.	±418 S.M.
PROPOSED BUILDING D AREA	±200 S.F.	±19 S.M.
M&E ROOM	±4,300 S.F.	±399 S.M.
BUILDING D GLFA	±4,300 S.F.	±399 S.M.
TOTAL BUILDING FLOOR AREA	±36,581 S.F.	±3,398 S.M.
TOTAL M&E ROOM AREA	±800 S.F.	±74 S.M.
TOTAL GROSS LEASABLE FLOOR AREA	±35,781 S.F.	±3,324 S.M.
COVERAGE		24.9%

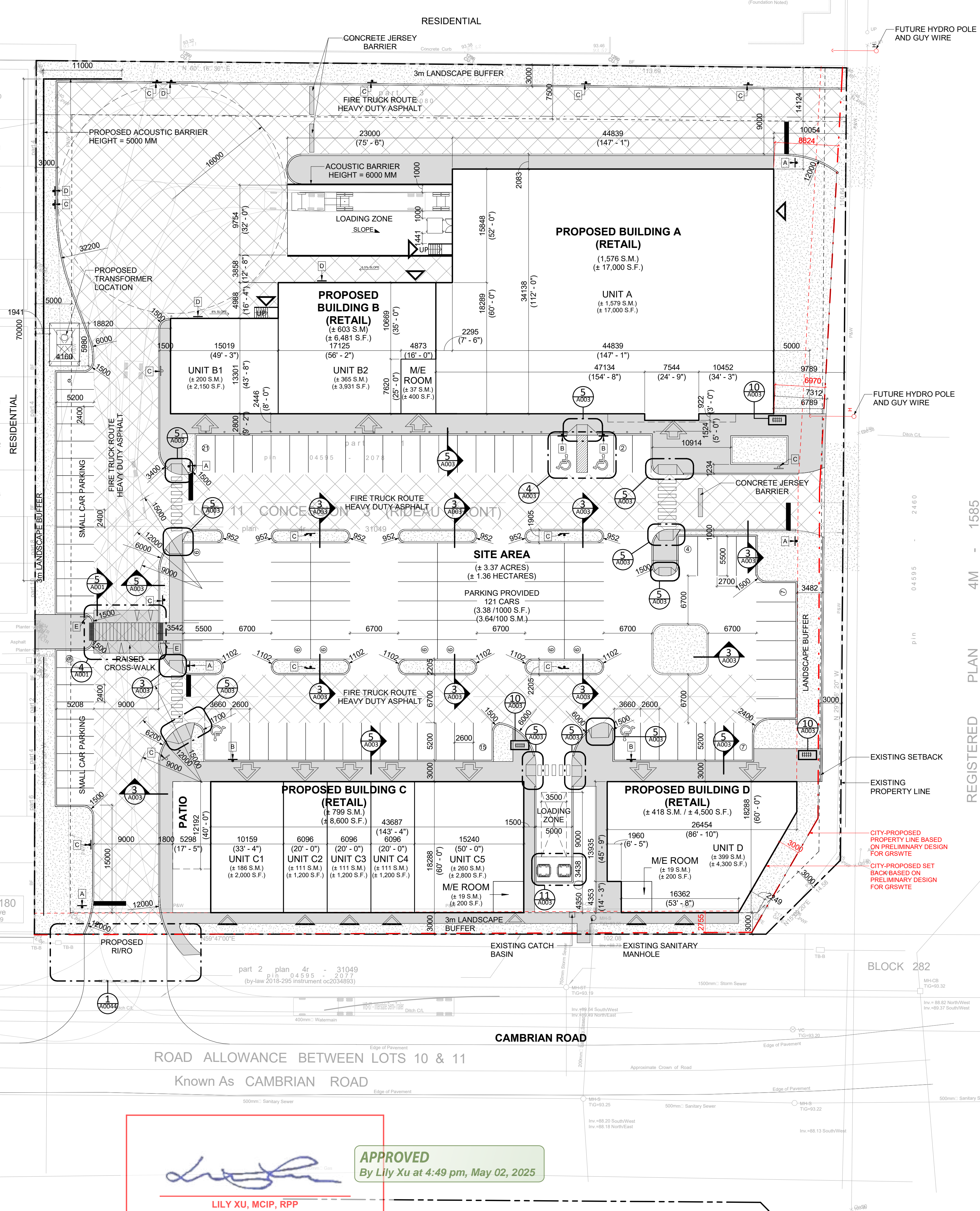
SYMBOL	SIGN	DESCRIPTION
A	STOP	"STOP" SIGN (600x600mm) WHITE REFL. LEGEND & BORDER, RED REFL. BACKGROUND
B	PARKING	"DISABLED PARKING PERMIT" SIGN (600x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLUE REFL. SYMBOL OF ACCESS & SYMBOL, BORDER, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
C	FIRE ROUTE	"FIRE ROUTE" SIGN (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. "FIRE ROUTE" ON BLACK BACKGROUND, BLACK LEGEND & BORDER, WHITE REFL. BACKGROUND
D	LOADING ZONE	"LOADING ZONE" SIGN (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
E	YIELD	"YIELD FOR PEDESTRIANS" SIGN (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND



