

PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

21.326SD



**TURNER
FLEISCHER**

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Toronto, ON, M3B 2T8
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**ISSUED FOR SPA
11/19/25**

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Parsons Corporation
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The site plan prepared by Turner Fleischer is based on a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachment prepared by Annis, 2750 Avenue Road, Suite 100, Willowdale, ON M2H 1C1. All dimensions are provided by Annis Companies Limited.

LEGAL DESCRIPTION

TOPOGRAPHIC PLAN OF PART OF LOT 10
CONCESSION 3 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

STATISTICS

SITE AREA	±3.64 ACRES	±1.47 HA.
PROPOSED BUILDING A AREA	±28,000 S.F.	±2,601 S.M.
MEZZANINE AREA	±1,920 S.F.	±178 S.M.
TOTAL BUILDING A AREA	±29,920 S.F.	±2,779 S.M.
PROPOSED BUILDING B	±5,430 S.F.	±505 S.M.
PROPOSED MIE ROOM	±150 S.F.	±14 S.M.
TOTAL BUILDING B AREA	±5,580 S.F.	±519 S.M.
TOTAL GROSS FLOOR AREA	±35,500 S.F.	±3,298 S.M.
TOTAL BUILDING AREA	±37,570 S.F.	±3,490 S.M.
TOTAL PARKING PROVIDED	165 CARS	5.00/100 S.M.
COVERAGE	22.36 %	

LEGEND

- PROPOSED BUILDING
- PROPOSED ENTRANCE ARROW
- PROPOSED CONCRETE SIDEWALK
- PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
- PROPOSED PCX PARKING
- PROPOSED EV PARKING
- PROPOSED TRANSFORMER
- EXTENT OF RIGHT OF WAY (R.O.W.)

21	2025-11-19	ISSUED FOR SPA	GEA
20	2025-05-23	ISSUED FOR CLIENT REVIEW	RCH
19	2025-03-07	ISSUED FOR SPA	GEA
17	2024-04-03	ISSUED FOR SPA	FPI
12	2023-10-25	ISSUED FOR SPA	FPI
#	DATE	DESCRIPTION	BY

