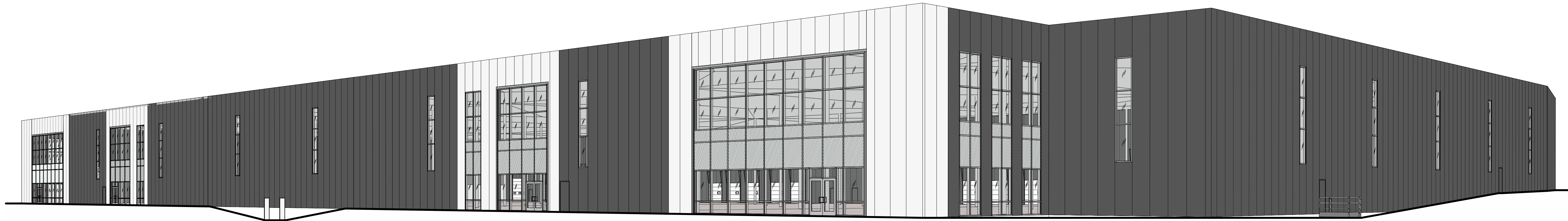


ROSEFELLOW 575 DEALERSHIP

480 & 486 CITIGATE DRIVE,
OTTAWA, ONTARIO K2J 6H8



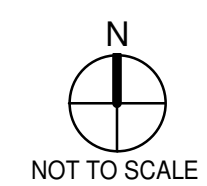
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ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977



**ROSEFELLOW 575
DEALERSHIP**
480 & 486 CITIGATE DRIVE,
OTTAWA, ONTARIO K2J 6H8

VICINITY MAP	OWNER	CONSULTANTS	SHEET INDEX	TOTAL SHEETS 11																		
	<p>ROSEFELLOW 750 MARCEL-LAURIN SUITE 210 SAINT LAURENT, QUEBEC H4M 2M4 (514) 532-1080</p> <p>PRIMARY CONTACT: JULIAN NINI PH: (514) 532-1080 EMAIL: JULIANN@ROSEFELLOW.COM</p>	<p>CIVIL ENGINEER NOVATECH 240 MICHAEL COWPLAND DRIVE SUITE 200 OTTAWA, ONTARIO K2M 1P6 (613) 254-9643</p> <p>PRIMARY CONTACT: DREW BLAIR PH: (613) 254-9643 EMAIL: d.blair@novatech-eng.com</p>	<p>ARCHITECTURAL</p> <p>G010 TITLE SHEET G011 OBC MATRIX A100 SITE PLAN A120 BUILDING A - FLOOR PLAN A121 BUILDING B - FLOOR PLAN A190 BUILDING A - ROOF PLAN A191 BUILDING B - ROOF PLAN A210 BUILDING A - EXTERIOR ELEVATIONS A211 BUILDING B - EXTERIOR ELEVATIONS A310 BUILDING A - BUILDING SECTIONS A311 BUILDING B - BUILDING SECTIONS ARCHITECTURAL SHEET COUNT: 11</p>	<table border="1"> <tr> <td colspan="2">TITLE SHEET</td> <td>REMARKS</td> </tr> <tr> <td>DATE</td> <td>ISSUED FOR SPA</td> <td>REISSUED FOR SPA</td> </tr> <tr> <td>1 2023-05-03</td> <td></td> <td></td> </tr> <tr> <td>2 2023-10-05</td> <td></td> <td></td> </tr> </table> <table border="1"> <tr> <td>PA/PM:</td> <td>H. WERNER</td> </tr> <tr> <td>DRAWN BY.:</td> <td>D.P. / E.C.</td> </tr> <tr> <td>JOB NO.:</td> <td>OTW22-0010-00</td> </tr> </table> <p style="text-align: center;">SHEET G010</p>	TITLE SHEET		REMARKS	DATE	ISSUED FOR SPA	REISSUED FOR SPA	1 2023-05-03			2 2023-10-05			PA/PM:	H. WERNER	DRAWN BY.:	D.P. / E.C.	JOB NO.:	OTW22-0010-00
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JOB NO.:	OTW22-0010-00																					
<p>ARCHITECT</p> <p>WARE MALCOMB SUITE 104, 1420 BLAIR TOWERS PLACE GLOUCESTER, ONTARIO K1J 9L8 CANADA P (905) 760-1221</p> <p>PRIMARY CONTACT: HARRISON WERNER PH: (905) 760-1221 EXT. 2145 EMAIL: hwerner@waremalcomb.com</p>																						

Autodesk Docs: OTW22-0010-00_Rosefellow 575 Dealership/OTW22-0010-00_1_ARCH.rvt



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2023-10-05_REISSUED FOR SPA

OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
CERTIFICATE OF PRACTICE NUMBER: 3619
NAME OF PROJECT: ROSEFELLOW 575 DEALERSHIP - BUILDING A

Table with 15 columns: ITEM, PROJECT DESCRIPTION, MAJOR OCCUPANCY(S), BUILDING AREA, NUMBER OF STOREYS, BUILDING CLASSIFICATION(S), SPRINKLER SYSTEM PROPOSED, STANDPIPE REQUIRED, FIRE ALARM REQUIRED, WATER SERVICE / SUPPLY IS ADEQUATE, HIGH BUILDING, CONSTRUCTION RESTRICTIONS, MEZZANINE(S) AREA, OCCUPANT LOAD BASED ON, BARRIER-FREE DESIGN, HAZARDOUS SUBSTANCES, REQUIRED FIRE RESISTANCE RATING (FRR), SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS, PLUMBING FIXTURE REQUIREMENTS, OTHERS (DESCRIBE).

OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
CERTIFICATE OF PRACTICE NUMBER: 3619
NAME OF PROJECT: ROSEFELLOW 575 DEALERSHIP - BUILDING B

Table with 15 columns: ITEM, PROJECT DESCRIPTION, MAJOR OCCUPANCY(S), BUILDING AREA, NUMBER OF STOREYS, BUILDING CLASSIFICATION(S), SPRINKLER SYSTEM PROPOSED, STANDPIPE REQUIRED, FIRE ALARM REQUIRED, WATER SERVICE / SUPPLY IS ADEQUATE, HIGH BUILDING, CONSTRUCTION RESTRICTIONS, MEZZANINE(S) AREA, OCCUPANT LOAD BASED ON, BARRIER-FREE DESIGN, HAZARDOUS SUBSTANCES, REQUIRED FIRE RESISTANCE RATING (FRR), SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS, PLUMBING FIXTURE REQUIREMENTS, OTHERS (DESCRIBE).

WARE MALCOMB
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RF.

ROSEFELLOW 575
DEALERSHIP
480 & 486 CITIGATE DRIVE,
OTTAWA, ONTARIO K2J 6H8

Table with 2 columns: DATE, REMARKS. Includes dates 2023-05-03 and 2023-10-05.

Table with 2 columns: PA/PM: H. WERNER, DRAWN BY.: D.P. / E.C., JOB NO.: OTW22-0010-00

SHEET
G011

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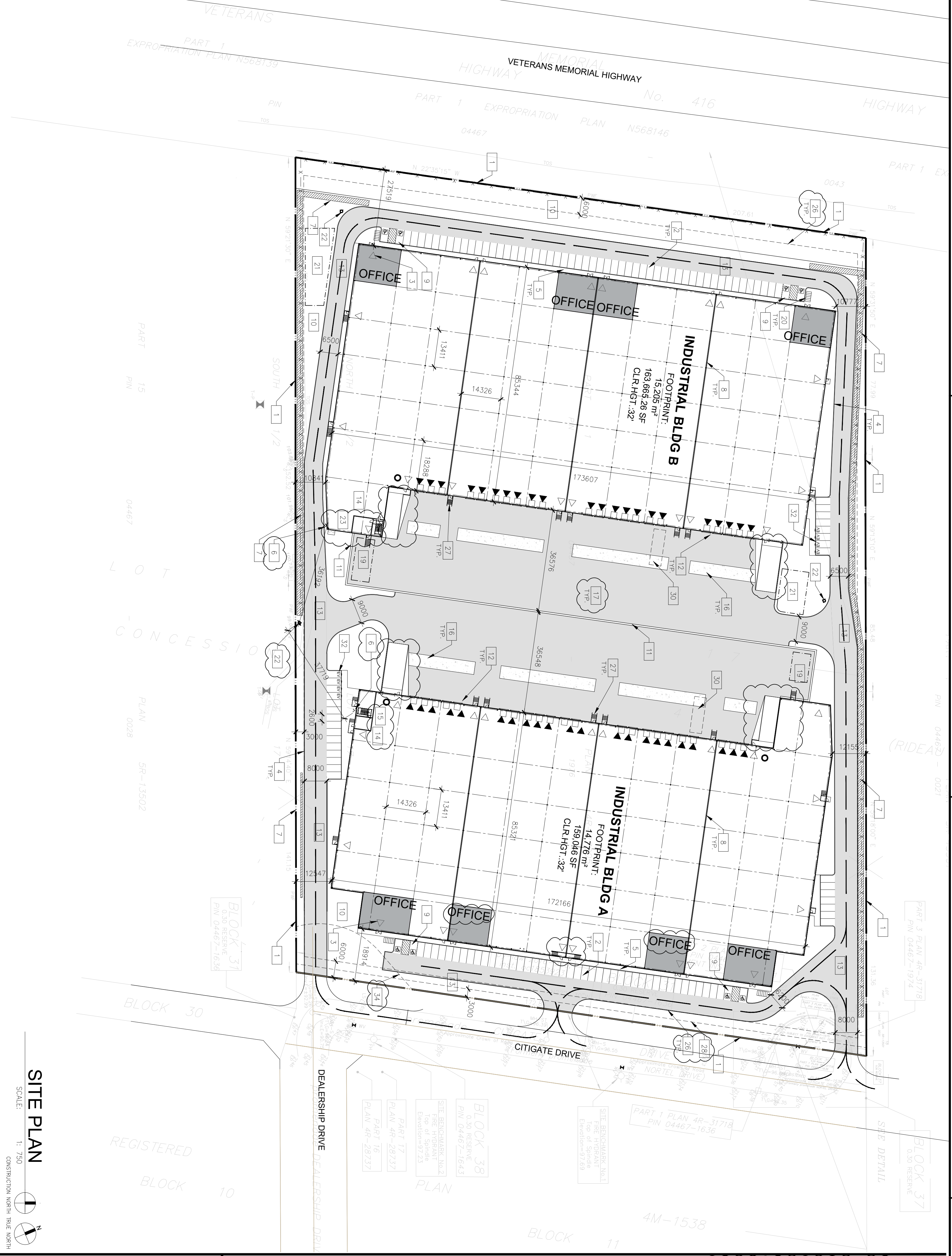
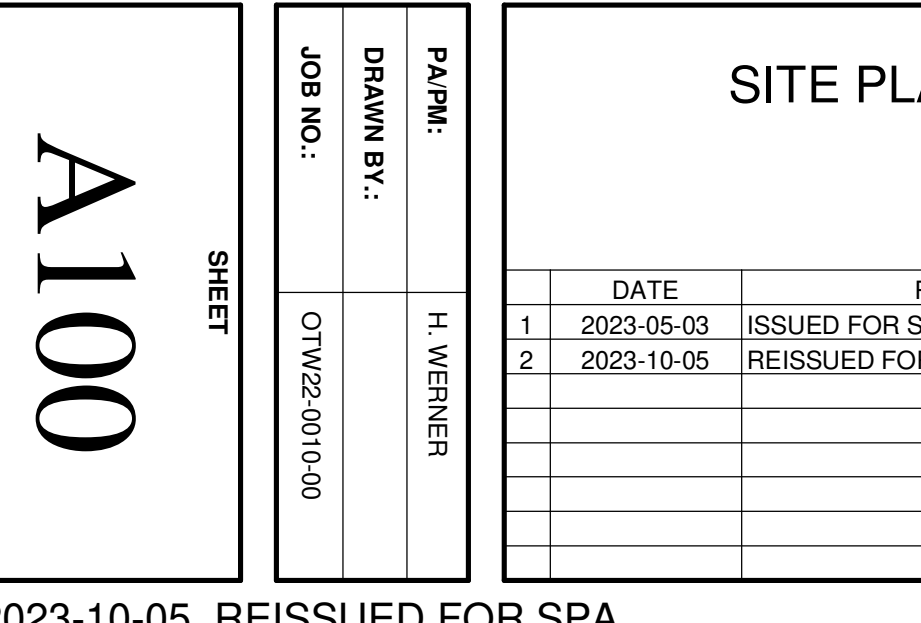
- ### SITE PLAN NOTES
- PROPERTY LINE
 - 2000-600mm PARKING STALL, PAINTED PARKING STRIPING PER CODE OF ONTARIO ZONING BY-LAW NO. 2005-290
 - PARKING ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
 - 150mm WOE CURB TYPICAL
 - SOE/MARK - SEE LANDSCAPE DIMS FOR CONSTRUCTION DETAILS
 - FIRE DEPARTMENT/SIEMSE CONNECTION
 - PROPOSED RETAINING WALL - REFER TO CIVIL DRAWINGS
 - TYPICAL ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CODE OF ONTARIO ZONING BY-LAW NO. 2005-290
 - 2.4m x 5.2m WITH 1.5m WOE PAINTED BARRIER FREE ASLE AND STORAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
 - LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
 - GUARDRAIL SET INTO RETAINING WALL REFER TO CIVIL DRAWINGS FOR EXTENT AND DETAILS.
 - 12.0m x 3.5m TRUCK LOADING SPACE (TRP)
 - FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS (---)