5 RAISED CROSS WALK - TYPICAL SECTION DETAIL
A001 1:50



4 RAISED CROSS-WALK - TYPICAL PLAN DETAIL
A001 1:100



1 SITE PLAN
A001 1:300

APPROVED
By Lily Xu at 4:49 pm, May 02, 2025

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

Choice
Properties

PROJECT
PROPOSED COMMERCIAL RETAIL
PLAZA

3850 CAMBRIAN ROAD,
BARRHAVEN, ONTARIO

DRAWINGS
INTERIM SITE PLAN - PHASE 1

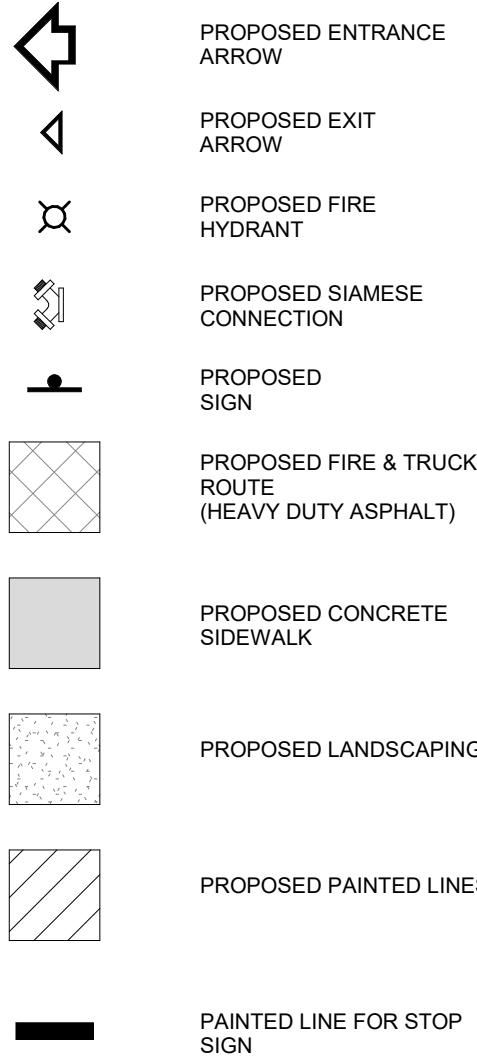
PROJECT NO.
21-327P01
PROJECT DATE
2024-01-22
DRAWN BY
MHB
CHECKED BY
DEM
SCALE
As indicated

ONTARIO ASSOCIATION
OF
ARCHITECTS
JOINT T. CROW
LICENCE
#734

DRAWING NO.
A001
REV.
6

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must confirm to all applicable codes and standards having jurisdiction. The contractor must assume full responsibility and bear costs for any corrections or damages resulting from his work.

SITE PLAN LEGEND



2 CONTEXT PLAN - PHASE 2
N.T.S

ZONING CHART

ZONING CHART
Zone: General Mixed Use (GM1628)
City of Ottawa Zoning By-law No. 2008-250

LOT AREA
MIN. FRONT YARD AND CORNER SIDE YARD SETBACK
MIN. INTERIOR SIDE YARD SETBACK
MIN. REAR YARD SETBACK
MAX. BUILDING HEIGHT
PARKING SPACE DIMENSIONS
ACCESSIBLE PARKING DIMENSIONS
MIN. PARKING SPACES
LANDSCAPE COVERAGE
MIN. ACCESSIBLE PARKING SPACE
MIN. LOADING SPACES
MIN. BICYCLE PARKING SPACES

REQUIRED

NO MINIMUM
3.0M
5.0M
7.5M
24.0M AND 6 STOREYS
2.6M (MIN) 3.1M (MAX) WIDE x 5.2M LONG
3.68M
2 SPACES FOR PARKING AREAS BETWEEN 100-200 SPACED
AS PER THE TRAFFIC AND PARKING BYLAW
1 (3.5M X 9M)
SHOPPING CENTRE: 1 SPACE PER 500 S.M. G.F.A

PROPOSED

* indicates non-compliance
13,637.9 S.M.
3.0M (ALONG CAMBRIAN ROAD)
3.297M (ALONG RE-ALIGNED GREENBANK ROAD)
18.8M (WEST SIDE)
14.4M (NORTH SIDE)
6.7M
2.7M x 5.5M
121 CARS
3.38/1,000 S.F
3.64/100 S.M
13.21%
4 SPACES
2
18 SPACES

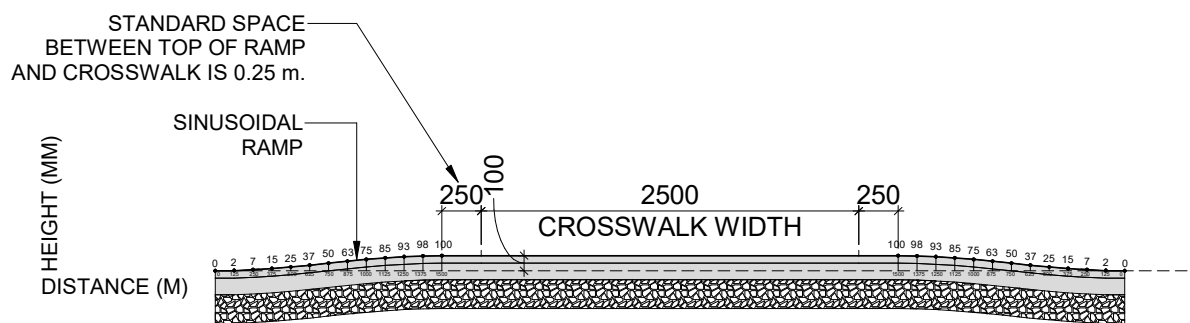
SITE STATISTICS

TOTAL SITE AREA

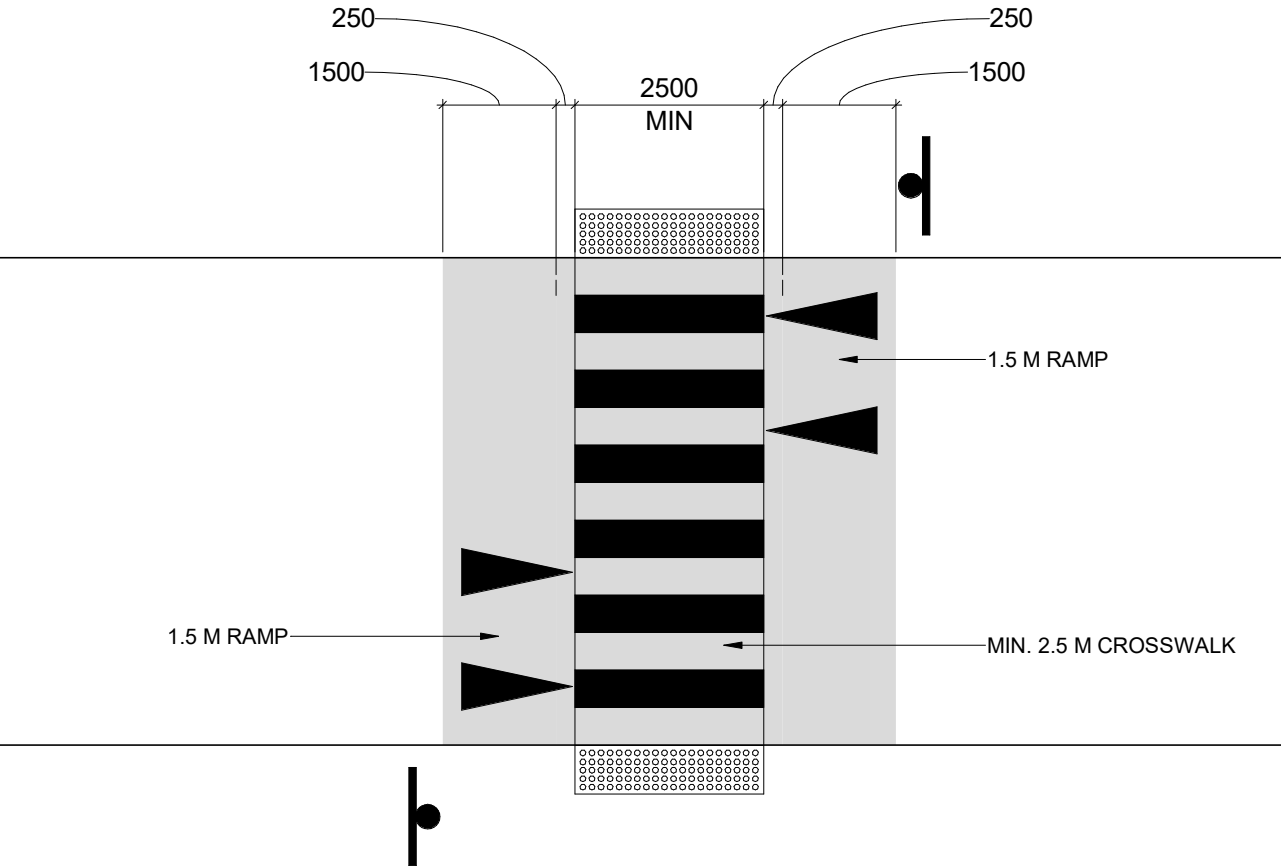
PROPOSED BUILDING A AREA
BUILDING A GLFA
PROPOSED BUILDING B AREA
M&E ROOM
B1
B2
BUILDING B GLFA
PROPOSED BUILDING C AREA
M&E ROOM
C1
C2
C3
C4
C5
BUILDING C GLFA
PROPOSED BUILDING D AREA
M&E ROOM
BUILDING D GLFA
TOTAL BUILDING FLOOR AREA
TOTAL M+E ROOM AREA
TOTAL GROSS LEASABLE FLOOR AREA
COVERAGE