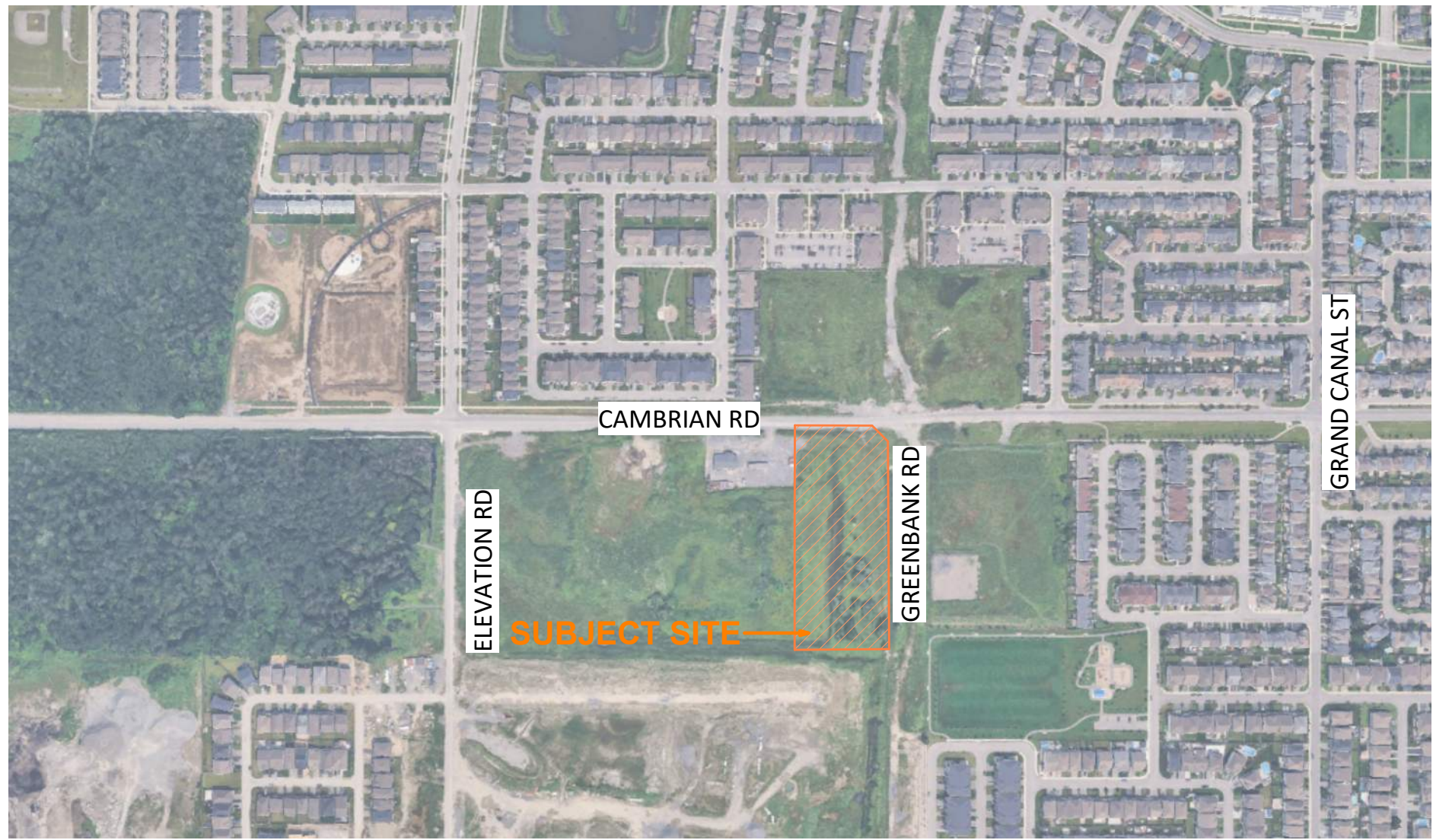
Loblaw
Companies
Limited

PROJECT
PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

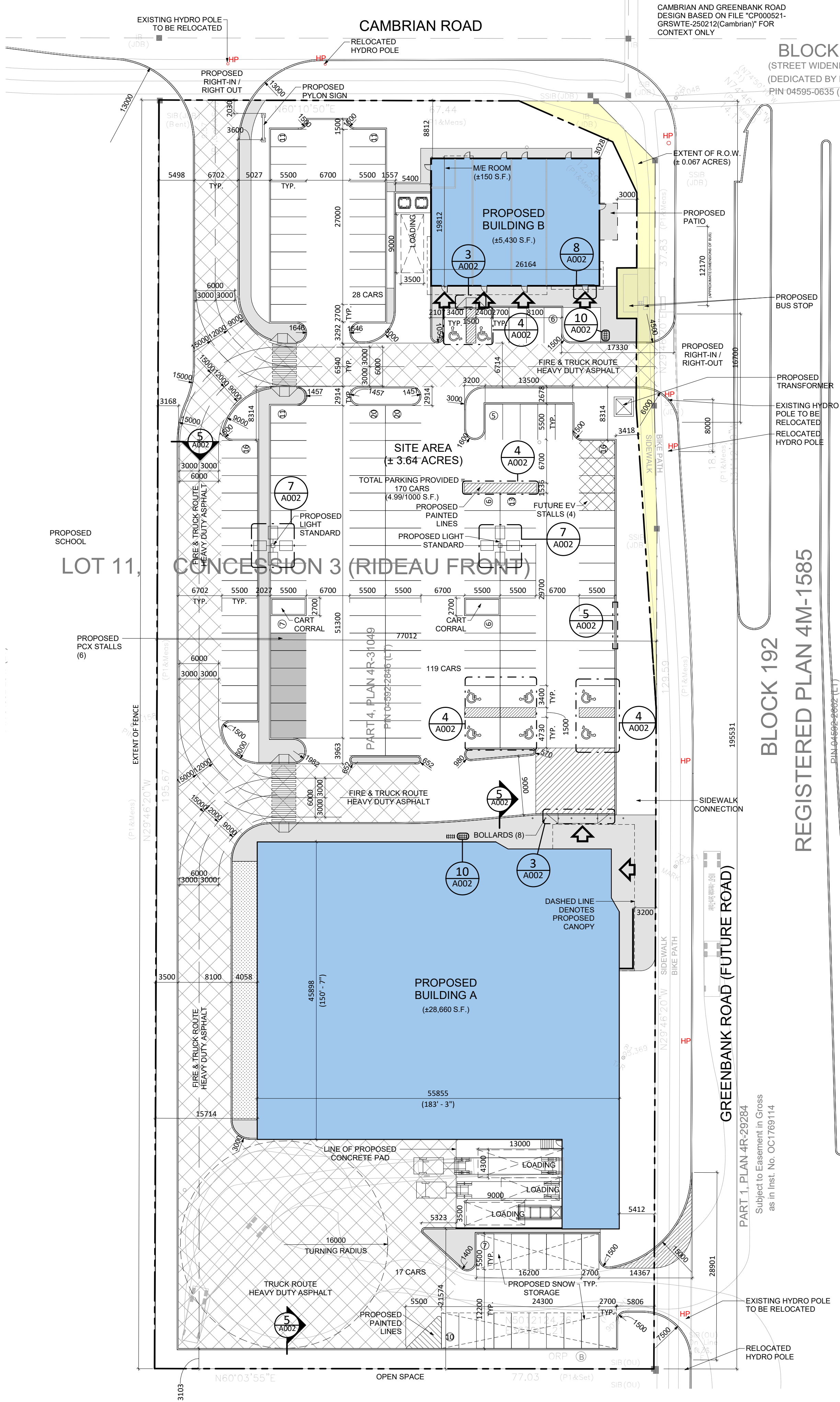
DRAWING
SITE PLAN

PROJECT NO. 21.326SD	ONTARIO ASSOCIATION OF ARCHITECTS POPE, JACQUES AND ASSOCIATES LICENCE 4963
PROJECT DATE 2025-03-07	
DRAWN BY GEA	
CHECKED BY RCH	
SCALE 1:400	DRAWING NO. A001



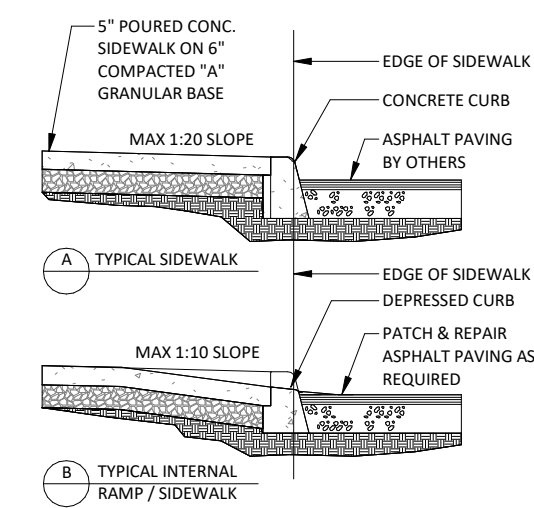
2 CONTEXT PLAN
A001 / N.T.S.

ZONING COMPLIANCE CHART - ZONING: GM[1628]		
	REQUIRED	PROPOSED
Minimum Lot Width (m)	N/A	77.02 m
Minimum Lot Area (acres)	N/A	3.66 acres
Minimum Front Yard Setback (Cambrian Rd) (m)	3 m	8.81 m
Minimum Rear Yard Setback (m)	7.5 m (from any portion of a rear lot line abutting a residential zone)	21.96 m
Minimum Interior Side Yard Setback (m)	5 m (for a non-residential or mixed-use building, from any portion of lot line abutting a residential zone)	15.71 West 5.41 m East
Maximum Height (m)	18 m	9.59 m / 1 storey
Maximum Floor Space Index	N/A	0.30
Minimum Parking Dimensions (m)	2.6m x 5.2m	2.7m x 5.5m
Minimum Parking required (3.6 per 100 s.m. of total GFA)	112 spaces	165 spaces
Minimum Bicycle Parking required (1 per 500 s.m. of GFA)	9 spaces	12 spaces
Loading spaces (for up to 4999 s.m. of GFA)	1 standard space (3.5x9x4.2 m) 1 oversized space (4.3x13x4.2 m)	2 standard spaces 2 oversized space
Minimum Drive Aisle Width (parking angle at 90 degrees) (m)	6.7 m	6.7 m



