

PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

21.326SD



**TURNER
FLEISCHER**

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**ISSUED FOR SPA
11/19/25**

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lied information. This drawing is not to be
rely, structural, mechanical, electrical, etc.,
consultant's drawings before proceeding with
and requirements of authorities having
marked 'For Construction' must assume
s resulting from his work.

LEGAL DESCRIPTION

IIC PLAN OF PART OF LOT 10
IN 3 (RIDEAU FRONT)
C TOWNSHIP OF NEPEAN
AWA

STATISTICS

	±3.66	ACRES	±1.48	HA.
BUILDING A AREA	±34,496	S.F.	±3,205	S.M.
AREA	±2,595	S.F.	±241	S.M.
ING A AREA	±37,091	S.F.	±3,446	S.M.
 BUILDING B	±4,794	S.F.	±445	S.M.
W/E ROOM	±150	S.F.	±14	S.M.
ING B AREA	±4,944	S.F.	±459	S.M.
 SS FLOOR AREA	±39,440	S.F.	±3,664	S.M.
ING AREA	±42,035	S.F.	±3,905	S.M.
 ING PROVIDED	179	CARS		
4.54/1000	S.F.	4.88/100	S.M.	
		24.74 %		

LEGEND

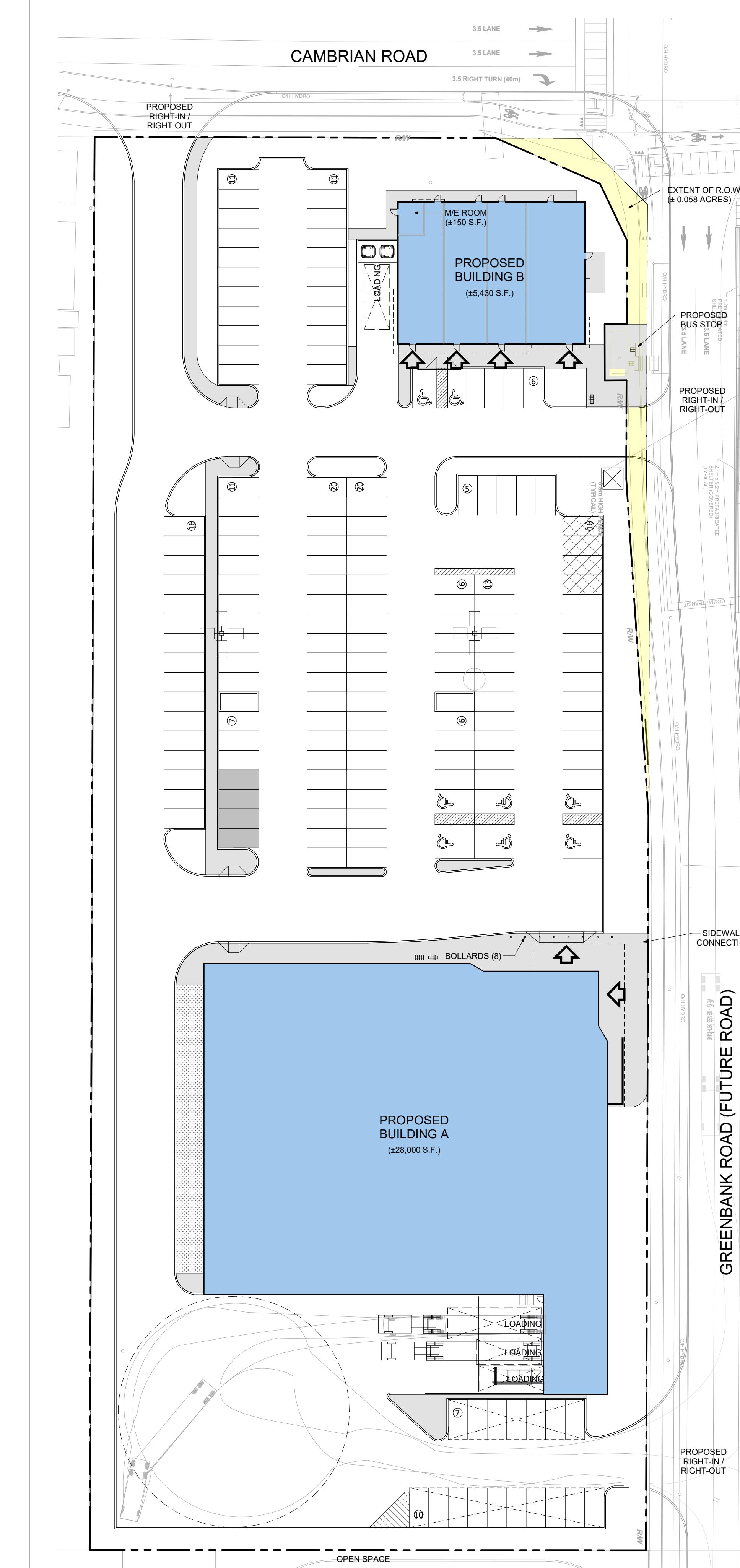
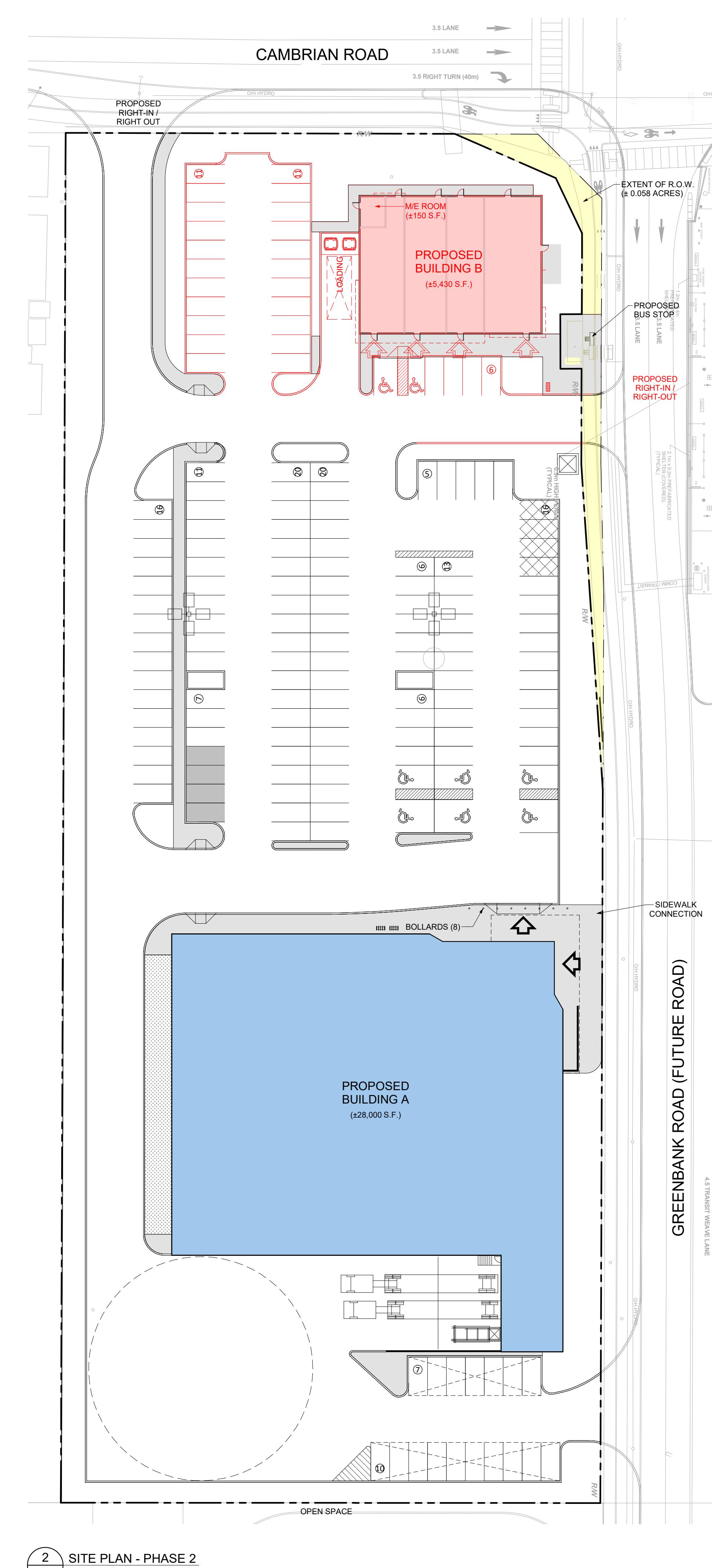
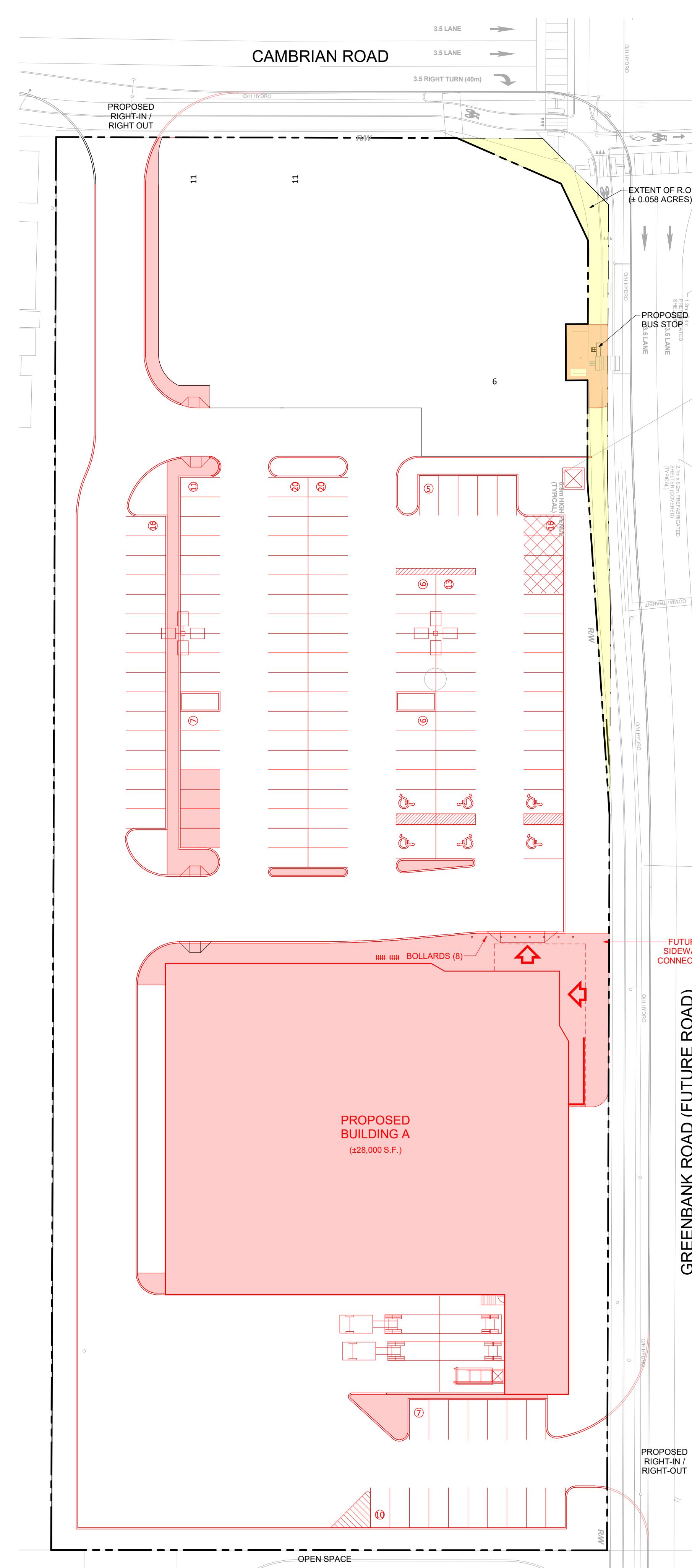
- PROPOSED BUILDING
- PROPOSED ENTRANCE ARROW
- PROPOSED CONCRETE SIDEWALK
- PROPOSED FIRE & TRUCK ROUTE
(HEAVY DUTY ASPHALT)
- PROPOSED PCX PARKING
- PROPOSED EV PARKING
- PROPOSED TRANSFORMER
- EXTENT OF RIGHT OF WAY (R.O.W.)

