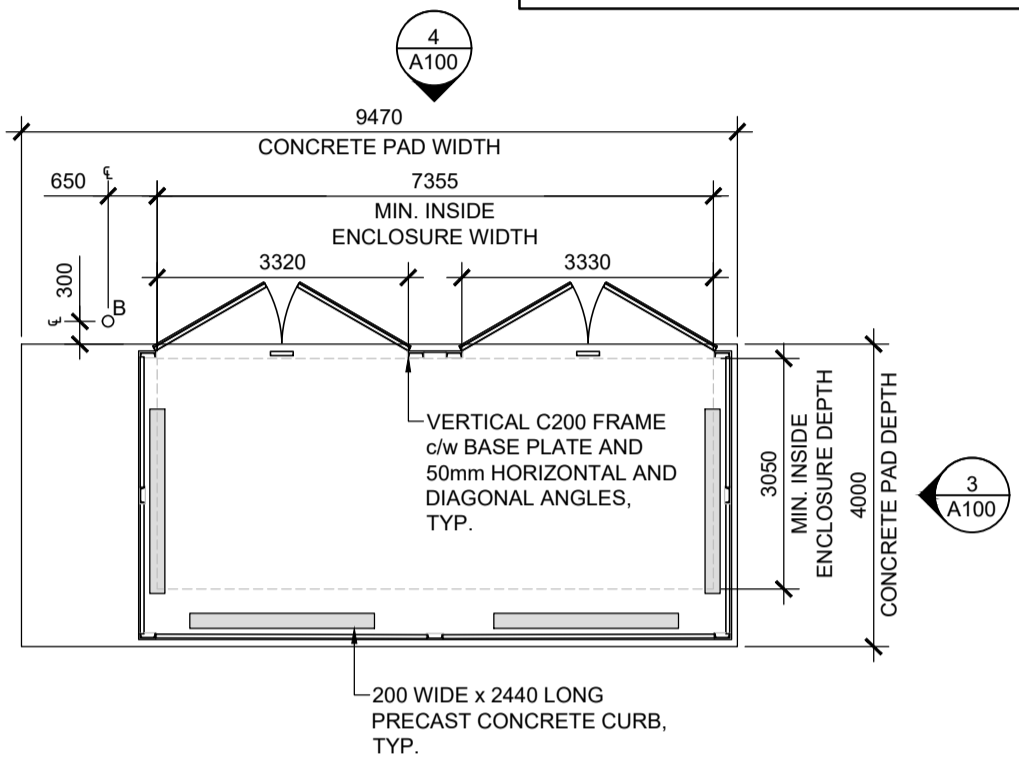


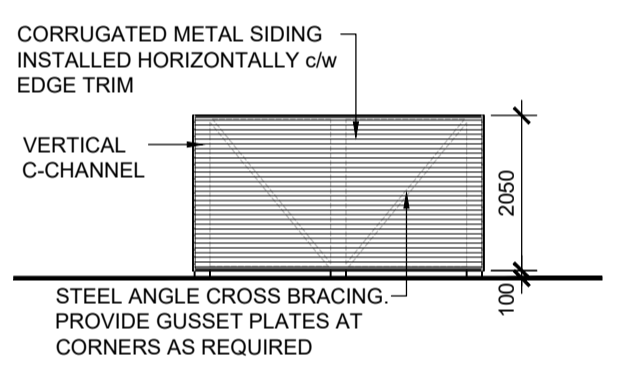
PARKING REQUIREMENTS	
GROSS FLOOR AREA:	8,433 m ²
VEHICLE PARKING - PER PART 4 ZONING BYLAW TABLE 101, PARKING FOR WAREHOUSE, AREA C ON SCHEDULE 1A, IS REQUIRED AT THE FOLLOWING RATE: 0.8 PER 100 m ² FOR FIRST 5,000 m ² OF GFA 0.4 PER 100 m ² ABOVE 5,000 m ² OF GFA	
REQUIRED PARKING FOR FIRST 5,000 m ² :	40
REQUIRED PARKING FOR REMAINING 3,433 m ² :	14
TOTAL REQUIRED PARKING:	54
PROVIDED PARKING:	115
BICYCLE PARKING - PER PART 4 ZONING BYLAW TABLE 111A:	
REQUIRED PARKING:	5
PROVIDED PARKING:	13
LOADING ZONE - PER PART 4 ZONING BYLAW TABLE 113A:	
REQUIRED LOADING ZONES:	1
PROVIDED LOADING ZONES:	10
PARKING FOR THE PHYSICALLY DISABLED - PER PARKING BYLAW 2003-530, SECTION 111:	
REQUIRED PARKING:	2
PROVIDED PARKING:	5