±3.37 ACRES
±17,000 S.F.
±17,000 S.F.
±6,481 S.F.
±400 S.F.
±2,150 S.F.
±3,931 S.F.
±5,081 S.F.
±8,600 S.F.
±200 S.F.
±2,000 S.F.
±1,200 S.F.
±1,200 S.F.
±1,200 S.F.
±2,800 S.F.
±8,400 S.F.
±4,500 S.F.
±200 S.F.
±4,300 S.F.
±36,581 S.F.
±800 S.F.
±36,781 S.F.
24.9%

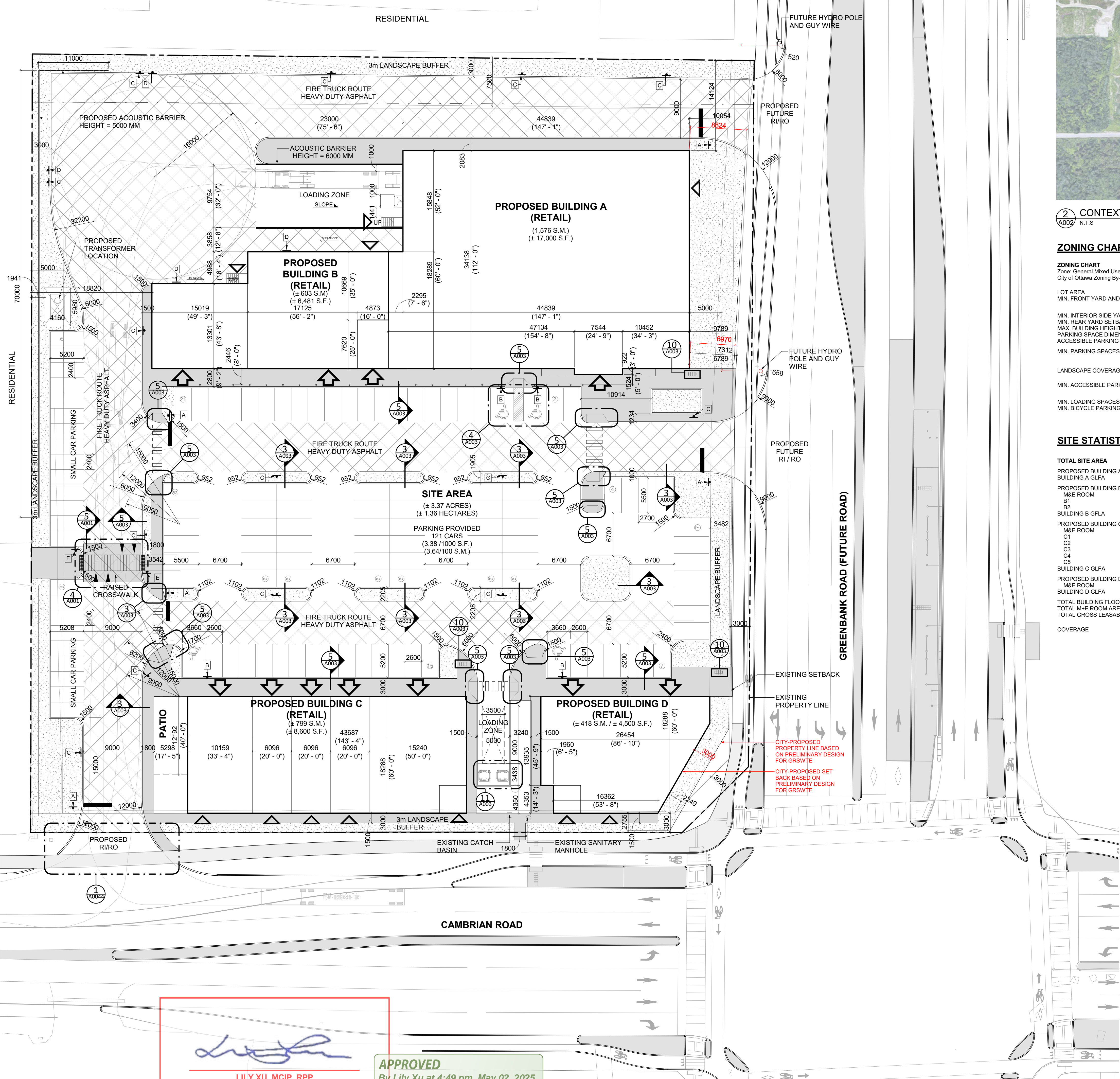
SYMBOL	SIGN	DESCRIPTION
A		"STOP" SIGN WHITE REFL. LEGEND & BORDER, RED REFL. BACKGROUND
B		"DISABLING PARKING PERMIT" SIGN R6-93 (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLUE REFL. SYMBOL OF ACCESS & SYMBOL BORDER, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
C		"FIRE ROUTE" SIGN 300x450mm RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, WHITE REFL. "FIRE ROUTE" ON BLACK BACKGROUND, BLACK LEGEND & BORDER, WHITE REFL. BACKGROUND
D		"LOADING ZONE" SIGN 300x450mm RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
E		"YIELD FOR PEDESTRIANS" SIGN 300x450mm RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND



5 RAISED CROSS WALK - TYPICAL SECTION DETAIL - PHASE 2
1:50



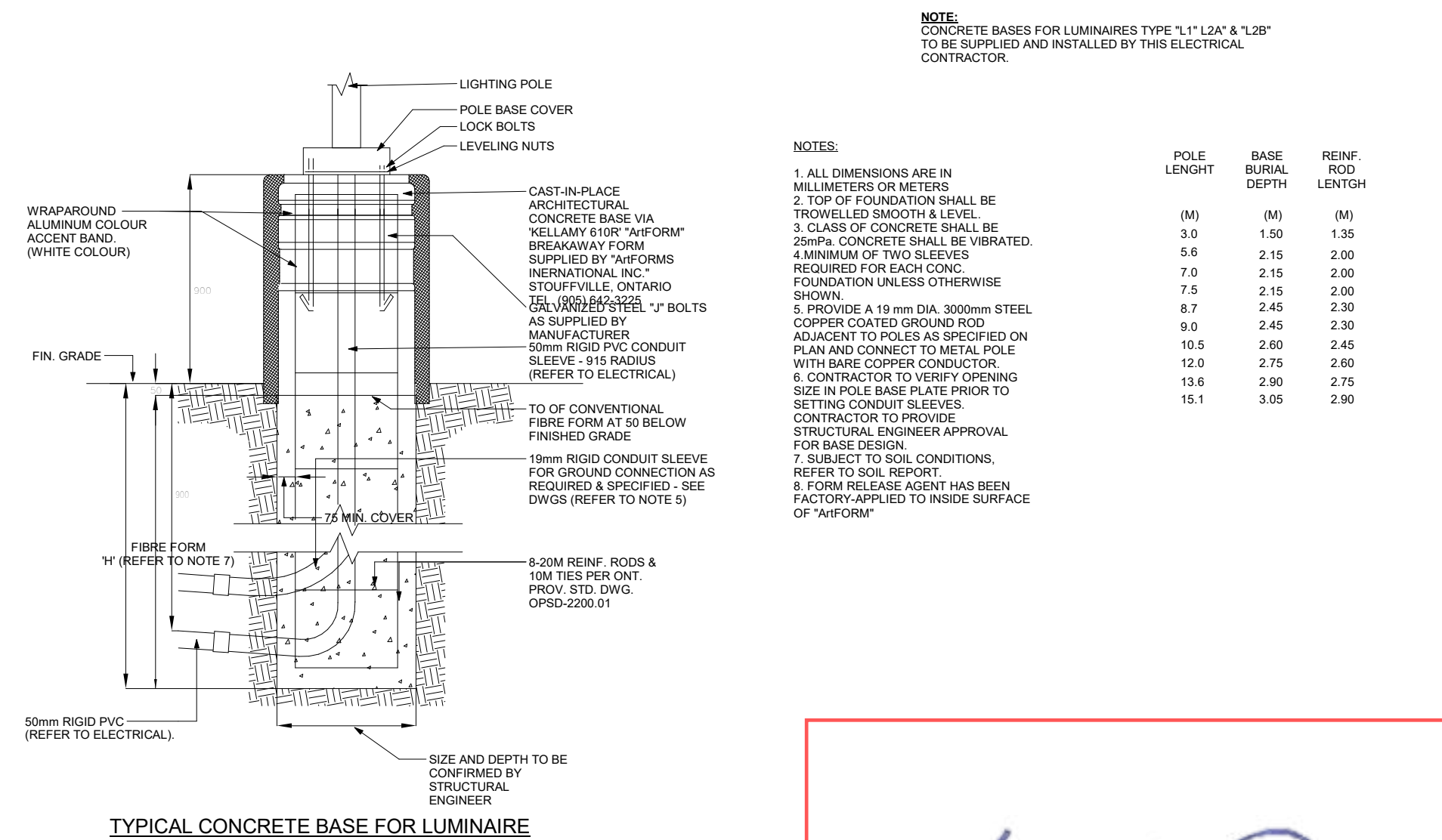
4 RAISED CROSS-WALK - TYPICAL PLAN DETAIL - PHASE 2
1:100



1 SITE PLAN - PHASE 2
1:300

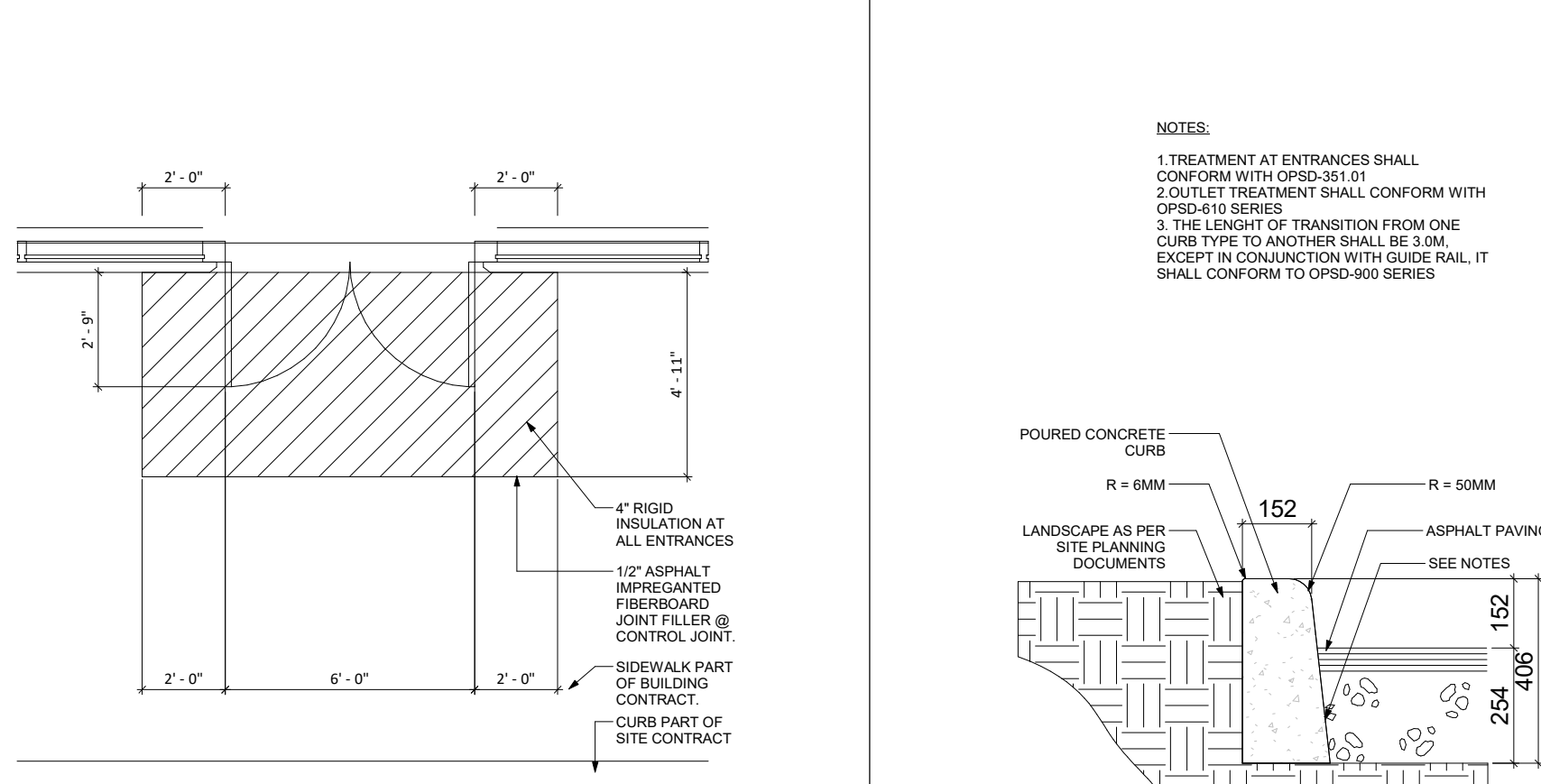
LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Lily Xu at 4:49 pm, May 02, 2025