1 SITE PLAN
A001 / 1:400

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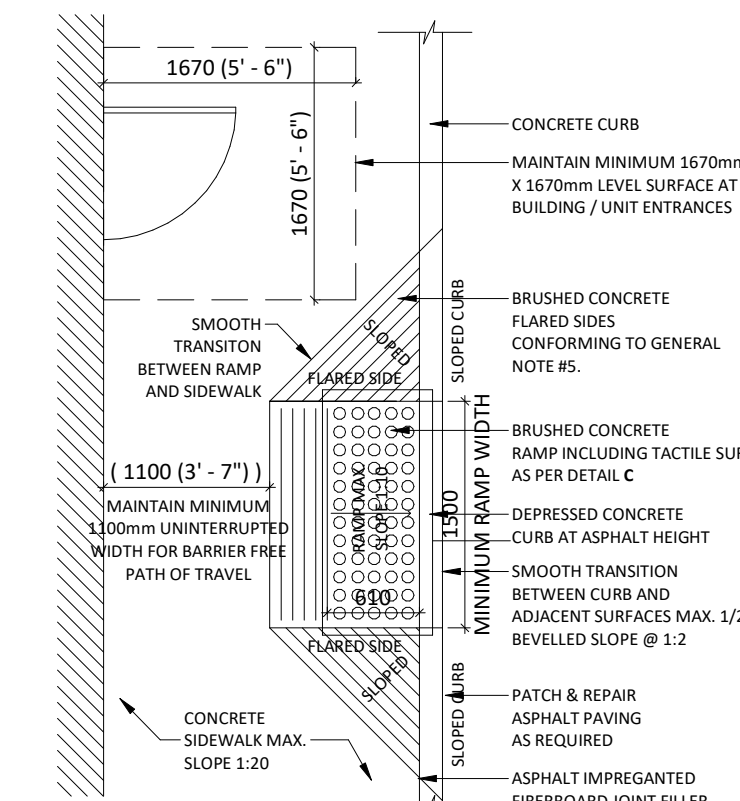


GENERAL NOTES:

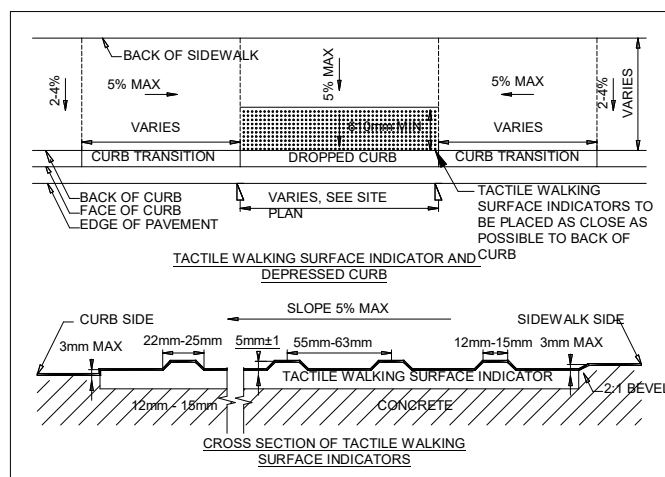
1. SIDEWALK SLOPES TO BE 1/8" / FT. (1%) MAX. IN ALL DIRECTIONS ALONG STOREFRONT, 1/4" / FT. (2%) MAX. IN OTHER AREAS.
2. EXPANSION JOINTS ARE TO BE AS SPECIFIED & AS LOCATED ON ARCHITECTURAL DOCUMENTS.
3. REINFORCING TO BE AS PER STRUCTURAL DOCUMENTS.
4. CONCRETE TO BE BROOM FINISHED AS PER ARCHITECTURAL SPECIFICATIONS.
5. CONSTRUCTION OF CURB RAMPS TO BE IN ACCORDANCE WITH THE REQUIREMENTS IN PROVINCE OF ONTARIO - DESIGN OF PUBLIC SPACES STANDARD - PART IV.1 OF ONTARIO REGULATION 19/211. IT MUST HAVE TACTILE WALKING SURFACE INDICATORS THAT:
 - i) HAVE BASED TACTILE PROFILES,
 - ii) HAVE A HIGH TONAL CONTRAST WITH THE ADJACENT SURFACE,
 - iii) ARE LOCATED AT THE BOTTOM OF THE CURB RAMP,
 - iv) ARE SET BACK BETWEEN 150mm AND 200mm FROM THE CURB EDGE,
 - v) EXTEND THE FULL WIDTH OF THE CURB RAMP, AND
 - vi) ARE A MINIMUM OF 610mm IN DEPTH