ISSUED FOR SPA	GEA
ISSUED FOR SPA	GEA
ISSUED FOR SPA	FPI
ISSUED FOR COORDINATION	FPI
DESCRIPTION	PY

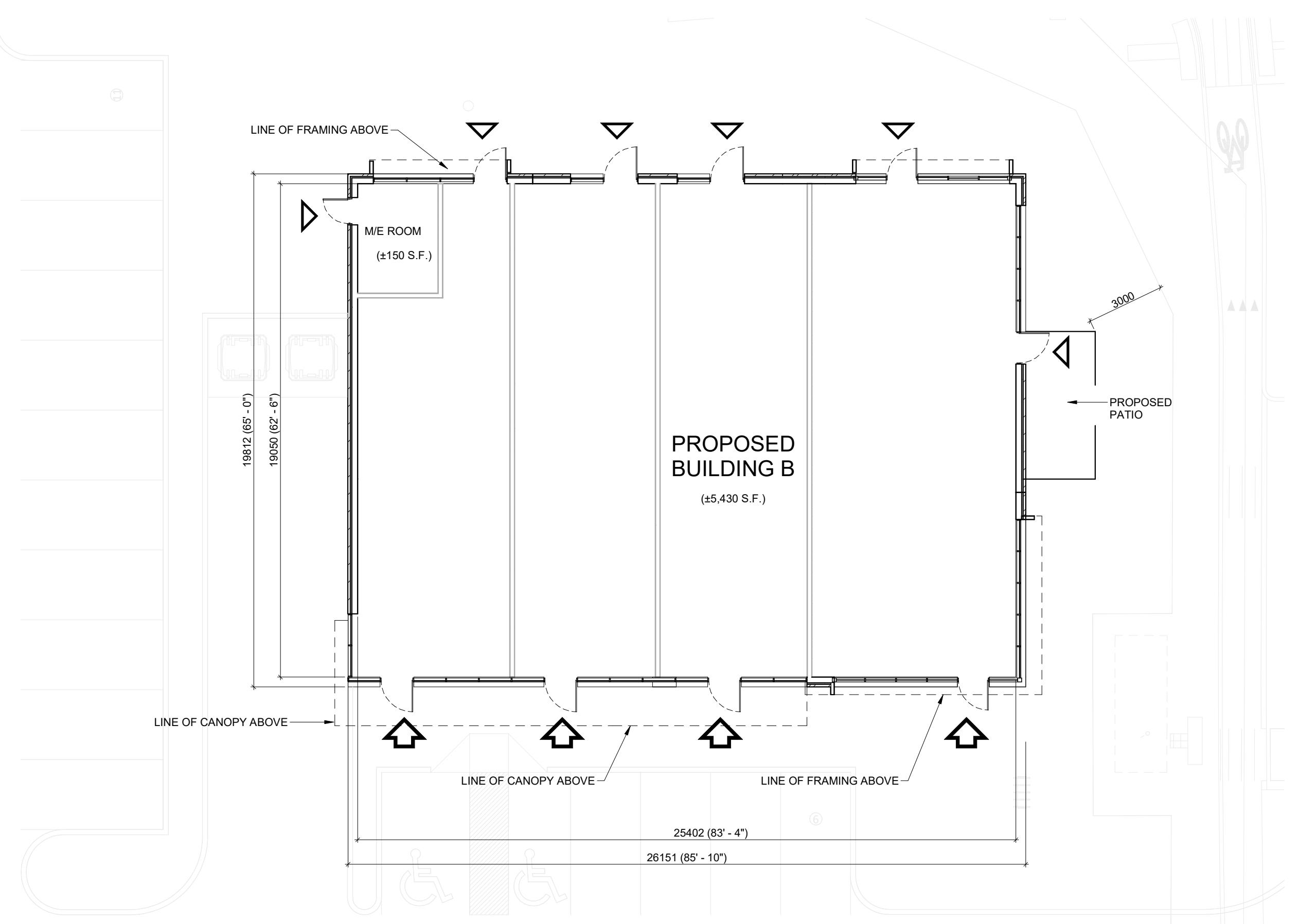
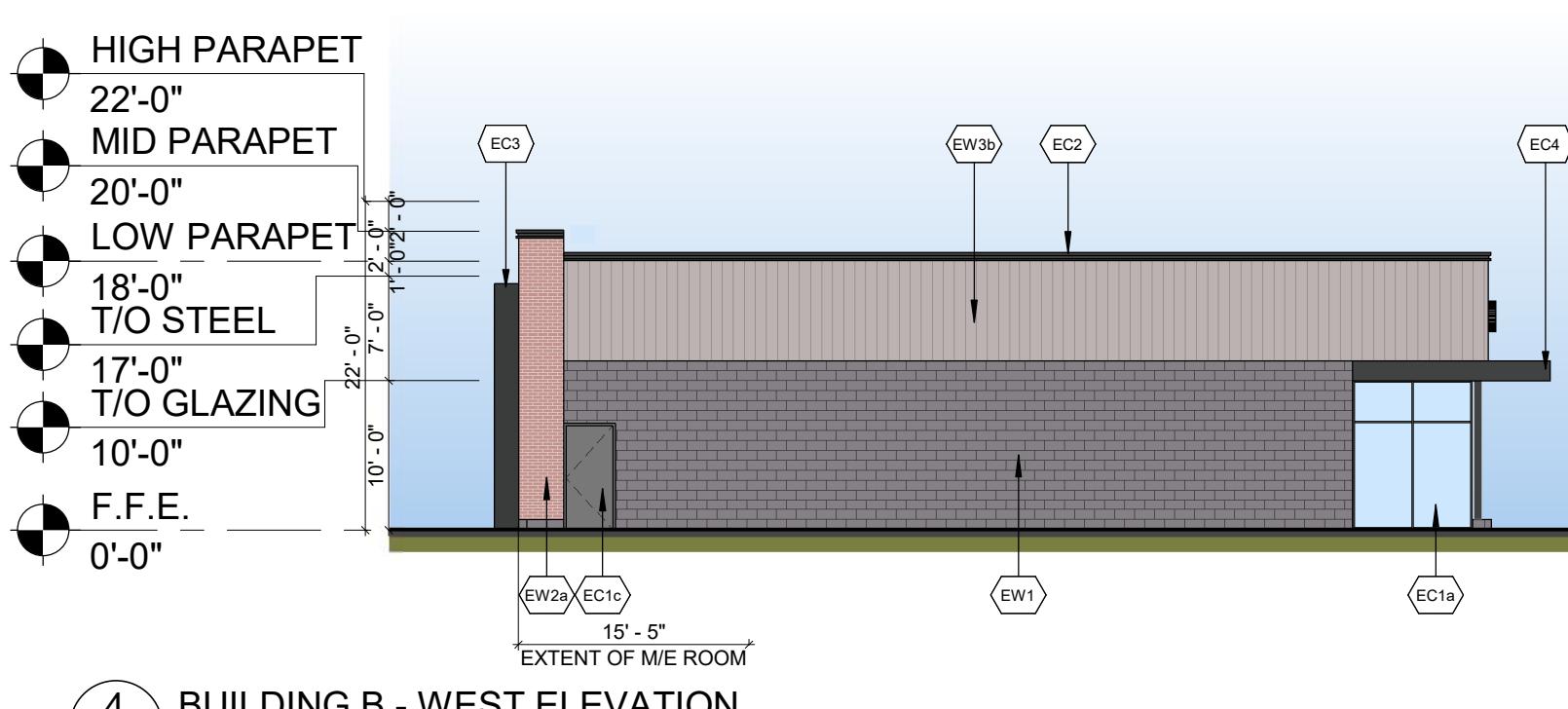