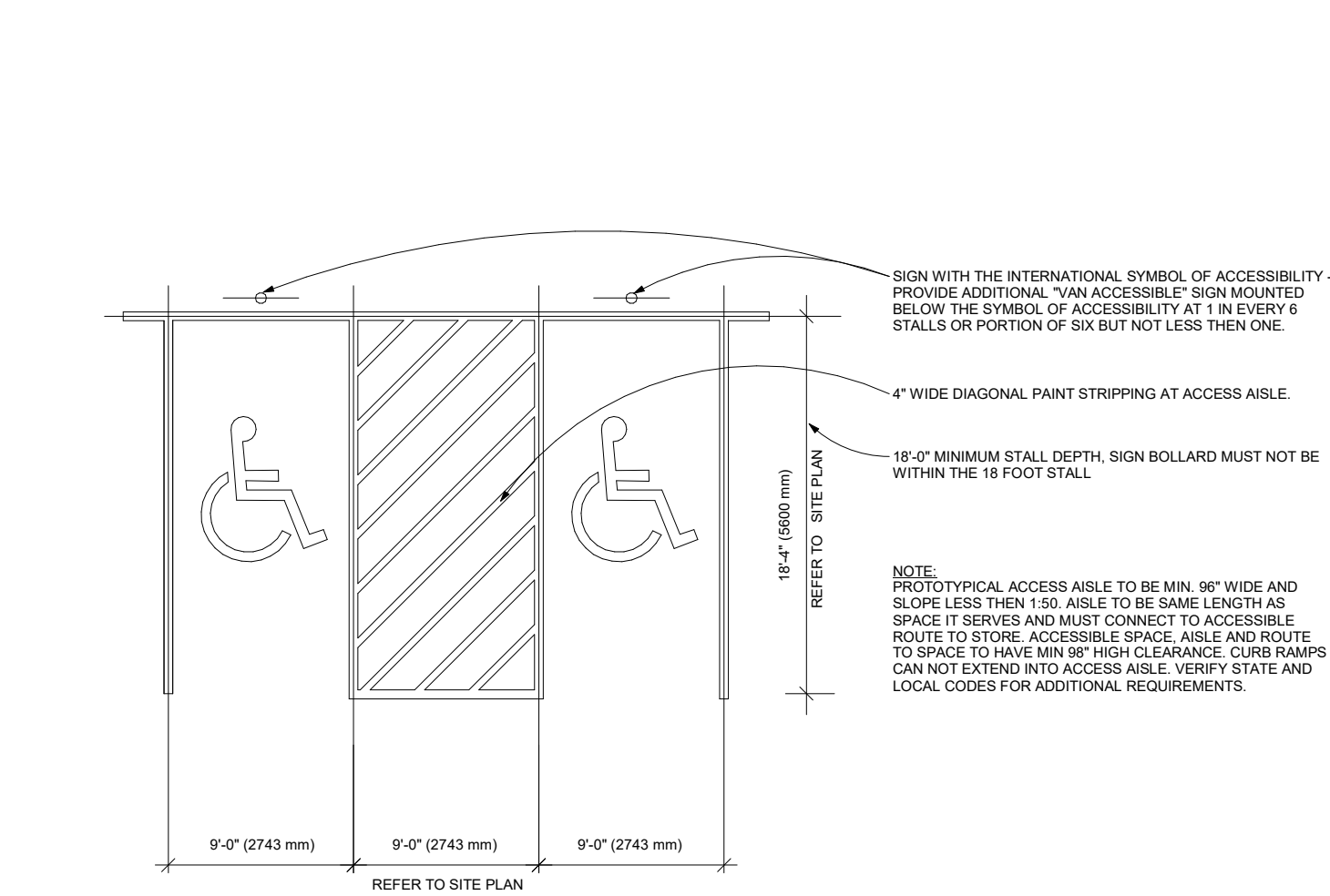


APPROVED
By Lily Xu at 4:49 pm, May 02, 2025

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

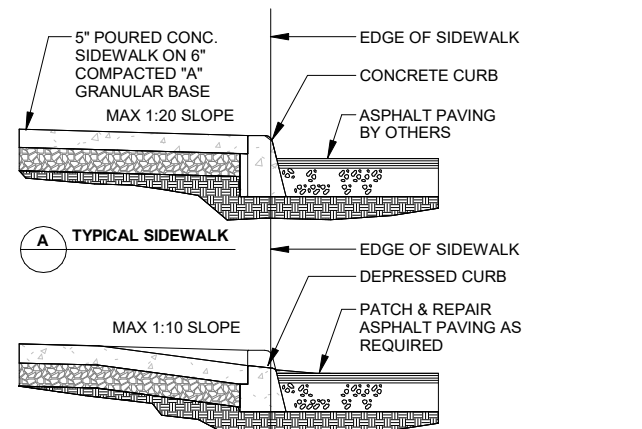


2 FROST SLAB PLAN
A003 1:50



PROTOTYPICAL ACCESSIBLE PARKING SPACES

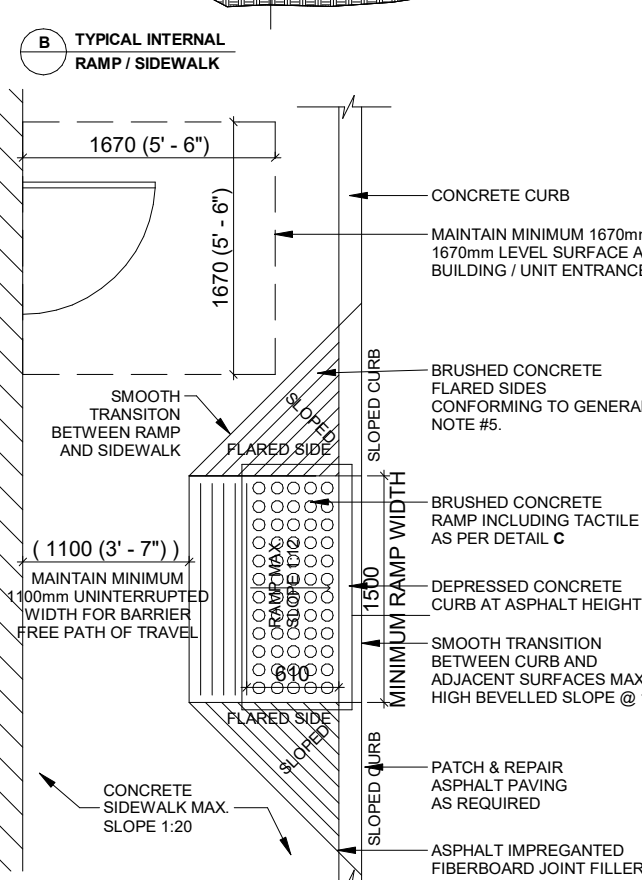
4 ACCESSIBLE PARKING DETAIL
A003 1 : 100



GENERAL NOTES:

- G1. SIDEWALK SLOPES TO BE 1/8" FT. (1%) MAXIMUM IN ALL DIRECTIONS ALONG STOREFRONT, 1/4" FT. (2%) MAX. IN OTHER AREAS.
- G2. EXPANSION JOINTS ARE TO BE AS SPECIFIED & LOCATED IN ACCORDANCE WITH CURB DOCUMENTS.
- G3. REINFORCING TO BE AS PER STRUCTURAL DOCUMENTS.
- G4. CURB TO BE BROOM FINISHED AS PER ARCHITECTURAL SPECIFICATIONS.
- G5. CONSTRUCTION OF CURB RAMPS TO BE IN ACCORDANCE WITH CURB DOCUMENTS.