- PROPOSED LOCATION OF ELECTRICAL RM
- PROPOSED LOCATION OF MECHANICAL RM
- CONCRETE DOLLY PAD
- SHADED AREA DENOTES HEAVY DUTY ASPHALT TYPICAL FOR ALL AREAS REQUIRING FIRE OR TRACTOR TRUCK ACCESS.
- STEEL BOLLARD
- GARBAGE COLLECTION AREA
- CALV. BICYCLE RACKS - SEE LANDSCAPE DRAWINGS
- SNOW STORAGE AREA
- PROPOSED FIRE HYDRANT
- MECHANICAL ROOM LOCATED IN BASEMENT BELOW SLAB
- FIRE ROUTE SIGNAGE PER CITY OF OTTAWA STANDARDS. REFER TO FIRE ROUTE BY-LAW NO. 2003-499 FOR SIGN REQUIREMENTS. SIGNS TO BE SPACED NO MORE THAN 2.5M APART
- TACTILE WALKING SURFACE INDICATOR STRIP
- BUILDING SETBACK
- EXTERIOR CALV. STEEL STAIRS W/ TUBE STEEL GUARDRAIL ON CONC. PAD, TYP.
- LANDSCAPE SETBACK
- 13m x 4.3m OVERSIZED TRUCK LOADING SPACE

- PYLON SIGNAGE
- EV PARKING STALLS (8 PROPOSED)
- PAINTED LINES PEDESTRIAN CROSSING
- APPROXIMATE LOCATION OF RIGHT OF WAY

- ### SITE LEGEND
- NEW HEAVY DUTY PAVEMENT (HATCHED)
 - NEW LANDSCAPED AREA (HATCHED)
 - NEW RIVER STONE AREA (HATCHED)
 - PAINTED DIAGONAL LINES WHERE INDICATED
 - PROPOSED EV PARKING STALLS
 - PROPERTY LINE
 - SITE BOUNDARY LINE
 - OLD GAS METER LOCATION
 - FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
 - EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
 - PROPOSED FIRE HYDRANT
 - LIGHT POLE
 - WALL MOUNTED LIGHT

- ### SITE PLAN
- SCALE: 1:750
- CONSTRUCTION NORTH TRUE NORTH
- WH DENOTES MANHOLE
 - PROPOSED CATCHBASIN
 - TACTILE INDICATORS AT DEPRESSED CURB
 - BICYCLE RACK (1800 x 600 PER BIKE)
 - MAN DOOR
 - DOCK HIGH TRUCK DOOR
 - GRADE LEVEL TRUCK DOOR
 - FIRE ROUTE SIGNS
 - PYLON SIGNAGE
 - CONCRETE SIDEWALK
 - ASPHALT PATHWAY
 - STONE DUST PATHWAY

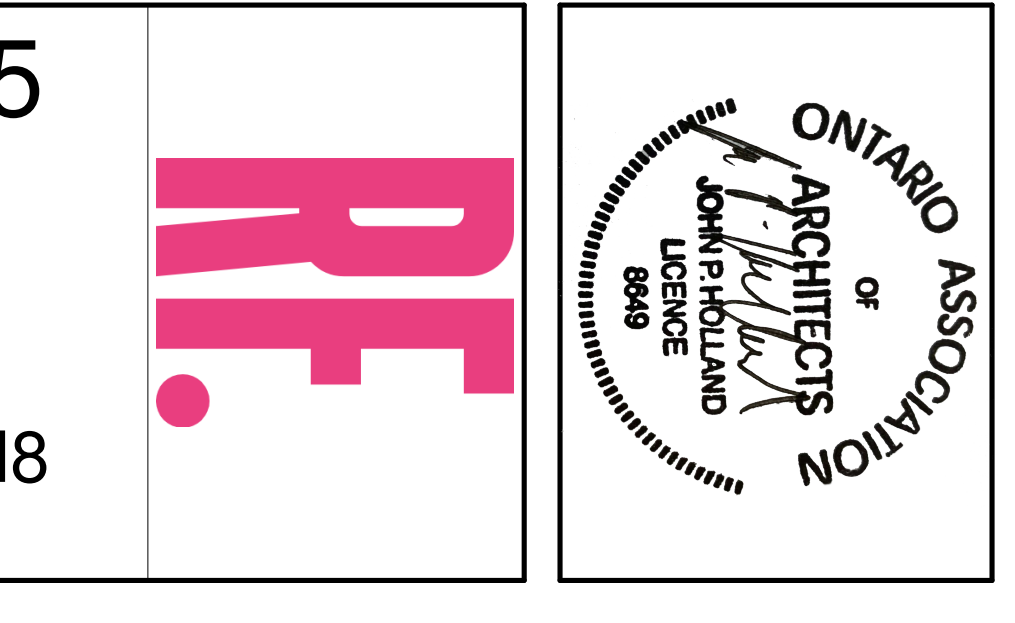


OTW22-0010-00 ROSEFELLOW INDUSTRIAL BLDG	
SITE STATISTICS	
ZONING	IP
GROSS SITE AREA	60,449.59m ²
Zone Permitted Use (OTTAWA ZONING BY-LAW NO. 2005-290)	Warehouse
Proposed Use	Warehouse
Regulations (Part 11 - Industrial Zones)	
Min. Front Yard Building Setback (m)	18.9m
Min. Interior Side Yard Building Set Back (m)	12.1m
Min. Rear Yard Building Setback (m)	27.5m
Min. Landscape Setback abutting a Street (m)	> 3m
Min. Landscape Setback (all other cases) (m)	3m
Max. Floor Space Index	0.49
Max. Building Height	11.4 m
	22 m
BUILDING FLOOR AREA	
INDUSTRIAL BLDG A	
Warehouse Area	13,913,00m ²
Office Area	983,00m ²
Total Bldg A	14,776,00m ²
INDUSTRIAL BLDG B	
Warehouse Area	14,414,00m ²
Office Area	791,00m ²
Total Bldg B	15,205,00m ²
TOTAL BUILDING GFA	29,981,00m²
PARKING REQUIREMENT	
Warehouse GFA @ 0.8 Spaces per 100m ² first 5000m ²	PROPOSED
Warehouse GFA @ 0.2 Spaces per 100m ² above 5000m ²	REQUIRED
Warehouse GFA @ 0.2 Spaces per 100m ² above 5000m ²	
Parking Spaces Building A	69
Parking Spaces Building B	65
Total No. of Parking Spaces	134
Barrier Free Parking Spaces	6
Parking Stall Dimensions	2.8m X 5.2m
Barrier Free Parking Stall Type A	3.4m X 5.2m
Barrier Free Parking Stall Type B	2.4m X 5.2m
Bicycle Parking Space Dimensions	1.8m X 0.8m
No. Of Bicycle Parking (overhead = 1 per 200m ² Office 1 per 250m ²)	22
Overhead Loading Space Dimensions	3.6m X 9.0m
No. Of Loading Spaces	44
No. Of Overhead Loading Spaces	2
Trailer Parking	0
DOCK STATISTICS	Proposed
DOCK-HIGH DOORS	22
OVER-HEAD DOORS	4

SITE PLAN	
DATE	REMARKS
1 2023-05-03	ISSUED FOR SPA
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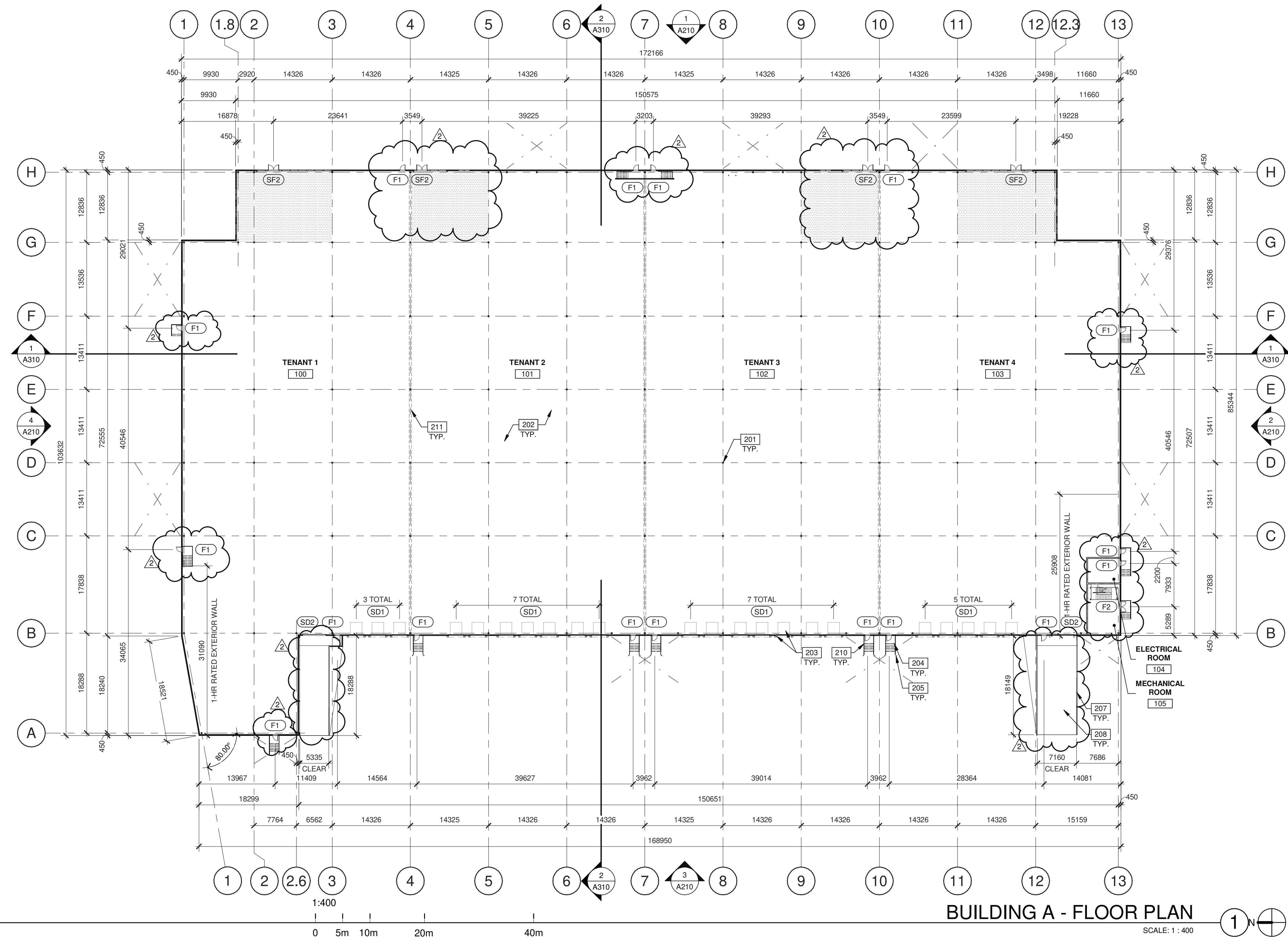
ROSEFELLOW 575 DEALERSHIP

480 & 486 CITIGATE DRIVE,
OTTAWA, ONTARIO K2J 6H8



WARE MALCOMB

ARCHITECTURE CIVIL ENGINEERING 1420 Blair Towers Place, Suite #104
 PLANNING BRANDING Gloucester, Ontario, Canada K1J 9L8
 INTERIORS BUILDING MEASUREMENT P 343.633.2977



BUILDING A - FLOOR PLAN

SCALE: 1 : 400

DOOR TYPES

(SF2) ALUMINUM STOREFRONT

(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
FRAME: MANUFACTURER

(F1) HOLLOW METAL

(F1) 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL

(SD1) SECTIONAL O.H. DOOR

(SD2)

HARDWARE:
2 SETS PIVOT SET
2 SETS INTER PIVOT
1 EA EXIT DEVICE
1 EA MORTISE CYLINDER
2 SETS OFFSET PULL
2 EA OH CLOSER
1 EA THRESHOLD
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.