NOTES:

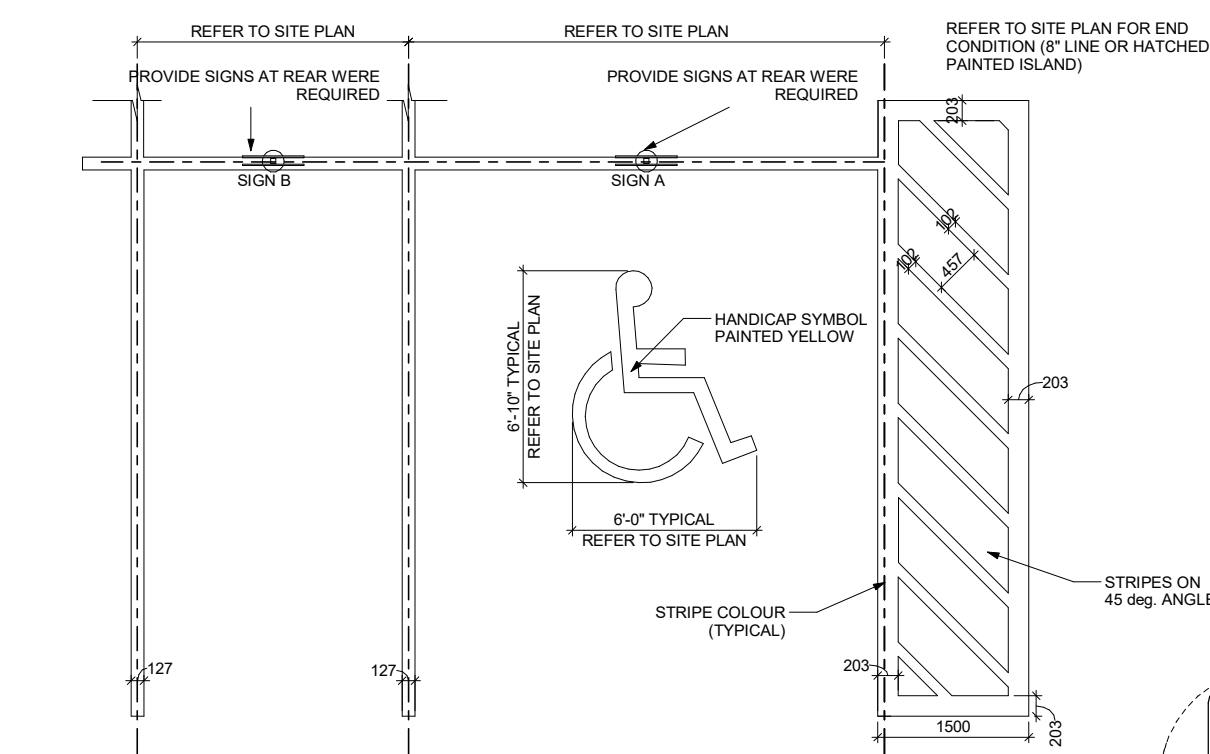
1. WHERE SIDEWALK IS CONTINUOUSLY ADJACENT, REDUCE THE DROPPED CURB AT ENTRANCES TO 3".
2. FOR SURFIMMING PROCEDURE A 5% BATTER IS ACCEPTABLE.
- A. TREATMENT AT ENTRANCES SHALL CONFORM WITH OPSD 551.01
- B. OUTLET TREATMENT SHALL CONFORM WITH OPSD 610 SERIES
- C. THE LENGTH OF TRANSITION FROM ONE CURB TYPE TO ANOTHER SHALL BE 3.0M, EXCEPT IN CONJUNCTION WITH GUIDE RAIL, IT SHALL CONFORM TO OPSD 900 SERIES



3 CURB RAMP WITH TACTILE PLATES
A002 1 : 50



C DETAIL OF TACTILE SURFACE



- NOTES:
1. PARKING BAY DIMENSIONS REFLECT LPL STANDARDS. REFER TO SITE PLAN DRAWINGS FOR SPECIFIC PROJECT SITE PLANNING DIMENSIONS.
 2. ALL PARKING LOT LINE STRIPING TO BE PAINTED WITH YELLOW AND CONFORM TO CANADIAN 1:4 COLOUR SAMPLE TO BE APPROVED BY LPL.
 3. ALL PARKING DIMENSIONS SHOWN ARE MINIMUM. CONFIRM REQUIRED SIZES WITH LOCAL AUTHORITY HAVING JURISDICTION.