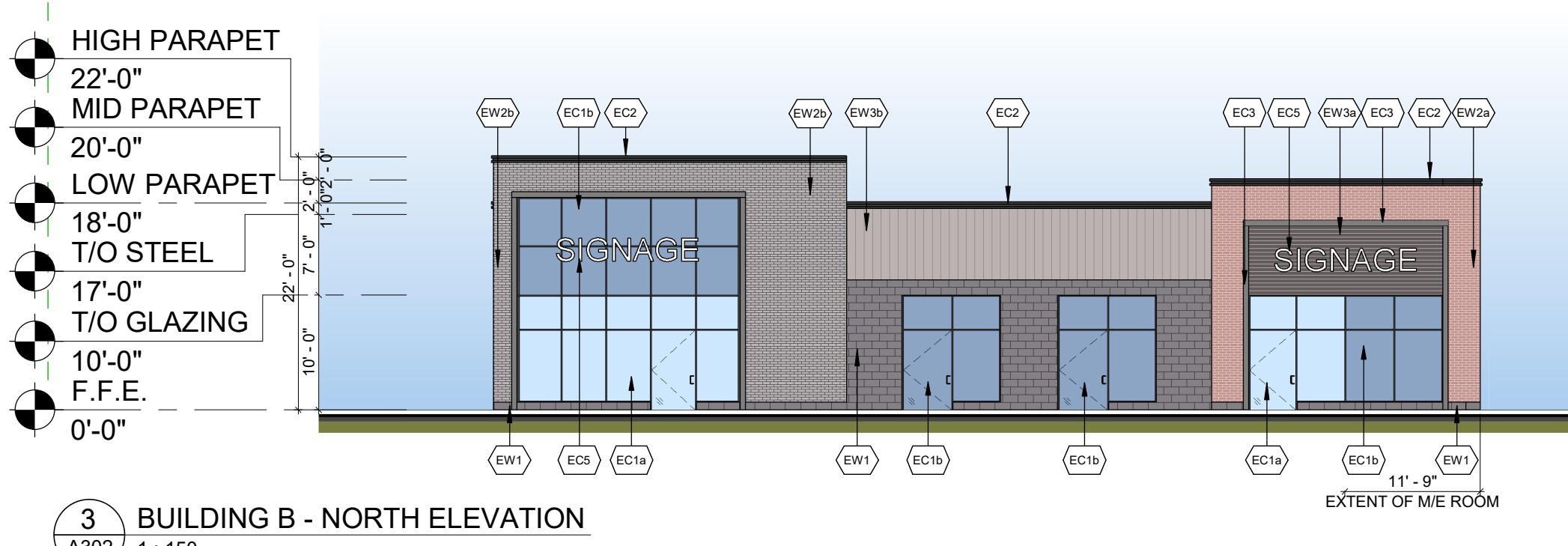
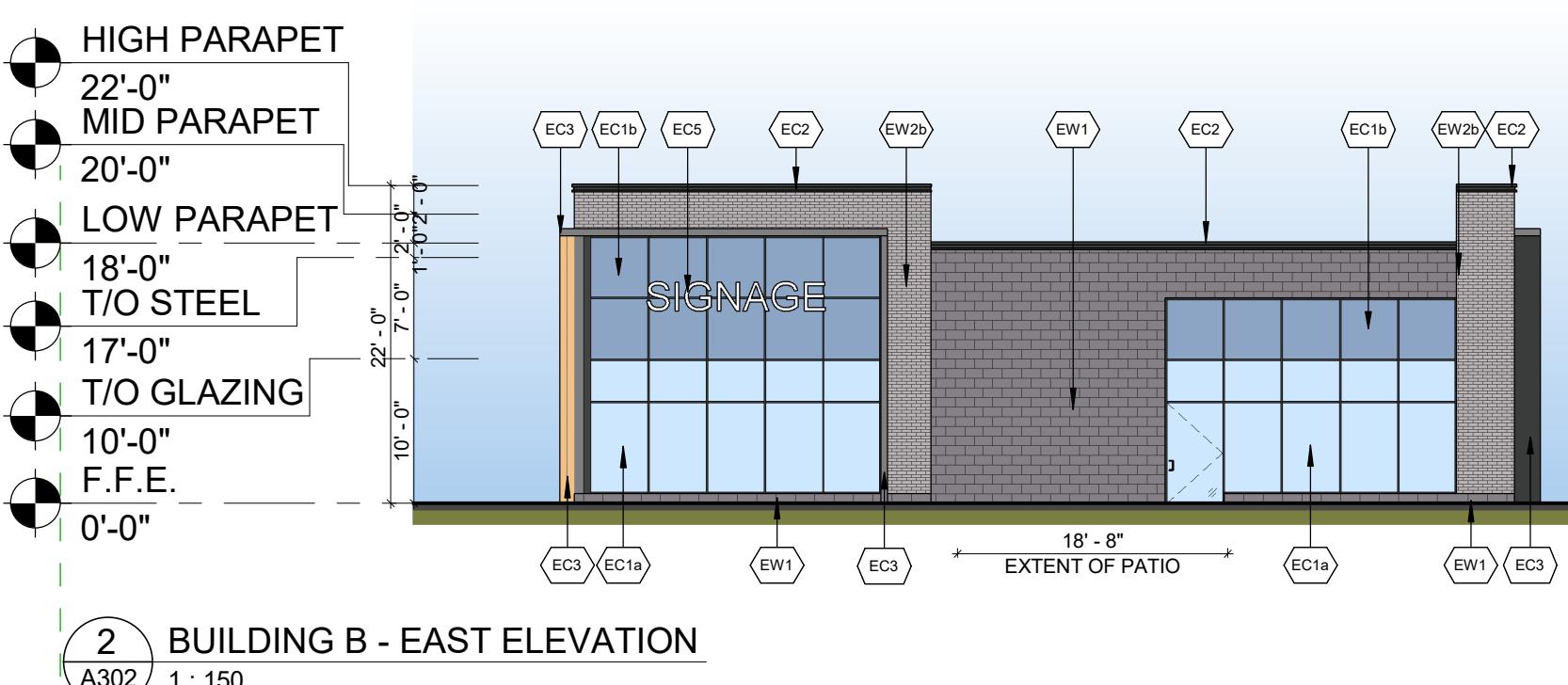