(SD2) 3660mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH

HARDWARE:
3 EA HINGES
1 EA EXIT DEVICE
1 EA CYLINDER
1 EA CLOSER
1 EA PERIMETER SEAL
1 EA BOTTOM DRIP
1 EA THRESHOLD
1 EA LOCK GUARD
1 EA HVY DUTY FLOOR STOP

(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.

(SD2) 3660mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH

HARDWARE:
1 EA SLIDE BOLT
1 EA PAD LOCK

LEGEND

PROPOSED FUTURE OFFICE AREA

INSULATED METAL PANEL SYSTEM.

CONCRETE MASONRY WALL

WALL/ PARTITION LEGEND

KEYNOTES:

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 DOCK LEVELER AND DOCK SHELTER.
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 207 CONCRETE RETAINING WALL.
- 208 CONCRETE RAMP.
- 210 1067mm HIGH PAINTED METAL GUARDRAIL.
- 211 FUTURE TENANT DEMISING WALL.

WARE MALCOMB

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ONTARIO ASSOCIATION OF ARCHITECTS

JOHN P. HOLLAND
LICENCE 8849

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ROSEFELLOW 575 DEALERSHIP

480 & 486 CITIGATE DRIVE,
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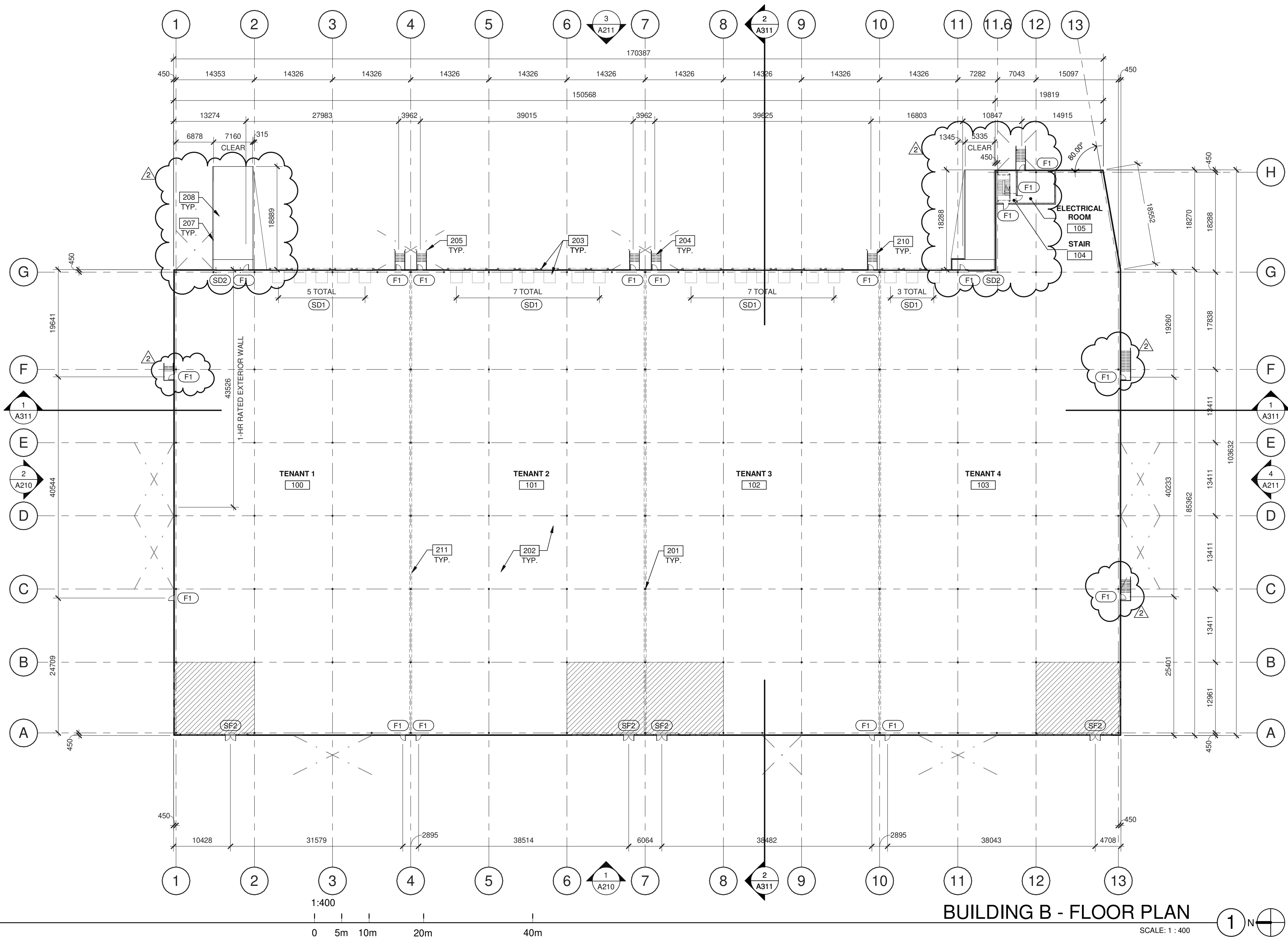
BUILDING A - FLOOR PLAN

DATE	REMARKS
2023-05-03	ISSUED FOR SPA
2023-10-05	REISSUED FOR SPA

PA/PM:	H. WERNER
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW22-0010-00

SHEET

A120



BUILDING B - FLOOR PLAN

SCALE: 1 : 400

DOOR TYPES

(SF2) ALUMINUM STOREFRONT
 1930mm x 2135mm (PAIR)
 CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
 FRAME: MANUFACTURER

(F1) HOLLOW METAL
 965mm x 2135mm
 PAINTED INSULATED HOLLOW METAL DOOR
 FRAME: PAINTED HOLLOW METAL

(SD1) SECTIONAL O.H. DOOR
 2745mm x 3050mm
 DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.

(SD2) SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH
 3660mm x 4270mm

HARDWARE:
 2 SETS PIVOT SET
 2 SETS INTER PIVOT
 1 EA EXIT DEVICE
 1 EA MORTISE CYLINDER
 2 SETS OFFSET PULL
 2 EA OH CLOSER
 1 EA THRESHOLD
 1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

LEGEND

(SF2) "PROPOSED FUTURE OFFICE AREA WITH 10 MILS POLYETHYLENE VAPOUR BARRIER UNDER SLAB."

(SD1) STRUCTURAL BRACING. REFER TO STRUCTURAL DRAWINGS.

WALL/ PARTITION LEGEND

(Hatched) INSULATED METAL PANEL SYSTEM.

(Cross-hatched) CONCRETE MASONRY WALL.

KEYNOTES:

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 DOCK LEVELER AND DOCK SHELTER.
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 206 CONCRETE RETAINING WALL.
- 207 CONCRETE RAMP.
- 210 1067mm HIGH PAINTED METAL GUARDRAIL.
- 211 FUTURE TENANT DEMISING WALL.

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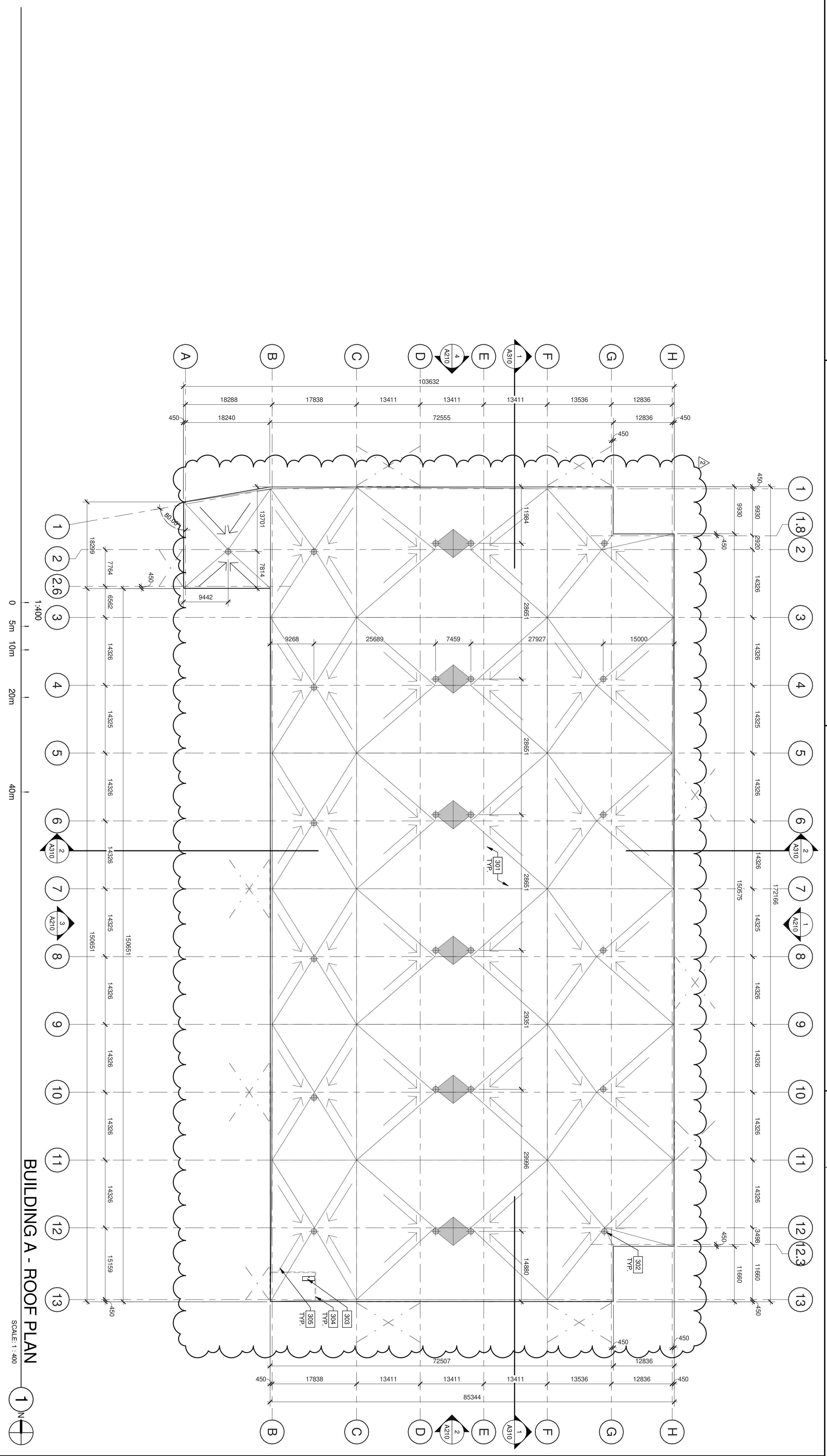
ROSEFELLOW 575 DEALERSHIP
 480 & 486 CITIGATE DRIVE,
 OTTAWA, ONTARIO K2J 6H8