GENERAL SITE PLAN NOTES:	
PROPERTY BOUNDARY INFORMATION, AND TOPOGRAPHIC INFORMATION DERIVED FROM SURVEYOR'S REAL PROPERTY REPORT BLOCK 1, REGISTERED PLAN 4M-1649, CITY OF OTTAWA.	
PREPARED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD., SIGNED AND DATED 10 JANUARY, 2023	
SITE AND BUILDING DATA:	
SITE AREA	18,383 m ²
BUILDING AREA	7,983 m ²
GROSS AREA (O.B.C.)	8,682 m ²
GROSS FLOOR AREA (CITY OF OTTAWA)	8,433 m ²
BUILDING HEIGHT	8.4 m
GENERAL NOTES:	
1. FOR PAVED SURFACES, GRADING, SITE SERVICING, DRAINAGE EROSION AND SEDIMENT CONTROL, REFER TO CIVIL DRAWINGS.	
2. FOR PLANTING DETAILS, REFER TO LANDSCAPE DRAWINGS.	

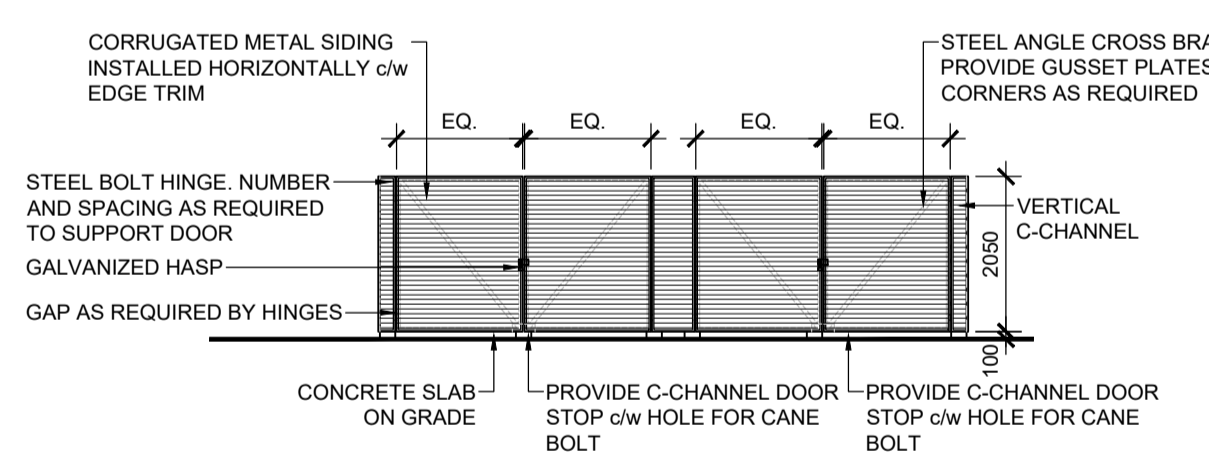
GENERAL NOTES		
1. DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS, FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.		
2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE; REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.		
3. GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE, GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.		
4. ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2012) OR NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.		
5. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.		
COPYRIGHT		
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2 GARbage ENCLOSURE PLAN
SCALE: 1:100



3 GARbage ENCLOSURE SIDE ELEVATION
SCALE: 1:100



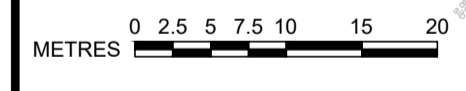
4 GARbage ENCLOSURE FRONT ELEVATION
SCALE: 1:100

GROSS AREA (8,682):	
1. (ONTARIO BUILDING CODE DEFINITION), THE TOTAL AREA OF ALL FLOORS ABOVE GRADE MEASURED BETWEEN THE OUTSIDE SURFACES OF EXTERIOR WALLS.	
GROSS FLOOR AREA (8,433):	
2. (CITY OF OTTAWA ZONING BYLAW DEFINITION FOR THE PURPOSE OF DETERMINING PARKING REQUIREMENTS), THE TOTAL AREA OF EACH FLOOR WHETHER LOCATED ABOVE, AT OR BELOW GRADE, MEASURED FROM THE INTERIORS OF OUTSIDE WALLS AND INCLUDING FLOOR AREA OCCUPIED BY INTERIOR WALLS AND FLOOR AREA CREATED BY BAY WINDOWS, BUT EXCLUDING:	
• FLOOR AREA OCCUPIED BY SHARED MECHANICAL, SERVICE AND ELECTRICAL EQUIPMENT THAT SERVE THE BUILDING (BY-LAW 2008-326)	
• COMMON HALLWAYS, CORRIDORS, STAIRWELLS, ELEVATOR SHAFTS AND OTHER VOIDS; STEPS AND LANDINGS; (BY-LAW 2008-326) (BY-LAW 2017-302)	
• BICYCLE PARKING; MOTOR VEHICLE PARKING OR LOADING FACILITIES;	
• COMMON LAUNDRY, STORAGE AND WASHROOM FACILITIES THAT SERVE THE BUILDING OR TENANTS;	
• COMMON STORAGE AREAS THAT ARE ACCESSORY TO THE PRINCIPAL USE OF THE BUILDING; (BY-LAW 2008-326)	
• COMMON AMENITY AREA AND PLAY AREAS ACCESSORY TO A PRINCIPLE USE ON THE LOT; AND (BY-LAW 2008-326)	
• LIVING QUARTERS FOR A CARETAKER OF THE BUILDING.	
ZONING:	
ZONING DESIGNATIONS (PART 11):	
ZONE IP13 - BUSINESS PARK INDUSTRIAL ZONE	
ZONING PROVISIONS	