- G6. CURB TO BE CONSTRUCTED IN ACCORDANCE WITH WALKING SURFACE INDICATORS THAT:

- i) HAVE RAISED TACTILE PROFILES.
- ii) HAVE A HIGH TONAL CONTRAST WITH THE ADJACENT WALKING SURFACE.
- iii) ARE LOCATED AT THE BOTTOM OF THE CURB RAMP.
- iv) HAVE A WIDTH OF CURB RAMP OF 1500mm TO 2000mm.
- v) EXTERIOR TO THE WALKING SURFACE.
- vi) ARE A MINIMUM OF 610mm IN DEPTH.



NOTES:

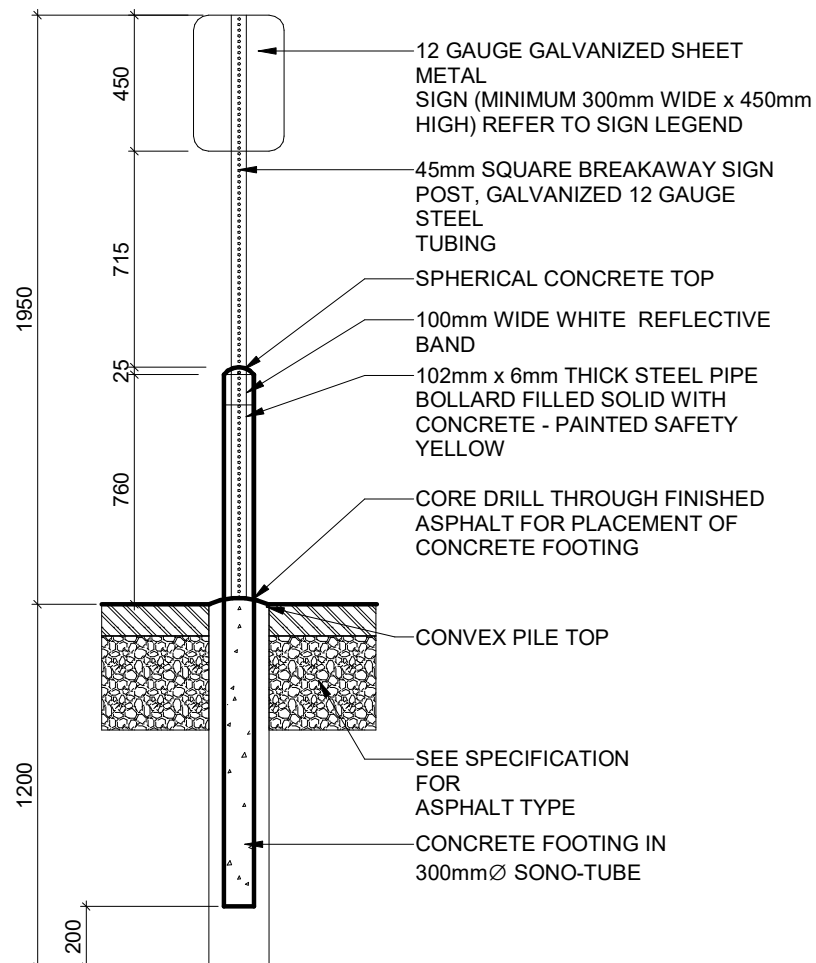
1. WHERE BIDEWALK IS CONTINUOUSLY ADJACENT TO CURB, THE DROPPED CURB AT ENTRANCES TO 2. FOR SLOPE DRAINAGE TO BE A 5% MAXIMUM.
3. TREATMENT AT ENTRANCES SHALL CONFORM WITH B. OUTLET PAVEMENT SHALL BE CONFORMED TO C.
4. THE LENGTH OF TRANSITION FROM ONE CURB TO 3.3m. IN CONJUNCTION WITH GUIDE FOR OPSSD-800 SERIES