BUILDING B - FLOOR PLAN

DATE	ISSUED FOR SPA	REISSUED FOR SPA	REMARKS
1	2023-05-03		
2	2023-10-05		

PA/PM:	H. WERNER
DRAWN BY:	D.P. / E.C.
JOB NO.:	OTW22-0010-00

SHEET
A121



LEGEND

- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- FLOW LINE TO DRAIN
- OUTLINE OF WALL BELOW
- LINE OF STRUCTURAL FRAMING BELOW DECK - SEE STRUCTURAL DRAWINGS
- STRUCTURAL BRACING - REFER TO STRUCTURAL DRAWINGS

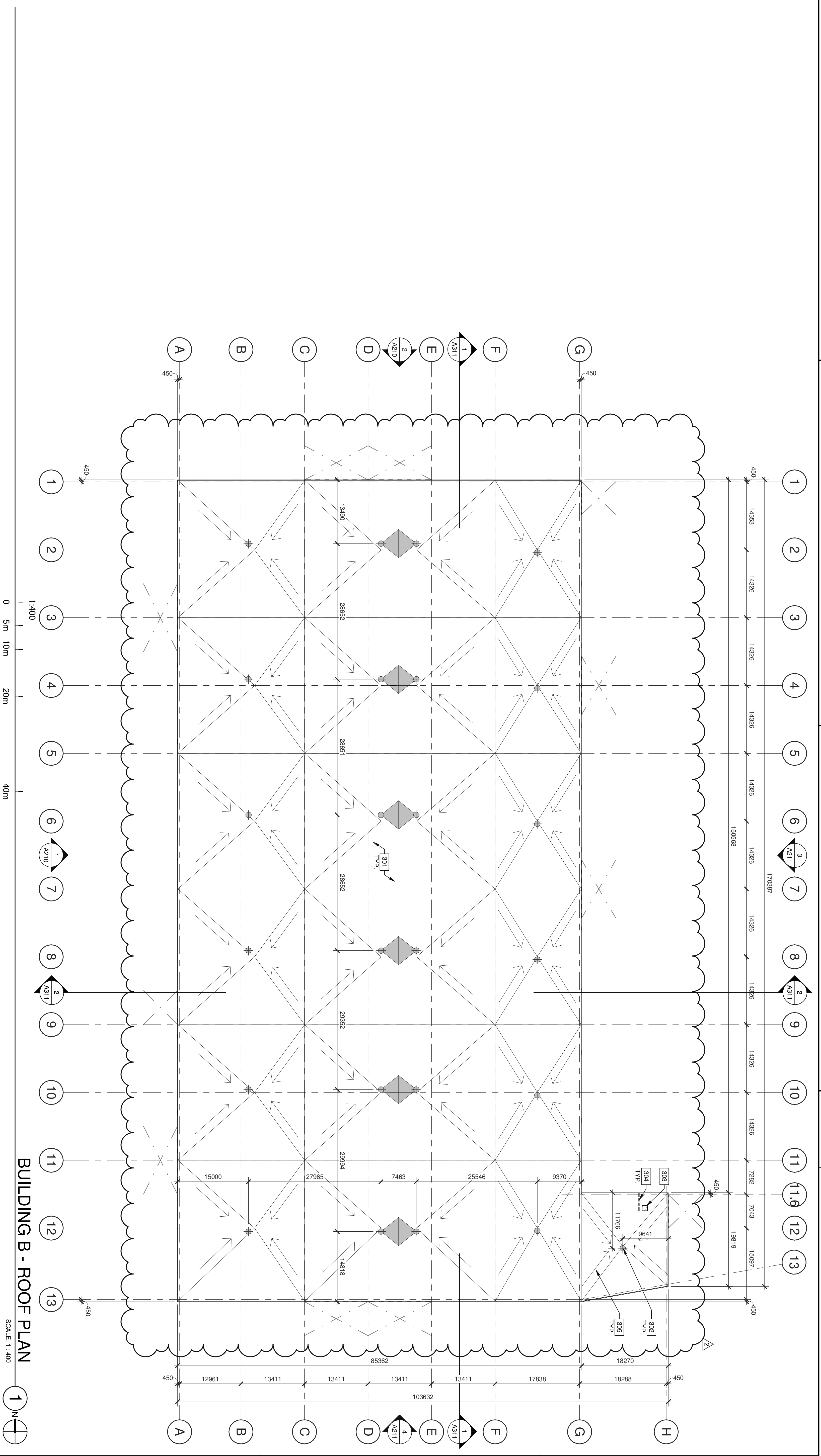
KEYNOTES:

- 301 SINGLE PLY ROOFING MECHANICALLY FASTENED & REINFORCED.
- 302 ROOF DRAINS.
- 303 ROOF HATCH.
- 304 LINE OF WALL BELOW.
- 305 FLOW LINE TO DRAIN.

BUILDING A - ROOF PLAN

SCALE: 1:400

<p>A190</p>	<p>BUILDING A - ROOF PLAN</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>REMARKS</th> </tr> </thead> <tbody> <tr> <td>1 2023-05-03</td> <td>ISSUED FOR SPA</td> </tr> <tr> <td>2 2023-10-05</td> <td>REISSUED FOR SPA</td> </tr> </tbody> </table>	DATE	REMARKS	1 2023-05-03	ISSUED FOR SPA	2 2023-10-05	REISSUED FOR SPA	<p style="font-size: 24pt; font-weight: bold; margin: 0;">ROSEFELLOW 575 DEALERSHIP</p> <p style="margin: 5px 0 0 0;">480 & 486 CITIGATE DRIVE, OTTAWA, ONTARIO K2J 6H8</p>			<p style="font-size: 24pt; font-weight: bold; margin: 0;">WARE MALCOMB</p> <p style="font-size: 8pt; margin: 0;">ARCHITECTURE CIVIL ENGINEERING PLANNING BRANDING INTERIORS BUILDING MEASUREMENT</p> <p style="font-size: 8pt; margin: 0;">1420 Blair Towers Place, Suite #104 Gloucester, Ontario, Canada K1J 9L8 P 343.633.2977</p>
DATE	REMARKS										
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LEGEND

- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- FLOW LINE TO DRAIN
- OUTLINE OF WALL BELOW
- LINE OF STRUCTURAL FRAMING BELOW DECK - SEE STRUCTURAL DRAWINGS.
- STRUCTURAL BRACING. REFER TO STRUCTURAL DRAWINGS.

KEYNOTES:

- 301 SINGLE PLY ROOFING MECHANICALLY FASTENED & REINFORCED.
- 302 ROOF DRAINS.
- 303 ROOF HATCH.
- 304 LINE OF WALL BELOW.
- 305 FLOW LINE TO DRAIN.

BUILDING B - ROOF PLAN

SCALE: 1:400

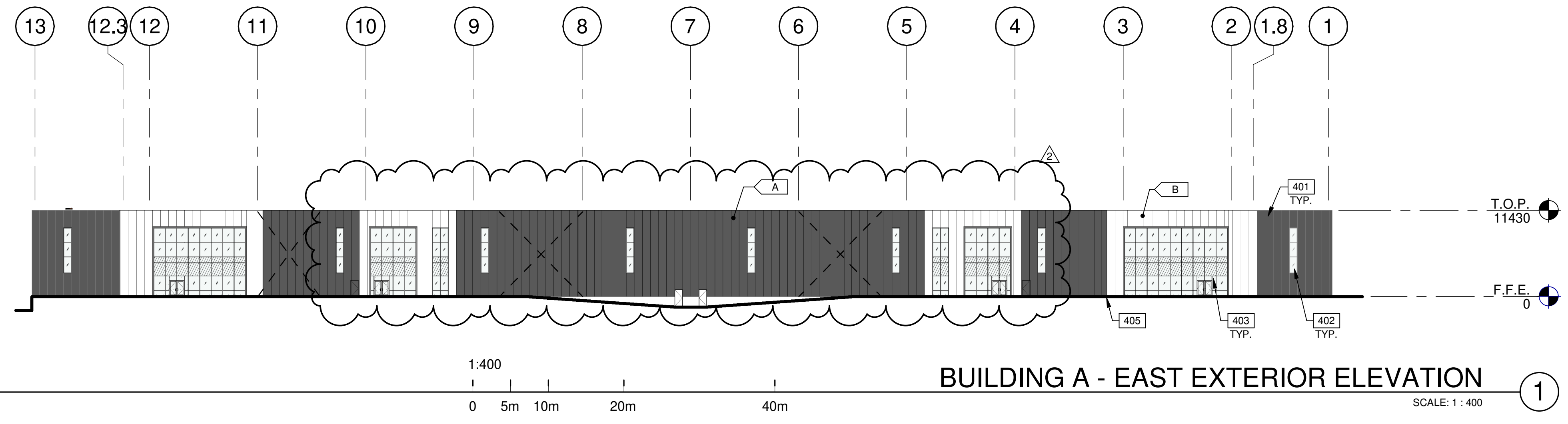
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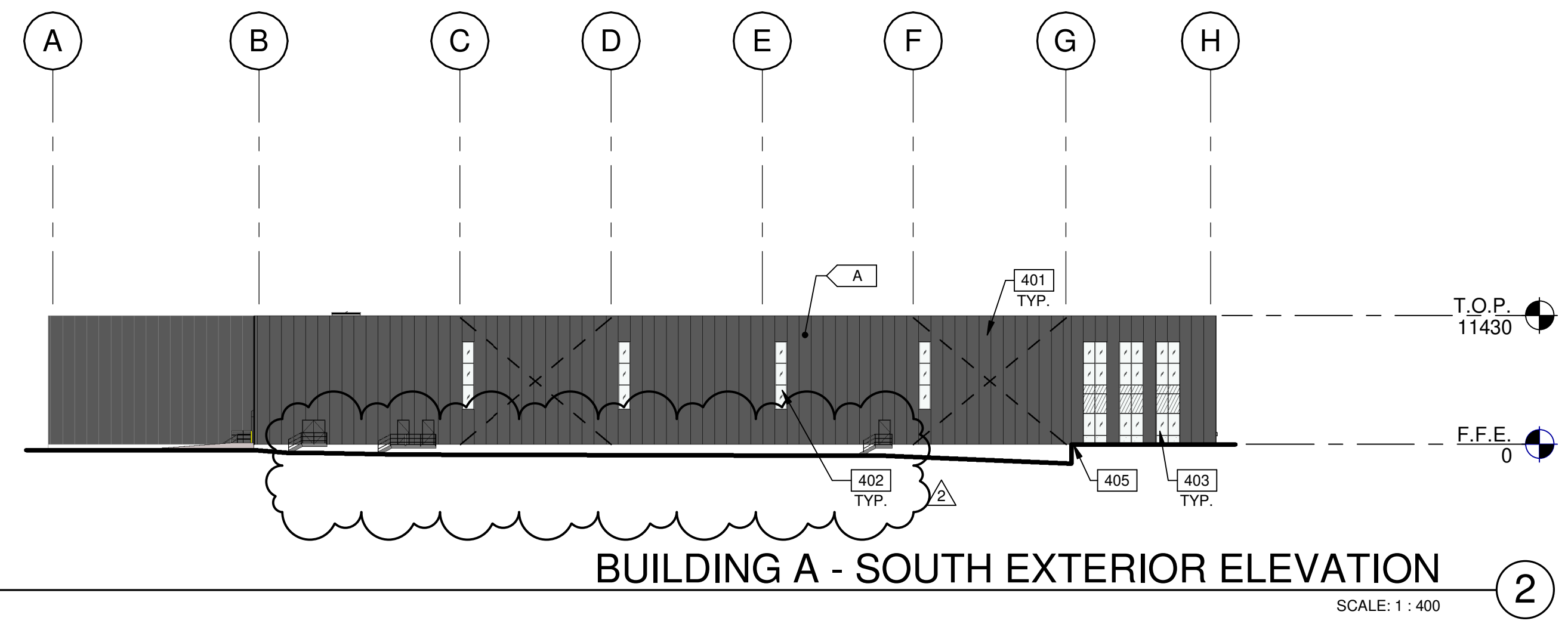
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A191