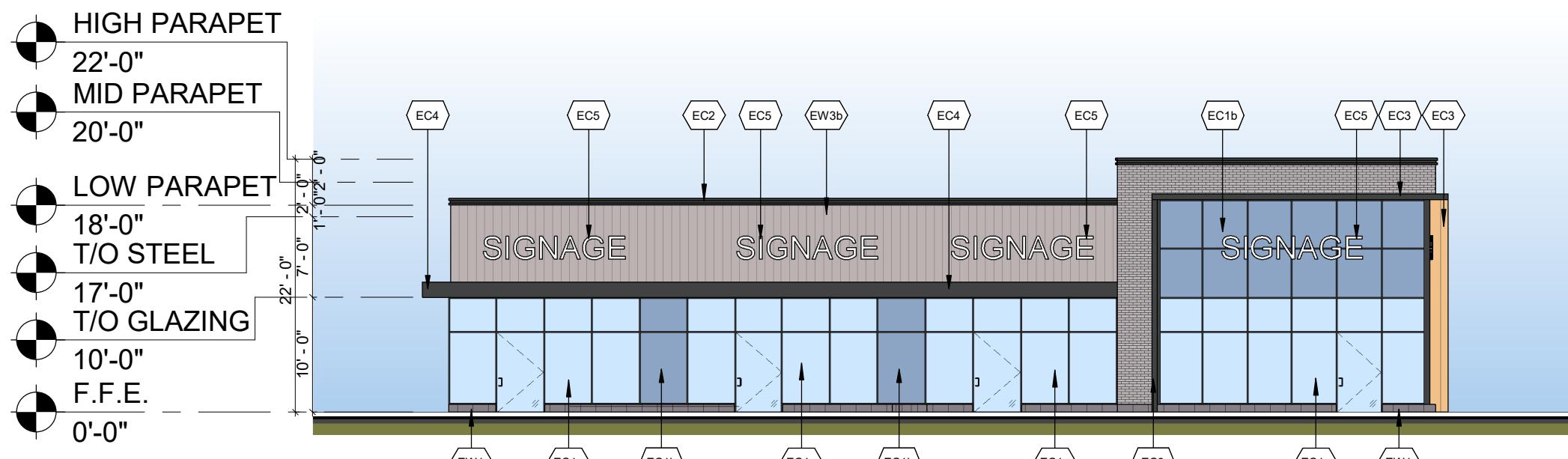
CAMBRIAN RD (S. PARCEL)