ACCEPTABLE MANUFACTURER OR APPROVED EQUAL BY LPL
SUREGUARD SHIELD (OR SUREGUARD "SURE-SEA" INSTALLATION KIT) SIZE: 7" x 42"
PARKING BOLLARDS AS MANUFACTURED BY "SUREGUARD SECURITY PRODUCTS (ADAM LILAS) P.O. BOX 1202, 820 VICTORIA ST. N. KITCHENER, ONT. N2C 4G8. PH: (519) 772-1975. FX: (519) 742-8256 E-MAIL: ALL-IND@SUREGUARD.CA

A PARTIAL PARKING PLAN
C-209 SCALE 1/4" = 1'-0"

MODEL	COLOR	TAPE COLOR
INSPIRE	YELLOW	WHITE
SUPERSTORE	YELLOW	WHITE
NOFFBILLS	YELLOW	WHITE
NEIGHBOUR	YELLOW	WHITE

FOR NOFFBILLS: OMIT SUREGUARD SHIELD. PROVIDE 6 1/2" O.C. STEEL BOLLARD C/W CONCRETE & PAINTED YELLOW

FOR EORTINGS: OMIT SUREGUARD SHIELD - PROVIDE 6 1/2" O.C. GLAVANIZED STEEL BOLLARD C/W CONCRETE

PAINTED PARKING LINES, STRIPES AND SIGNAGE

DETAIL DRAWN BY TURNER FLEISCHER ARCHITECTS INC. ON BEHALF OF LOBLAW COMPANIES LIMITED

DETAIL NO.

C-209

4 C-209_PAINTED PARKING LINES, STRIPES AND SIGNAGE
A002 1 : 75

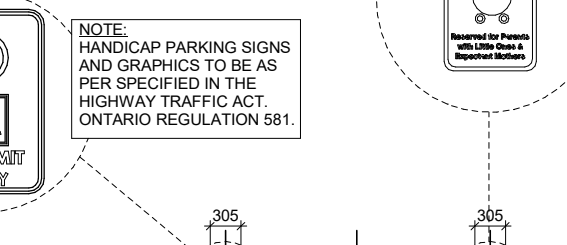


NOTE:

FOR ARTWORK REFER TO SIGNAGE KEY PLAN.

COUNTRY PARKING

BY FIBERGLASS



CONCRETE FILLED 6 1/2" x 3-1/4" HIGH (TYPICAL) STEEL BOLLARD WITH PROTECTIVE POLYETHYLENE SLEEVE AS MANUFACTURED BY "SUREGUARD SECURITY PRODUCTS" AND INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.

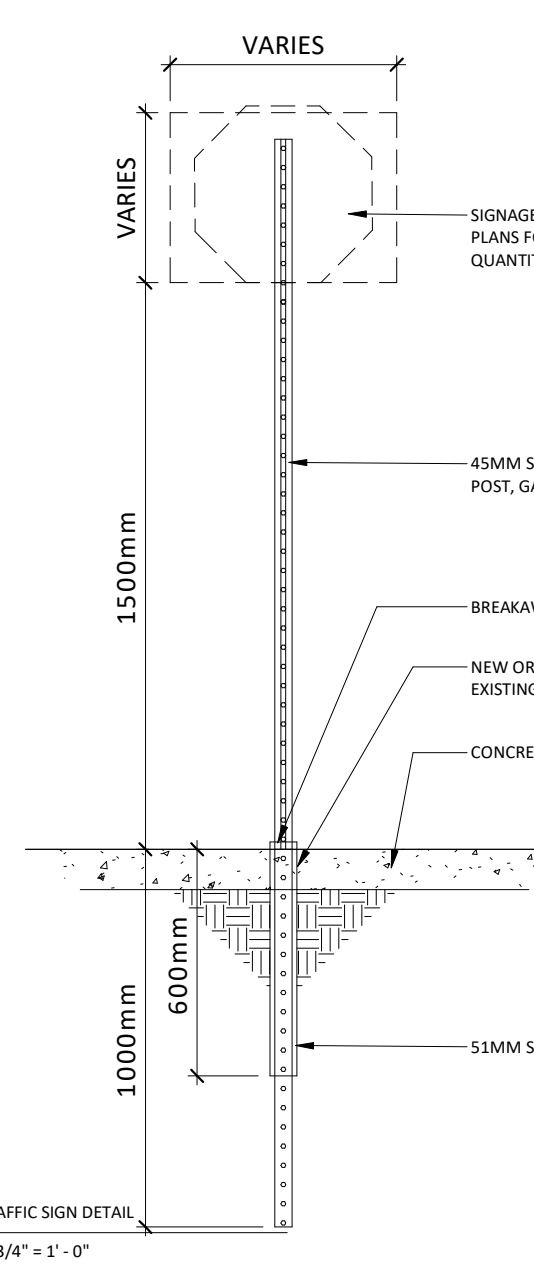
TRIM AND FINISH SLEEVE AS PER SLOPE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.