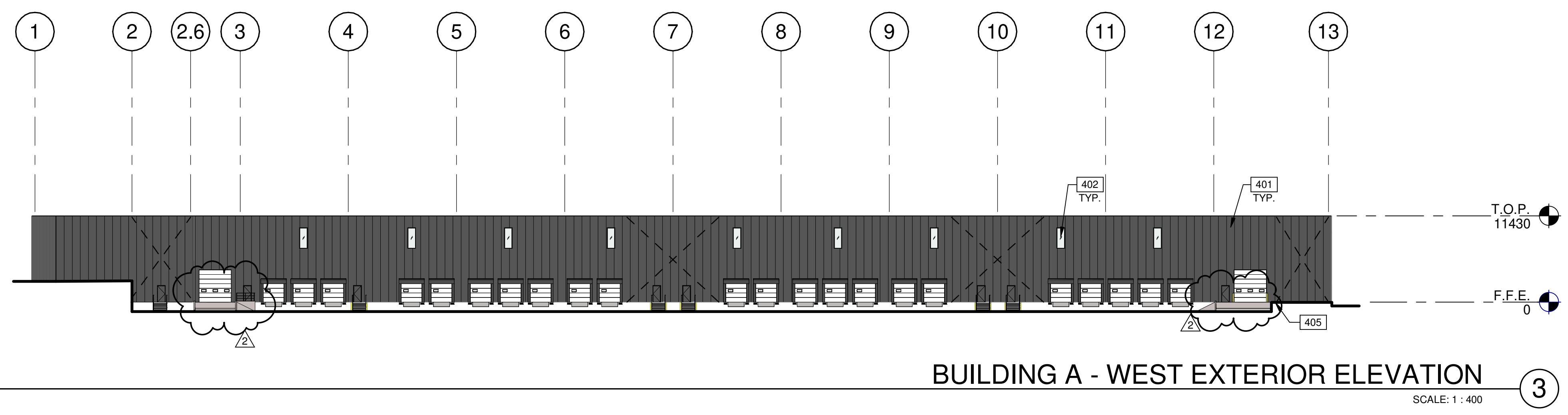
BUILDING A - EAST EXTERIOR ELEVATION

SCALE: 1 : 400



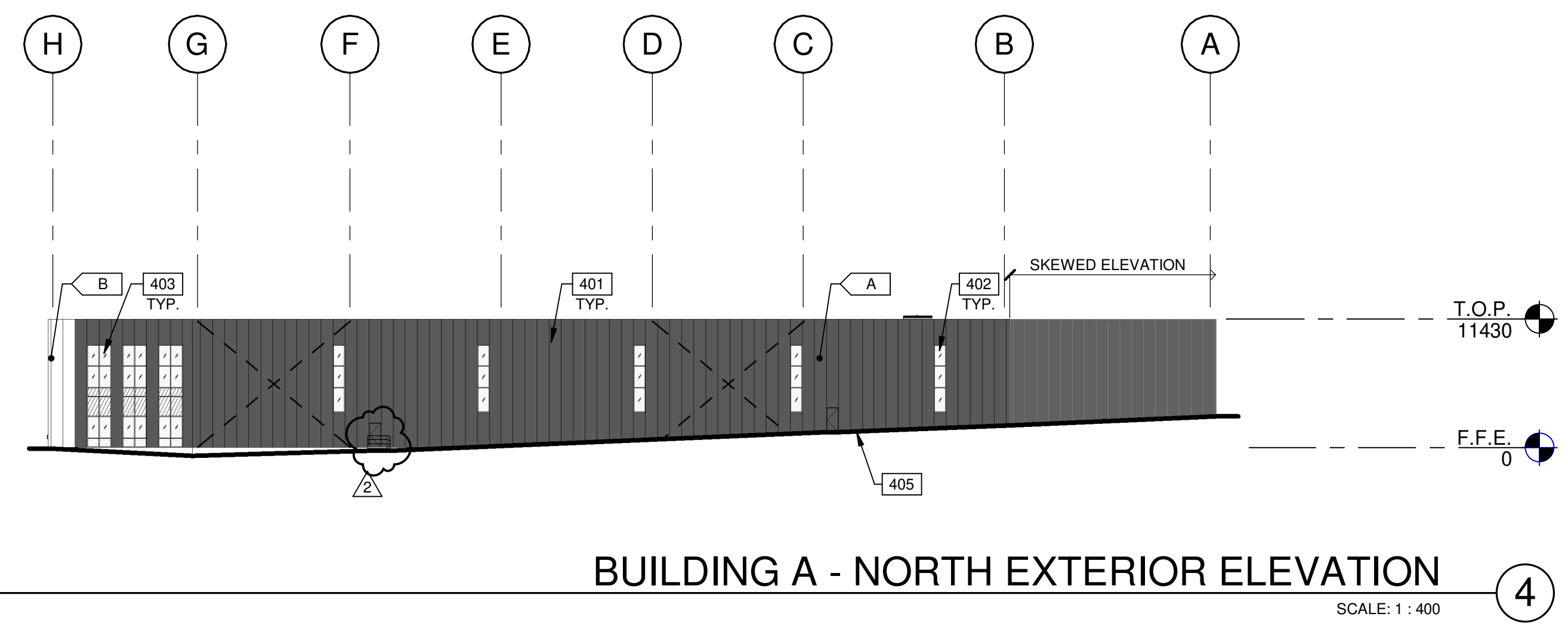
BUILDING A - SOUTH EXTERIOR ELEVATION

SCALE: 1 : 400



BUILDING A - WEST EXTERIOR ELEVATION

SCALE: 1 : 400

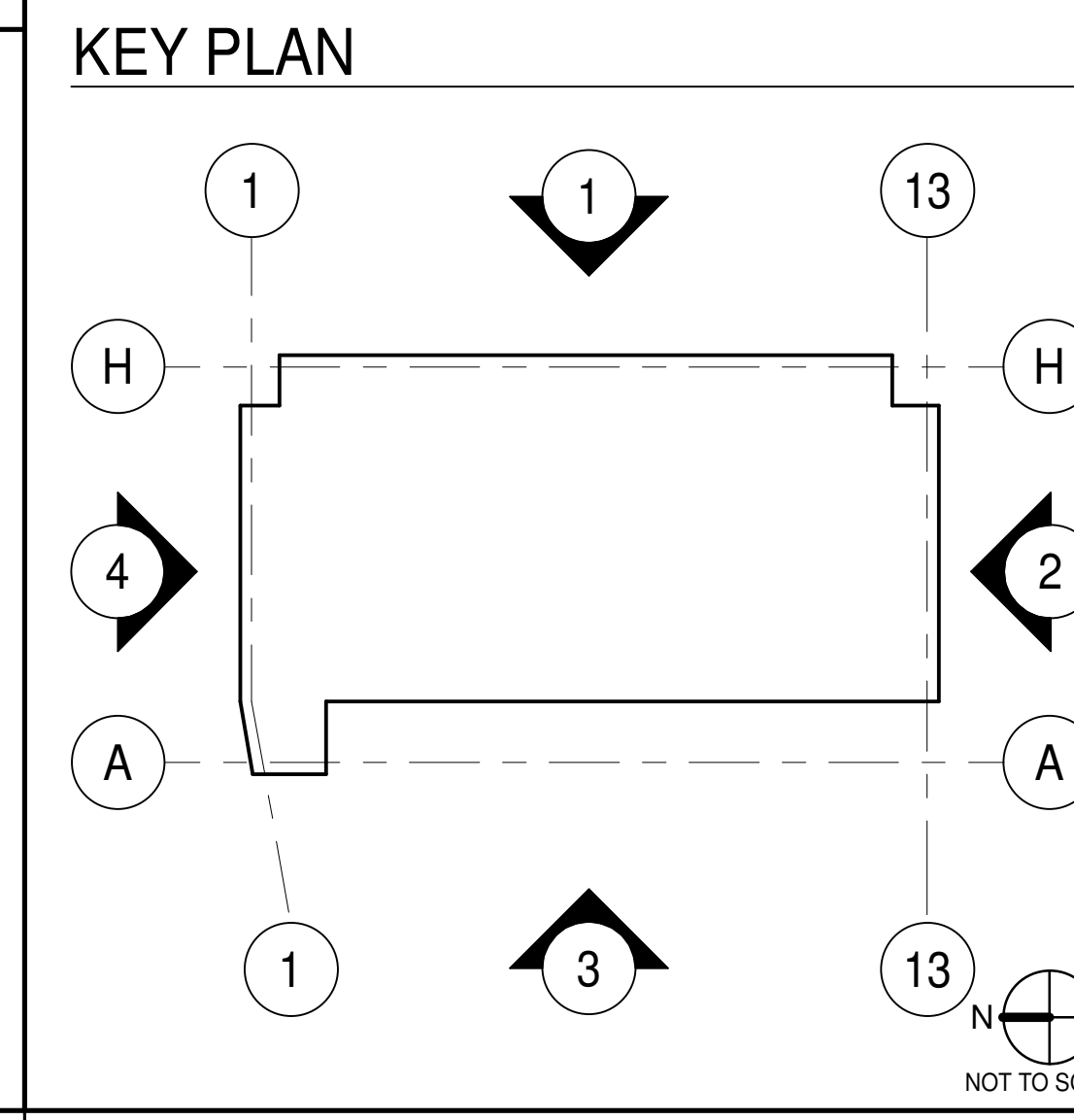


BUILDING A - NORTH EXTERIOR ELEVATION

SCALE: 1 : 400

- KEYNOTES:**
- 401 1067mm WIDE INSULATED METAL PANEL SYSTEM.
 - 402 CLERESTORY WINDOW WITH CERAMIC FRIT ON EXTERIOR SURFACE COMPLIANT WITH OTTAWA'S BIRD-SAFE DESIGN GUIDELINES.
 - 403 CURTAIN WALL GLAZING SYSTEM WITH CERAMIC FRIT ON EXTERIOR SURFACE COMPLIANT WITH OTTAWA'S BIRD-SAFE DESIGN GUIDELINES.
 - 405 GRADE LINE VARIES - REFER TO CIVIL GRADING PLAN.

- LEGENDS**
- GLASS:**
- VISION GLASS + BIRD FRIENDLY FRIT PATTERN
 - SPANDREL GLASS + BIRD FRIENDLY FRIT PATTERN
 - TEMPERED GLASS + BIRD FRIENDLY FRIT PATTERN
- COLOURS:**
- PROVIDE 1,828mm (6") WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOUR: DARK GREY IMP
 - SECONDARY COLOUR: WHITE IMP



WARE MALCOLM

ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L3
P 343.633.2977

ONTARIO ASSOCIATION
OF
ARCHITECTS

JOHN P. HOLLAND
LICENCE
8849

RF.