BACK OF SIDEWALK
5% MAX
CURB TRANSITION
DROPPED CURB
TACTILE WALKING SURFACE INDICATED BY CROSS-HATCH
TACTILE WALKING SURFACE
SLOPE 5% MAX
VARIES
SEE SITE PLAN
CROSS SECTION OF TACTILE WALKING SURFACE

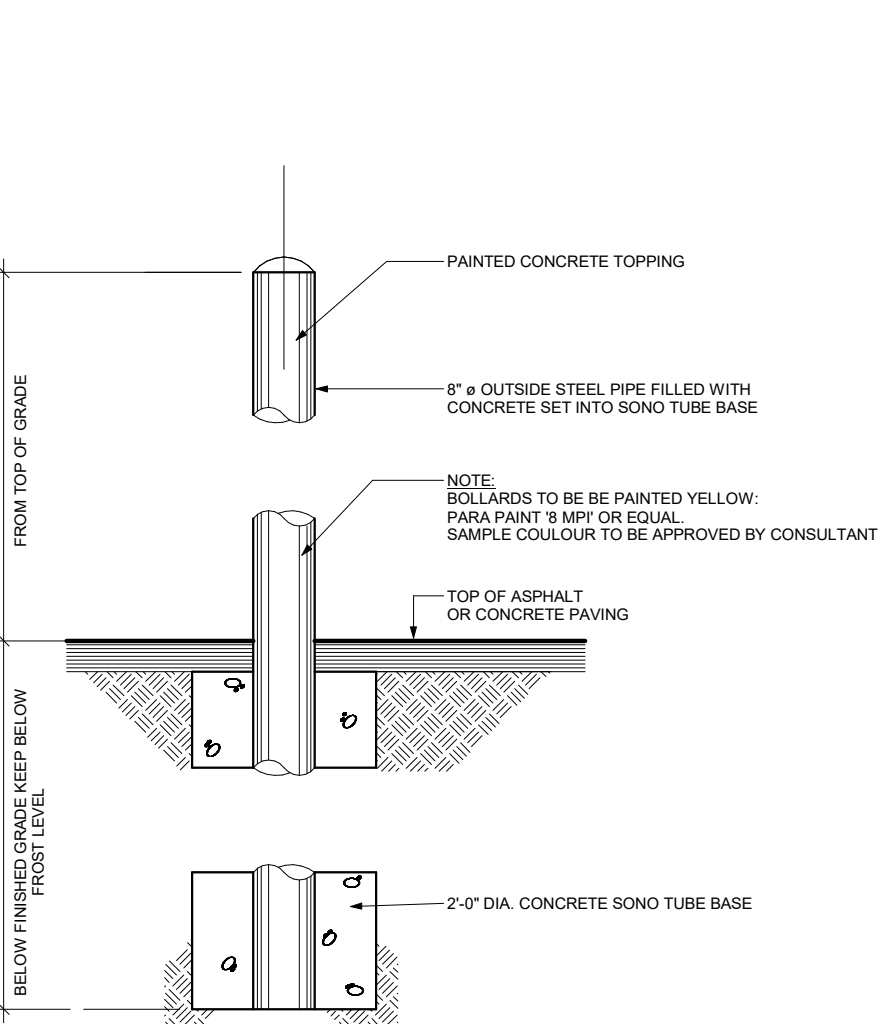
30mm MAX
25mm-28mm
50mm
50mm-60mm
15mm-20mm

DETAIL OF TACTILE SURFACE

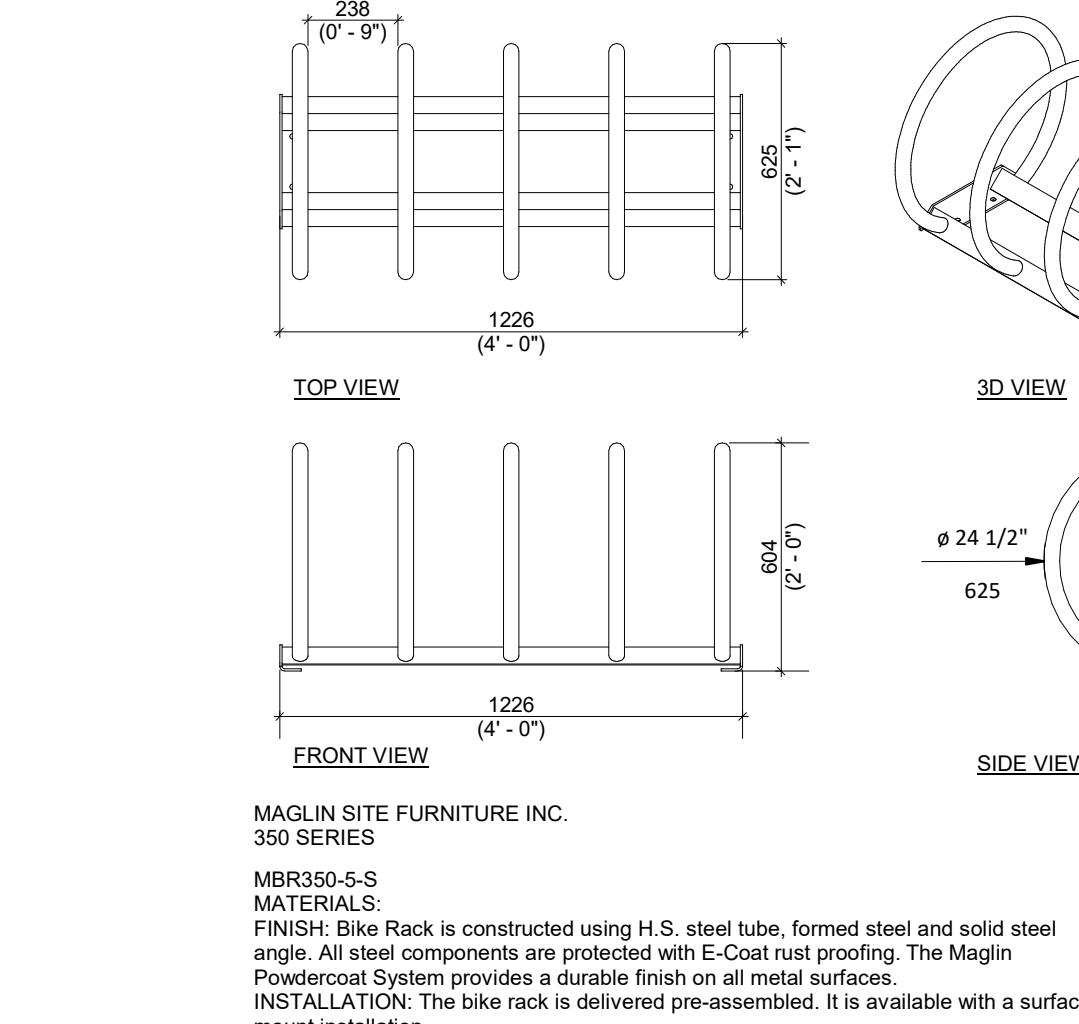
5 CURB RAMP WITH TACTILE PLATES
A003 1:50