PARKING SIGNAGE ELEVATIONS

C-209 SCALE 1/4" = 1'-0"

DETAIL NO.

C-209



A TYP. TRAFFIC SIGN DETAIL
C-210 SCALE 3/4" = 1'-0"

CONCRETE BASES FOR LUMINAIRES TYPE "L1", "L2A" & "L2B" TO BE SUPPLIED AND INSTALLED BY THIS ELECTRICAL CONTRACTOR.

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS OR METERS
2. TOP OF FOUNDATION SHALL BE TROWELED SMOOTH & LEVEL
3. CLASS OF CONCRETE SHALL BE 25MPa CONCRETE SHALL BE VIBRATED.
4. MINIMUM OF TWO EDGES REQUIRED FOR EACH CONC. FOUNDATION UNLESS OTHERWISE SHOWN.
5. PROVIDE A 16 mm DIA. 3000mm STEEL COPPER COATED GROUND ROD ADJACENT TO POLES AS SPECIFIED ON PLAN AND CONNECT TO METAL POLE WITH BARE COPPER CONDUCTOR.
6. CONTRACTOR TO VERIFY OPENING SIZE IN POLE BASE PLATE PRIOR TO SETTING CONDUIT SLEEVES.
7. CONTRACTOR TO PROVIDE STRUCTURAL ENGINEER APPROVAL OR BASE DESIGN.
8. FORM RELEASE AGENT HAS BEEN FACTORY-APPLIED TO INSIDE SURFACE OF "WHIFORM"

WRAPAROUND - ALUMINUM COLOR ACCENT BAND (WHITE COLOUR)

1500mm

600mm

1000mm

51MM SQUARE ANCHOR SLEEVE

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The site plan prepared by Turner Fleischer is based on a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachment prepared by Annis, P. Sullivan, Valerius LTD., dated 2023-03-28 as provided by Loblaws Companies Limited.

LEGAL DESCRIPTION

TOPOGRAPHIC PLAN OF PART OF LOT 10
CONCESSION 5 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

STATISTICS

SITE AREA	±3.66 ACRES	±1.48 HA.
PROPOSED BUILDING A AREA	±34,496 S.F.	±3,205 S.M.
MEZZANINE AREA	±2,595 S.F.	±241 S.M.
TOTAL BUILDING A AREA	±37,091 S.F.	±3,446 S.M.
PROPOSED BUILDING B AREA	±4,794 S.F.	±445 S.M.
PROPOSED ME ROOM	±150 S.F.	±14 S.M.
TOTAL BUILDING B AREA	±4,944 S.F.	±459 S.M.
TOTAL GROSS FLOOR AREA	±39,440 S.F.	±3,664 S.M.
TOTAL BUILDING AREA	±42,035 S.F.	±3,905 S.M.
TOTAL PARKING PROVIDED	179 CARS	
	4.54/1000 S.F.	4.88/100 S.M.
COVERAGE	24.74 %	

LEGEND

- PROPOSED BUILDING
- PROPOSED ENTRANCE ARROW
- PROPOSED CONCRETE SIDEWALK
- PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
- PROPOSED PCX PARKING
- PROPOSED EV PARKING
- PROPOSED TRANSFORMER
- EXTENT OF RIGHT OF WAY (R.O.W.)