**ROSEFELLOW 575
DEALERSHIP**

480 & 486 CITIGATE DRIVE,
OTTAWA, ONTARIO K2J 6H8

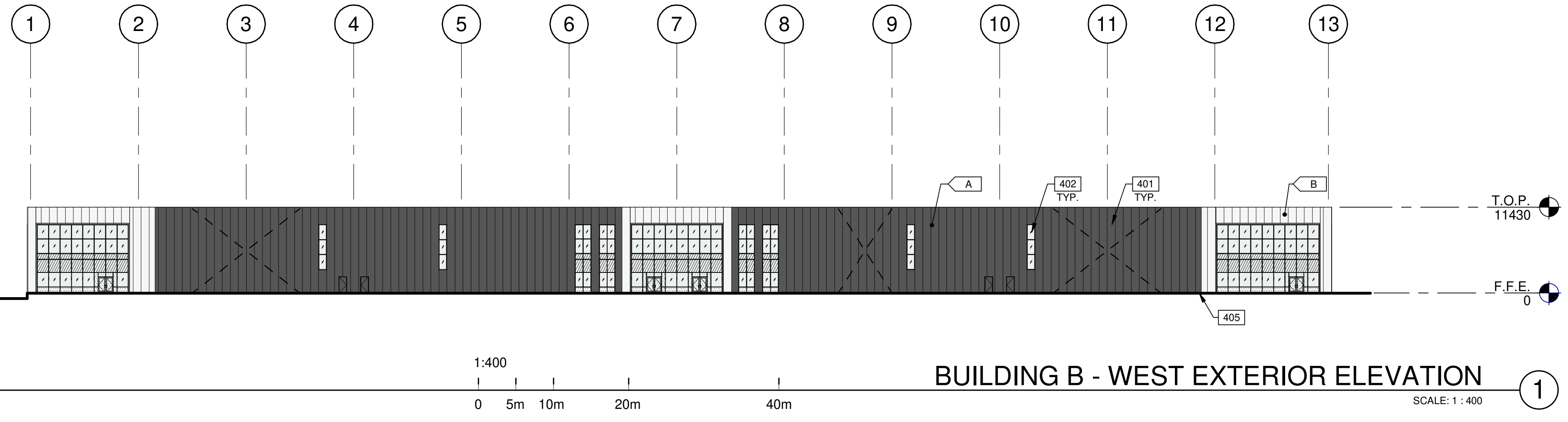
BUILDING A - EXTERIOR ELEVATIONS

DATE	ISSUED FOR	REMARKS
2023-05-03	ISSUED FOR SPA	
2023-10-05	REISSUED FOR SPA	

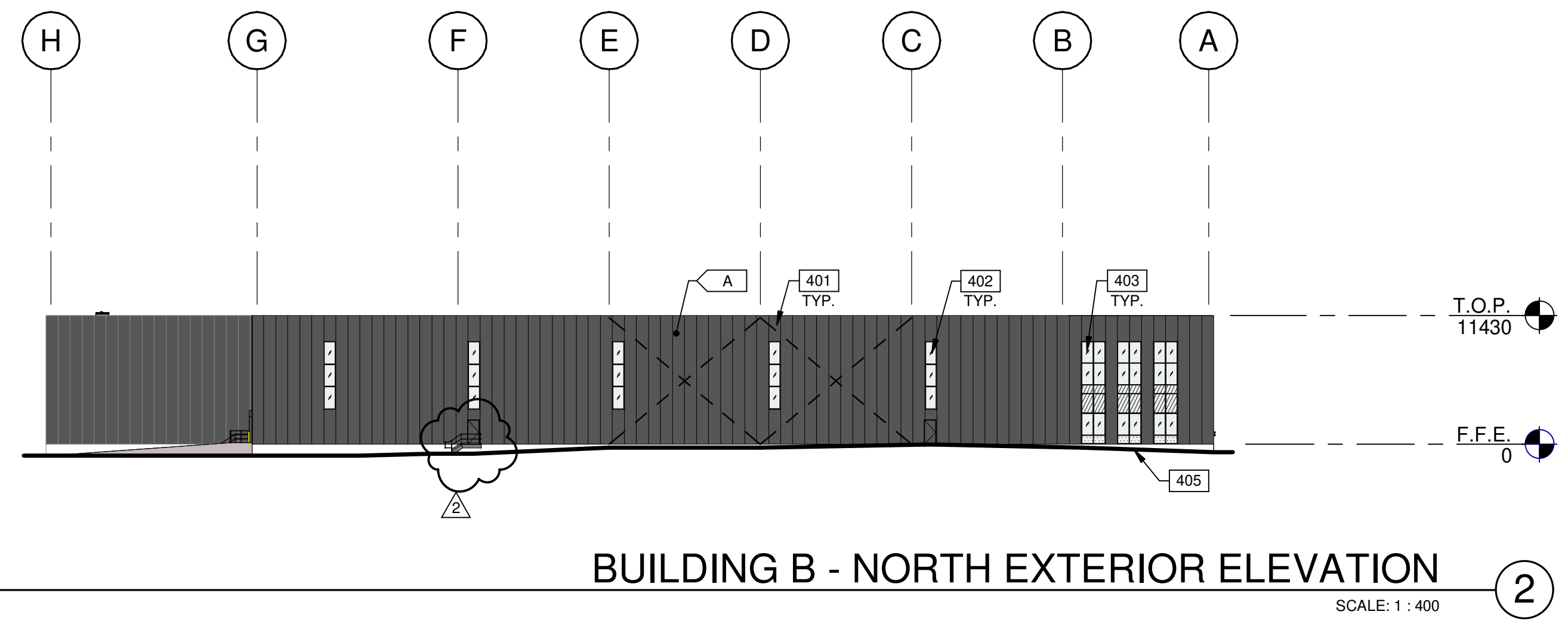
PA/PM:	H. WERNER
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW22-0010-00

SHEET

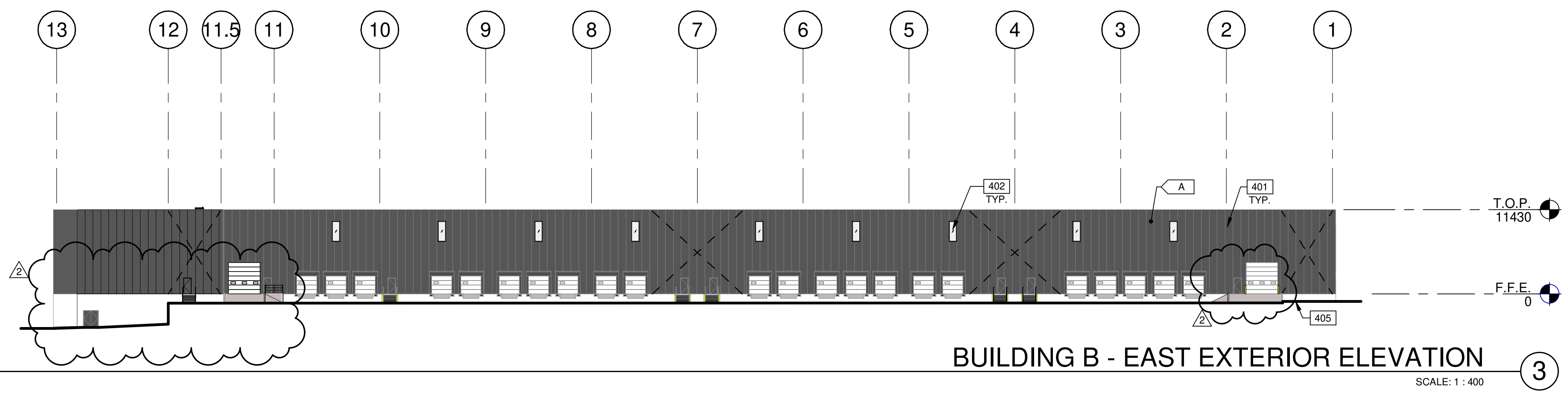
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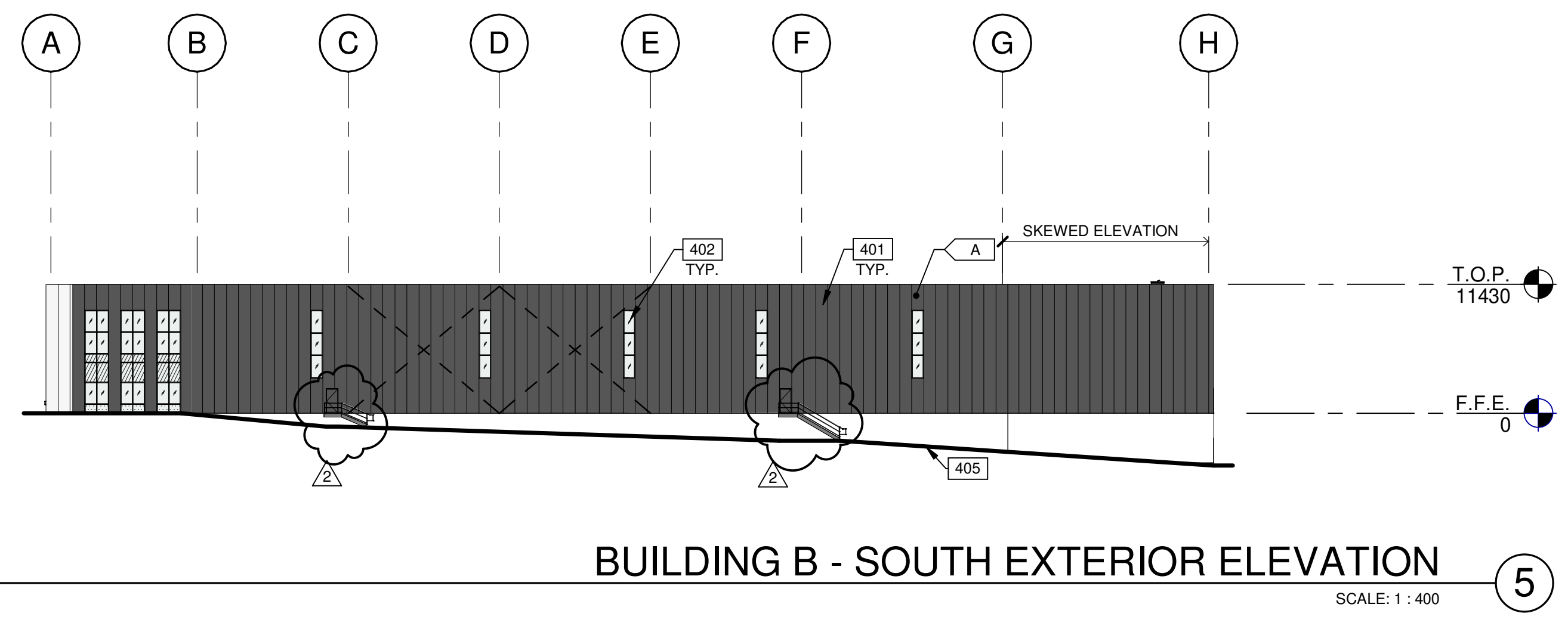
BUILDING B - WEST EXTERIOR ELEVATION ①