ONTARIO ASSOCIATION
OF
ARCHITECTS

POPE, JEREMY DAVID
LICENCE
4983



4
A001.2 SITE PLAN - PHASE 1
1 : 400

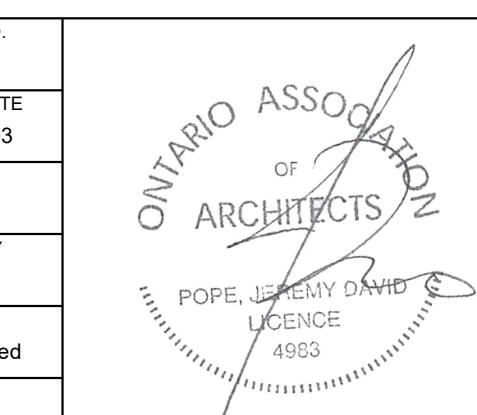


5 BUILDING B - FLOOR PLAN
A302 1:150

EXTERIOR FINISH SCHEDULE			
EW1 ARCHITECTURAL BLOCK:		EC1a GLAZED DOORS & WINDOWS:	
PRODUCT: CONCRETE MASONRY COLOUR: DARK GREY MORTAR: DARK GREY SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.		CURTAIN WALL & STOREFRONT FRAMING SYSTEM COLOUR: BLACK ANODIZED THERMALLY BROKEN ALUMINUM FRAMES GLAZING: CLEAR INSULATED VISION GLASS c/w LOW-E GLAZING	
EW2a BRICKS:		EC1b SPANDREL GLAZED DOORS & WINDOWS:	
PRODUCT: BRICK MASONRY COLOUR: BROWN MORTAR: WHITE SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.		BLACK ANODIZED ALUMINUM FRAMES CLEAR GLASS UNIT WITH CUSTOM COLOUR COATING ON INBOARD SURFACE OF ULTRALITE (TEMPERED GLASS TO BE USED AT DOORS AND SIDELIGHTS) COLOUR: BLACK ANODIZED	
EW2b BRICKS:		EC1c H.M. DOORS & FRAMES:	
PRODUCT: BRICK MASONRY COLOUR: LIGHT GREY MORTAR: LIGHT GREY SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.		PREFINISHED HOLLOW METAL DOORS AND FRAMES PAINT DARK GREY	
EW3a METAL SIDING - HORIZONTAL:		EC2 PREFINISHED METAL CAP FLASHING:	
PRODUCT: METAL PANELS PROFILE: CORROUGATED COLOUR: CHARCOAL		PRE-FINISHED 20 GA. METAL FLASHING COLOUR: BLACK REFER TO DETAILS FOR PROFILE	
EW3b METAL SIDING - VERTICAL:		EC3 ACM PORTAL:	
PRODUCT: METAL PANELS PROFILE: CORROUGATED COLOUR: LIGHT GREY		PRODUCT: ALPOLIC COMPOSITE METAL PANEL COLOUR: CHARCOAL SOFFIT: METAL COMPOSITE WOOD FINISH, COLOUR: MPL MAPLE	
EC4 ACM CANOPY:		EC4 ACM CANOPY:	
PRODUCT: ALPOLIC COMPOSITE METAL PANEL COLOUR: CHARCOAL		PRODUCT: ALPOLIC COMPOSITE METAL PANEL COLOUR: CHARCOAL	
EC5 EXTERIOR SIGNAGE:		EC5 EXTERIOR SIGNAGE:	
SIGNAGE TO BE PROVIDED BY AND INSTALLED BY TENANT		SIGNAGE TO BE PROVIDED BY AND INSTALLED BY TENANT	

Ontario Building Code Data Matrix				Building Code Reference
Part 3				
3.00 Building Code Version: <u>O. Reg. 332/12</u>				Last Amendment <u>O. Reg. 191/14</u>
3.01 Project Type: <input checked="" type="checkbox"/> New <input type="checkbox"/> Additional <input type="checkbox"/> Renovation				[A] 1.1.2.
Description: <u>New Retail Building</u>				
3.02 Major Occupancy Classification: <u>E</u> <input type="checkbox"/> Mercantile				3.1.2.1(1)
3.03 Superimposed Major Occupancies: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.2.7
3.04 Building Area (m ²)				Description: Existing New Total [A] 1.4.1.2.
Retail				0 519 519
Total				0 519 519
3.05 Gross Area (m ²)				Description: Existing New Total [A] 1.4.1.2.
First floor				0 519 519
Total				0 519 519
3.06 Mezzanine Area (m ²)				Description: Existing New Total 3.2.1.1.
Total				0 0 0
3.07 Building Height				1 Storeys above grade 7.5 (m) Above grade [A] 1.4.1.2. & 3.2.1.1.
0 Storeys below grade				
3.08 High Building				<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes 3.2.6
3.09 Number of Streets/ Firefighter access				3 street(s) 3.2.2.10. & 3.2.5.
3.10 Building Classification: (Size and Construction Relative to Occupancy)				3.2.2.61. Group /Div Group E up to 2 Storeys 3.2.2.61.
3.11 Sprinkler System				<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required 3.2.1.5. & 3.2.2.17.
Proposed: <input type="checkbox"/> Entire building <input type="checkbox"/> Selected compartments				
<input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement				
<input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> None				
3.12 Standpipe System				<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required 3.2.9.
3.13 Fire Alarm System				<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required 3.2.4.
Proposed: <input type="checkbox"/> Single Stage <input type="checkbox"/> Two Stage <input type="checkbox"/> None				
3.14 Water Service/ Supply is Adequate				<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes 3.2.20-83 & 3.2.1.4.0.
Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required				
Actual: <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combination				
Heavy Timber Construction: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes				

PROJECT: CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ON
DRAWING: BUILDING B ELEVATIONS & FLOOR PLAN
PROJECT NO: 2132SD
PROJECT DATE: 2024-04-03
DRAWN BY: FPI
CHECKED BY: RCH
SCALE: As indicated
DRAWING NO: A302



POPE, JEFFREY DAVID C. LICENCE #993