LOT AREA:		
MINIMUM:	750 m ²	
PROPOSED:	18,383 m ²	
LOT WIDTH:		
MINIMUM:	NO MINIMUM	
PROPOSED:	147.70 m	
LOT COVERAGE:		
MAXIMUM:	55%	
PROPOSED:	43%	
SETBACKS (SECTIONS 205 AND 206):		
	MIN.	PROVIDED
FRONT YARD:	6.00m	19.85m
CORNER SIDE YARD:	6.00m	18.60m
INTERIOR SIDE YARD:	4.00m	7.34m
REAR YARD:	4.00m	55.70m
INTERIOR SIDE YARD:	4.00m	4.00m
REAR YARD:	6.00m	16.90m
FLOOR SPACE INDEX:		
MAXIMUM:	2.00	
PROPOSED:	0.47	
BUILDING HEIGHT:		
MAXIMUM:	22.0 m	
PROPOSED:	8.4 m	
LANDSCAPING (SECTION 205):		
	MIN.	PROVIDED
ABUTTING A STREET:	3.0 m	3.0 m
NOT ABUTTING A STREET:	0.0 m	0.0 m

ISSUE RECORD:		
NO.	DESCRIPTION	DATE
1	FOR CLIENT REVIEW	2022/05/12
2	FOR CLIENT APPROVAL	2022/08/09
3	FOR REVIEW	2022/11/01
4	FOR CO-ORDINATION/REVIEW	2023/02/08
5	FOR CO-ORDINATION/REVIEW	2023/02/28
6	SUBMITTED FOR SPA	2023/04/14
7	ISSUED FOR COORDINATION	2023/06/16
8	(A100) ISSUED FOR COORDINATION	2023/06/26
9	ISSUED FOR COORDINATION	2023/07/14
10	ISSUED FOR COORDINATION	2023/07/28
11	ISSUED FOR REVISED SPA	2023/09/19
OWNER		
KONSON HOMES INC.		
361 CHURCHILL AVE N, OTTAWA, ONTARIO K1Z 5C4, CANADA TEL: (613) 715-9668		
CONSULTANTS		
CIMA+		
MECHANICAL, ELECTRICAL AND STRUCTURAL ENGINEERS TEL: 613-860-2462		
EXP SERVICES INC.		
CIVIL ENGINEERS TEL: 613-888-1899		
JAMES B LENNOX & ASSOCIATES INC.		
LANDSCAPE ARCHITECTS TEL: 613-722-5168		
GENERAL CONTRACTOR		
DOLYN CONSTRUCTION LTD.		
888 LADY ELLEN PLACE, OTTAWA, ON K1Z 5L5, CANADA TEL: 613-224-7288		

1 SITE PLAN
SCALE: 1:500



DRAWING LEGEND:	
	LOCATION OF PEDESTRIAN DOORS
	LOCATION OF VEHICULAR DOORS
	BOLLARD
	ACCESSIBLE PARKING SPACE C/W PAINTED LOGO & SIGN ON POST OR WALL
	DESIGNATED LOADING ZONE
	CURB RAMP W/TWISI
	NEW CONCRETE PAD MOUNTED GARbage ENCLOSURE
	LIGHT STANDARD, SEE ELECTRICAL
	EXISTING FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	PROPERTY LINE
	PROPERTY SET BACK LINE
	LANDSCAPE SET BACK LINE
	FIRE TRUCK BACK-UP SPACE
	RETAINING WALL, SEE CIVIL
	OUTLINE OF PROPOSED BUILDING
	SOFT LANDSCAPING, REFER TO LANDSCAPING DRAWINGS
	CONCRETE WALKING SURFACE, REFER TO CIVIL DRAWINGS
	EXTENT OF NEW FIRE ACCESS ROUTE C/W HEAVY DUTY ASPHALT, REFER TO CIVIL DRAWINGS
	SNOW STORAGE
	CONCRETE TRUCK RAMP

A GROUP OF ARCHITECTS

201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8
WWW.ARCHITECTSDCA.COM 613.725.2294

PROJECT TITLE			
1485 UPPER CANADA STREET OTTAWA, ON, K0A 1L0			
DRAWING TITLE			
SITE PLAN			
DATE	DRAWN	JOB NO.	DRAWING NO.
JAN 2023	BR DR	3482	A100
SCALE	REVIEWED		
	DR TD		
ARCHITECTURAL			