BUILDING B - NORTH EXTERIOR ELEVATION ②



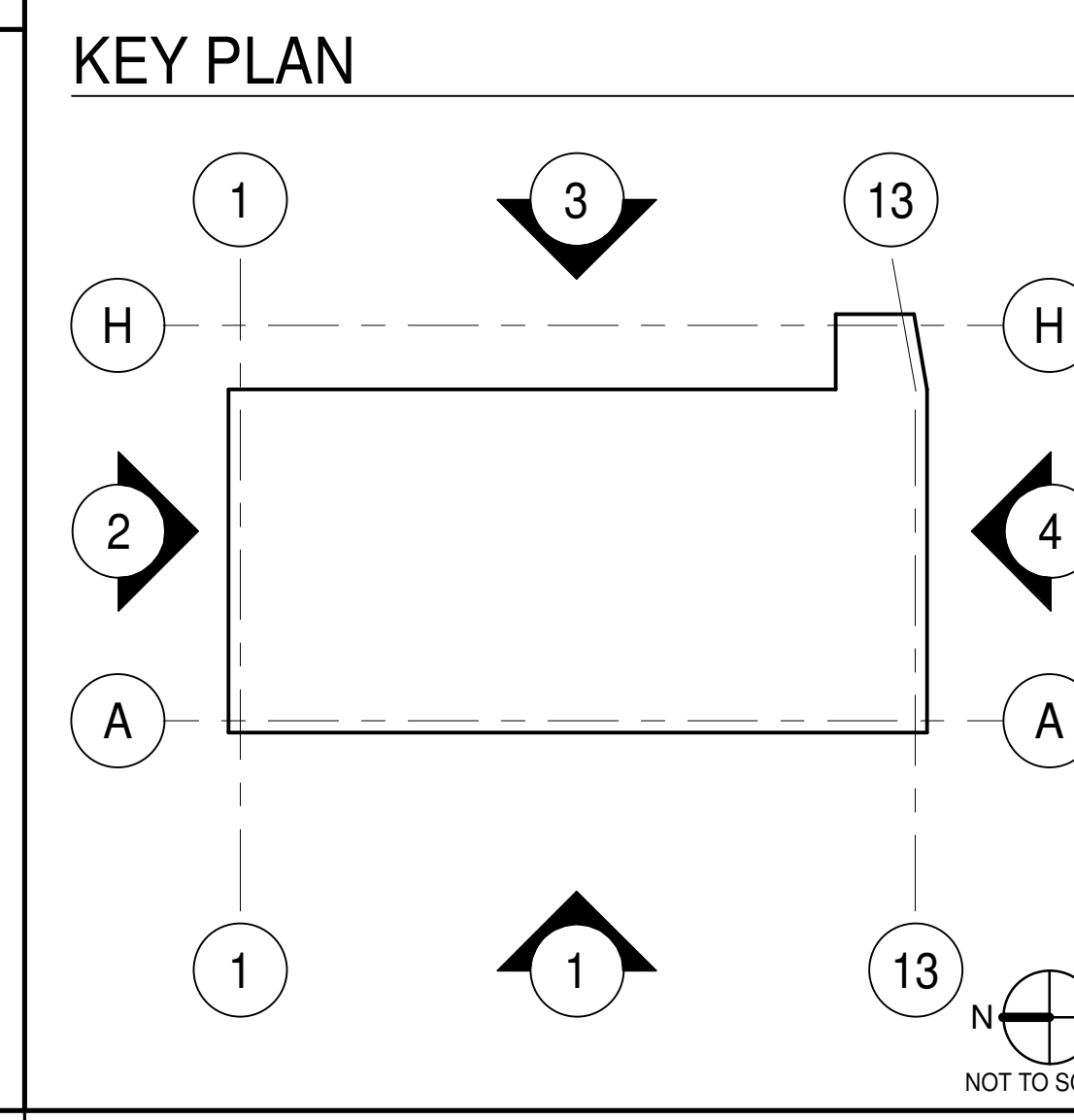
BUILDING B - EAST EXTERIOR ELEVATION ③



BUILDING B - SOUTH EXTERIOR ELEVATION ⑤

- KEYNOTES:**
- 401 1067mm WIDE INSULATED METAL PANEL SYSTEM.
 - 402 CLERESTORY WINDOW WITH CERAMIC FRIT ON EXTERIOR SURFACE COMPLIANT WITH OTTAWA'S BIRD-SAFE DESIGN GUIDELINES.
 - 403 CURTAIN WALL GLAZING SYSTEM WITH CERAMIC FRIT ON EXTERIOR SURFACE COMPLIANT WITH OTTAWA'S BIRD-SAFE DESIGN GUIDELINES.
 - 405 GRADE LINE VARIES - REFER TO CIVIL GRADING PLAN.

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- A BASE COLOUR: DARK GREY IMP
 - B SECONDARY COLOUR: WHITE IMP



WARE MALCOMB

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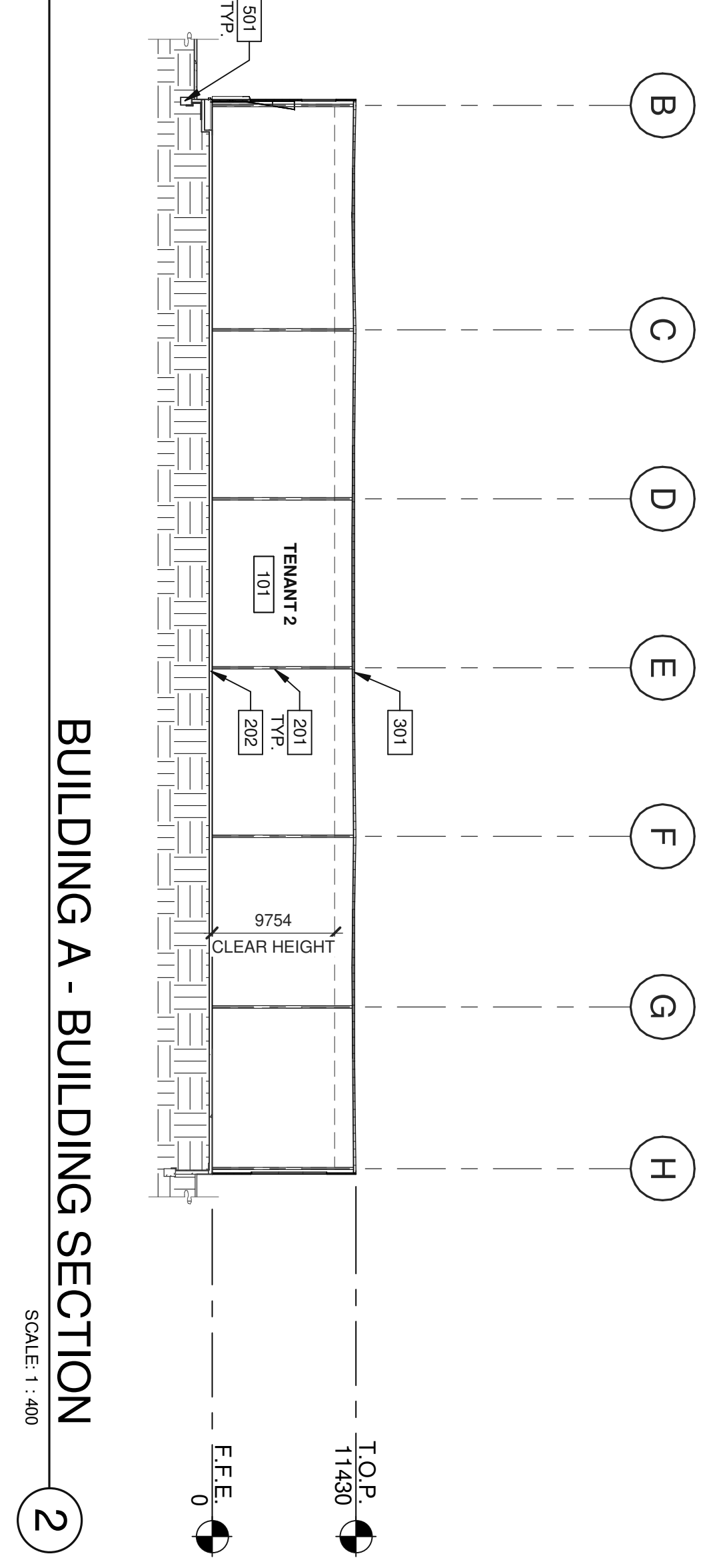
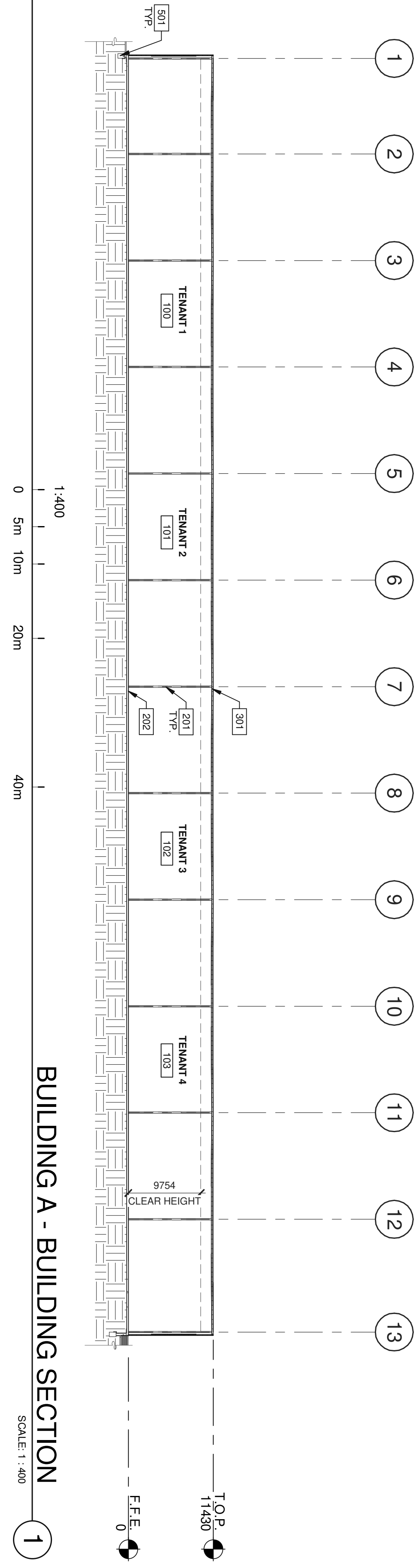
BUILDING B - EXTERIOR ELEVATIONS

DATE	REMARKS
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2023-10-05	REISSUED FOR SPA

PA/PM:	H. WERNER
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW22-0010-00

SHEET

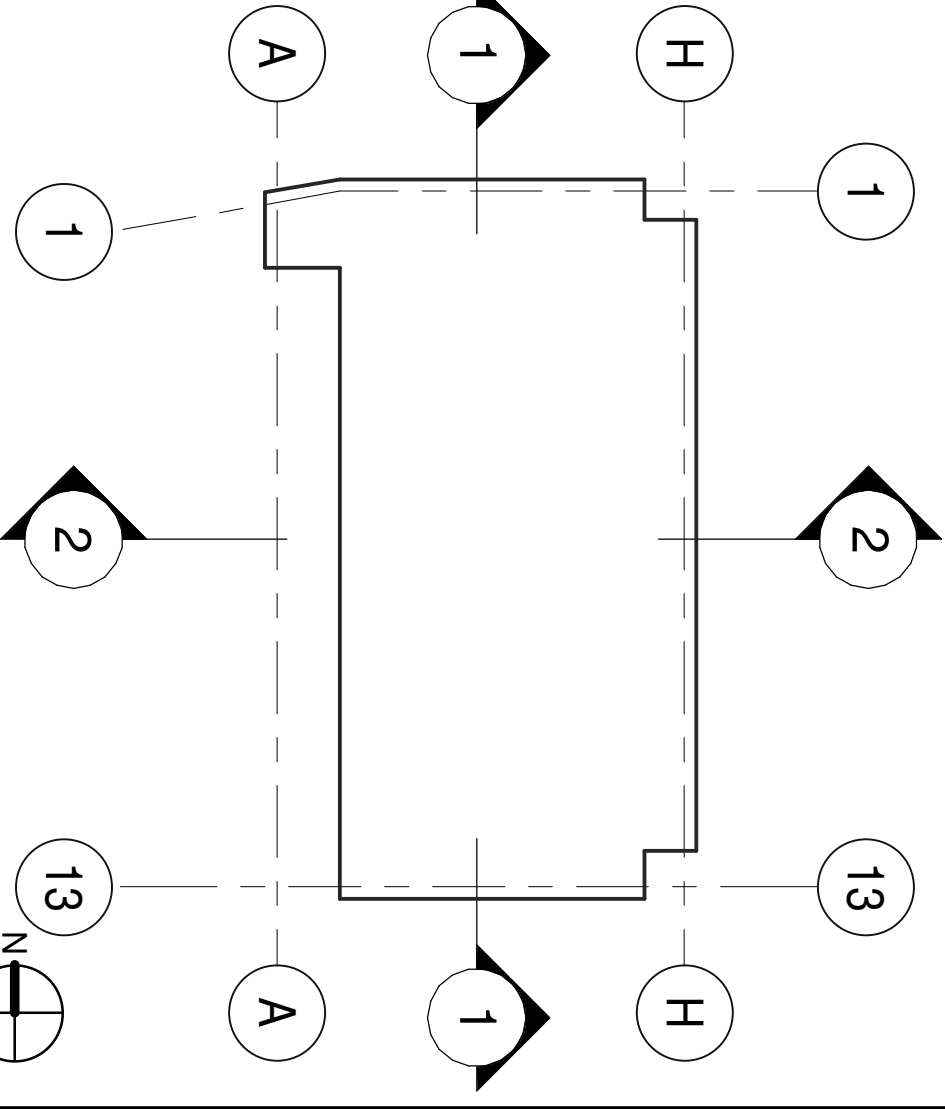
A211



- KEYNOTES:**
- 201 STRUCTURAL STEEL COLUMN
 - 202 CONCRETE SLAB
 - 301 SINGLE PLY ROOFING MECHANICALLY FASTENED & REINFORCED
 - 501 CONCRETE FOOTING