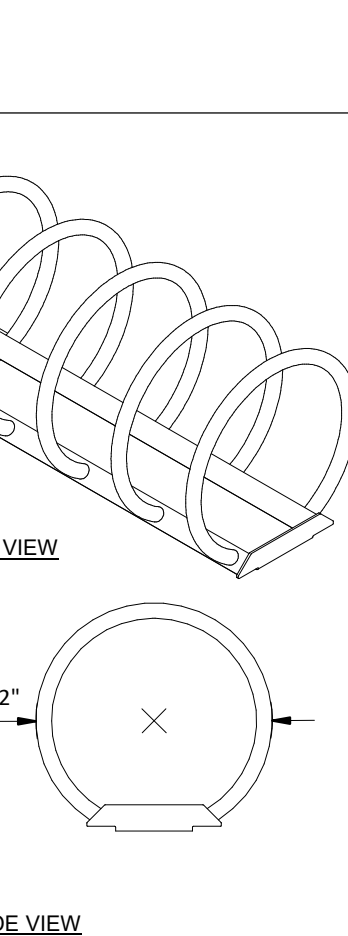
8 ACCESSIBLE SIGN W/ BOLLARD DETAIL
A003 1:25



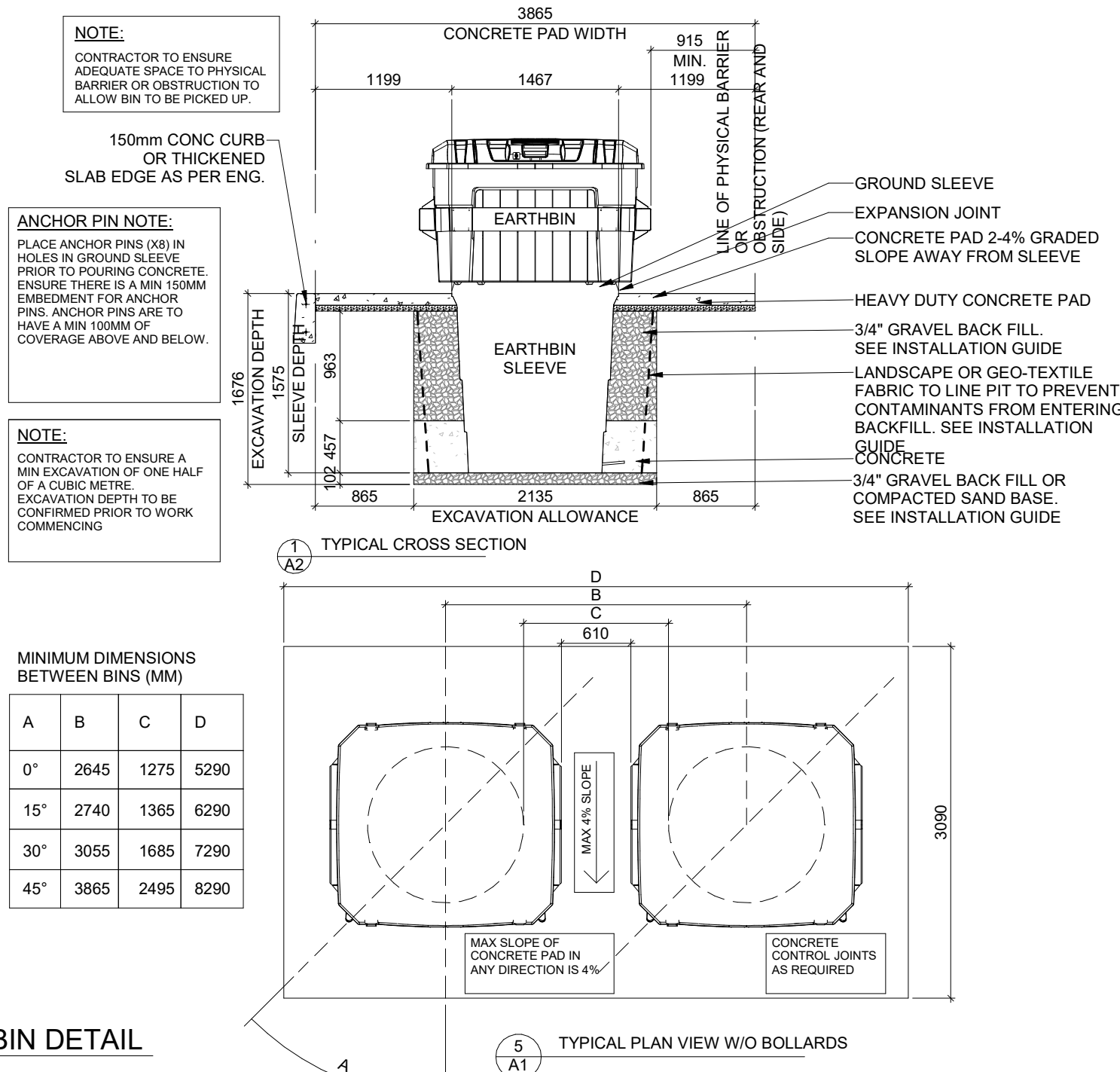
9 BOLLARD DETAIL
003 1:25



10 BICYCLE RACK DETAIL - 6 SPACES
A003 1:20



DIMENSIONS:
Height: 23.81" (60.48cm)
Length: 48.25" (122.56 cm)
Diameter: 24.63" (62.56 cm)
Weight: 78.60lbs (35.65kg)



EARTH BIN DETAIL

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the relevant drawings and specifications for details. The work constructed must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.