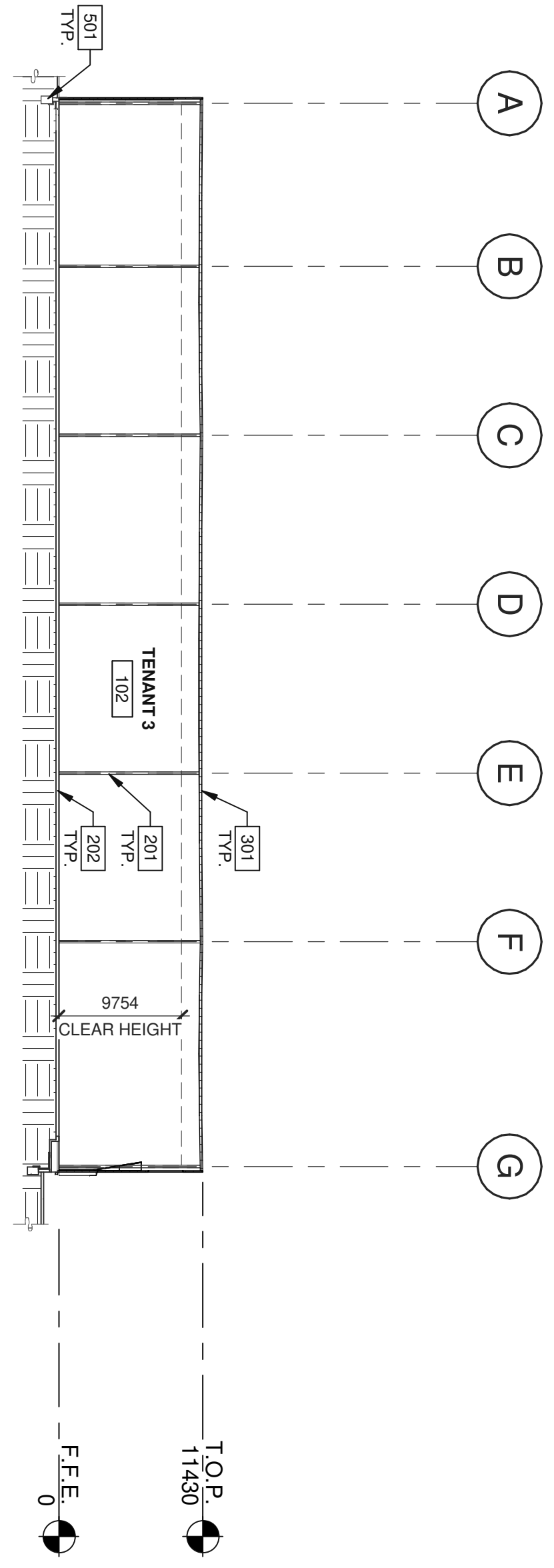
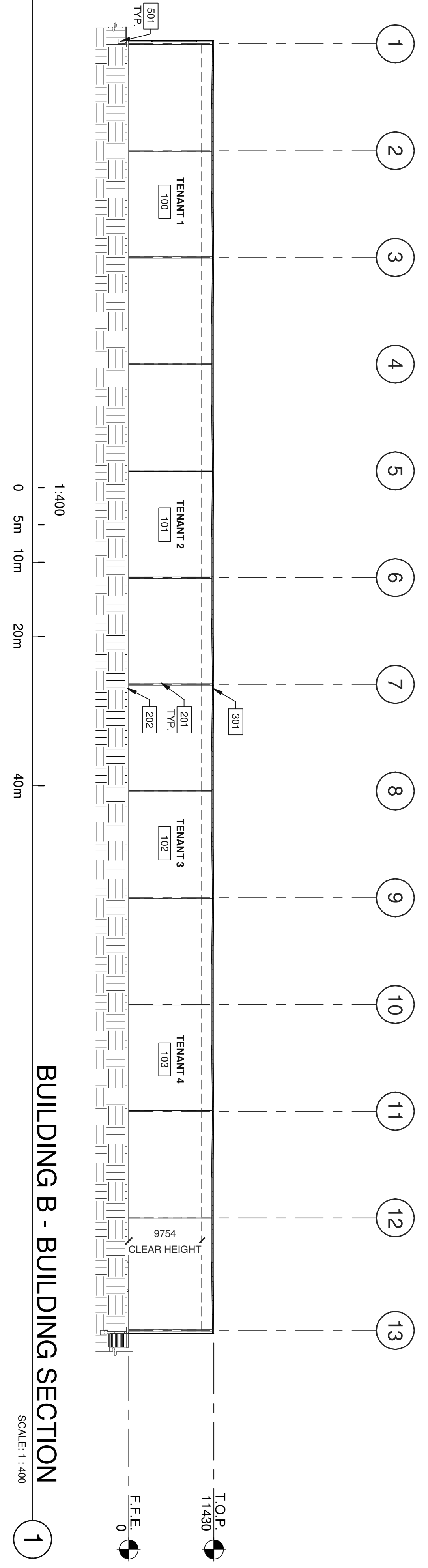
- WALL/ PARTITION LEGEND**
- INSULATED METAL PANEL SYSTEM
 - CONCRETE MASONRY WALL

KEY PLAN



CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT

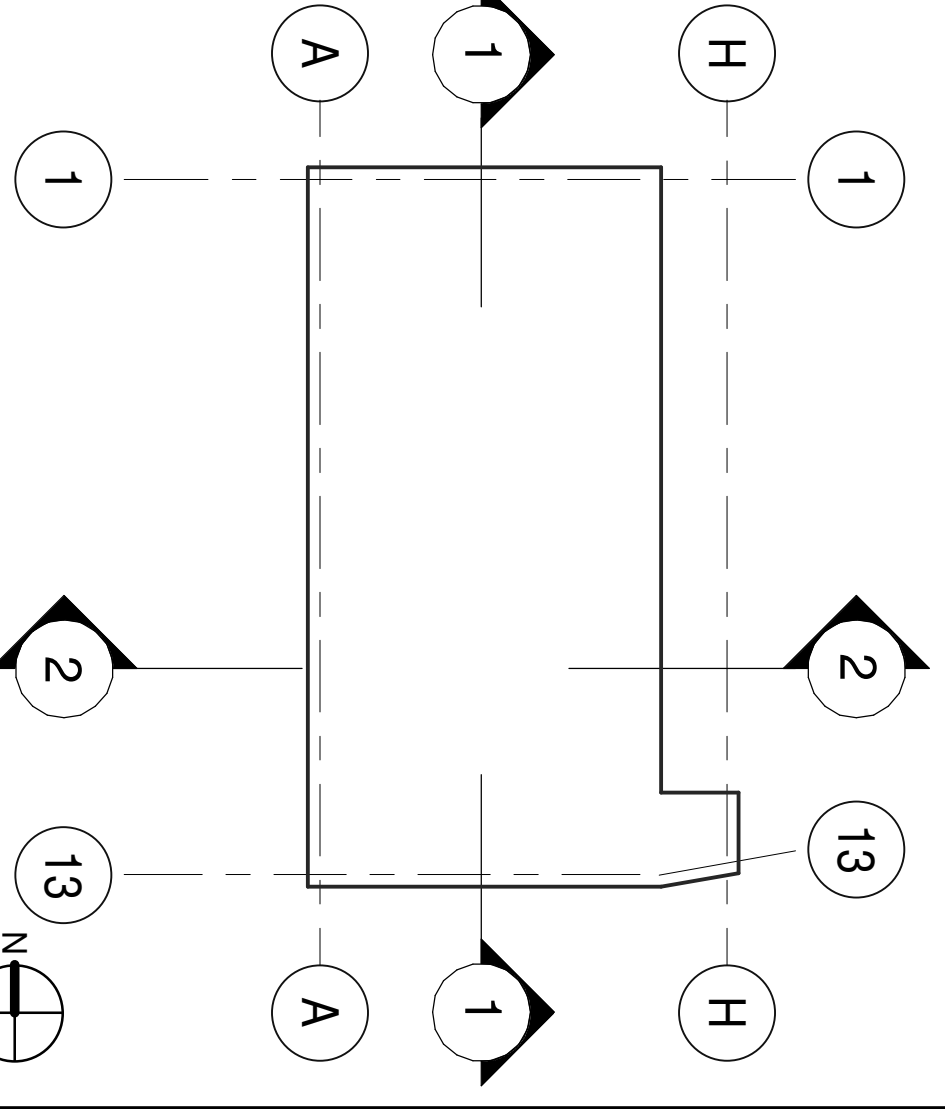
<p>A310</p> <p>SHEET</p>	<p>BUILDING A - BUILDING SECTIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>REMARKS</th> </tr> </thead> <tbody> <tr> <td>1 2023-05-03</td> <td>ISSUED FOR SPA</td> </tr> <tr> <td>2 2023-10-05</td> <td>REISSUED FOR SPA</td> </tr> </tbody> </table>	DATE	REMARKS	1 2023-05-03	ISSUED FOR SPA	2 2023-10-05	REISSUED FOR SPA	<p>ROSEFELLOW 575 DEALERSHIP</p> <p>480 & 486 CITIGATE DRIVE, OTTAWA, ONTARIO K2J 6H8</p>			<p>WARE MALCOMB</p> <p>ARCHITECTURE CIVIL ENGINEERING PLANNING BRANDING INTERIORS BUILDING MEASUREMENT</p> <p>1420 Blair Towers Place, Suite #104 Gloucester, Ontario, Canada K1J 9L8 P 343.633.2977</p>
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<p>WARE MALCOMB</p> <p>ARCHITECTURE PLANNING INTERIORS</p> <p>CIVIL ENGINEERING BRANDING BUILDING MEASUREMENT</p> <p>1420 Blair Towers Place, Suite #104 Gloucester, Ontario, Canada K1J 9L8 P 343.633.2977</p>		<p>ROSEFELLOW 575 DEALERSHIP</p> <p>480 & 486 CITIGATE DRIVE, OTTAWA, ONTARIO K2J 6H8</p>		<p>BUILDING B - BUILDING SECTIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>REMARKS</th> </tr> </thead> <tbody> <tr> <td>1 2023-05-03</td> <td>ISSUED FOR SPA</td> </tr> <tr> <td>2 2023-10-05</td> <td>REISSUED FOR SPA</td> </tr> </tbody> </table>	DATE	REMARKS	1 2023-05-03	ISSUED FOR SPA	2 2023-10-05	REISSUED FOR SPA	<p>A311</p> <p>SHEET</p>
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