21	2025-11-19	ISSUED FOR SPA	GEA
18	2025-02-14	ISSUED FOR SPA	GEA
12	2023-10-25	ISSUED FOR SPA	FPI
6	2023-05-08	ISSUED FOR COORDINATION	FPI
#	DATE	DESCRIPTION	BY

Loblaws
Companies
Limited

PROJECT
PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

DRAWING

SITE PLAN - PHASING CONDITIONS

PROJECT NO.

21.326SD

PROJECT DATE

2025-03-07

DRAWN BY

FPI

CHECKED BY

RCH

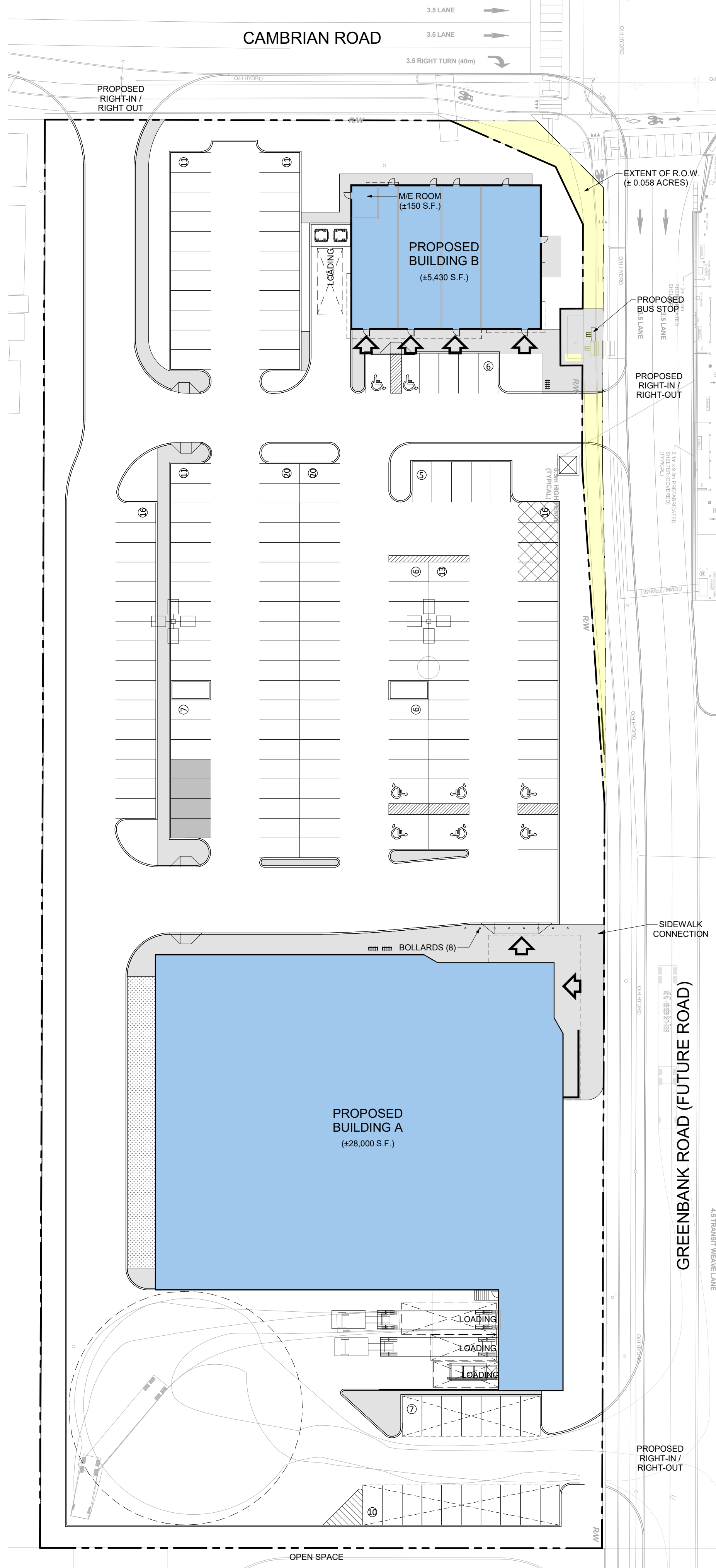
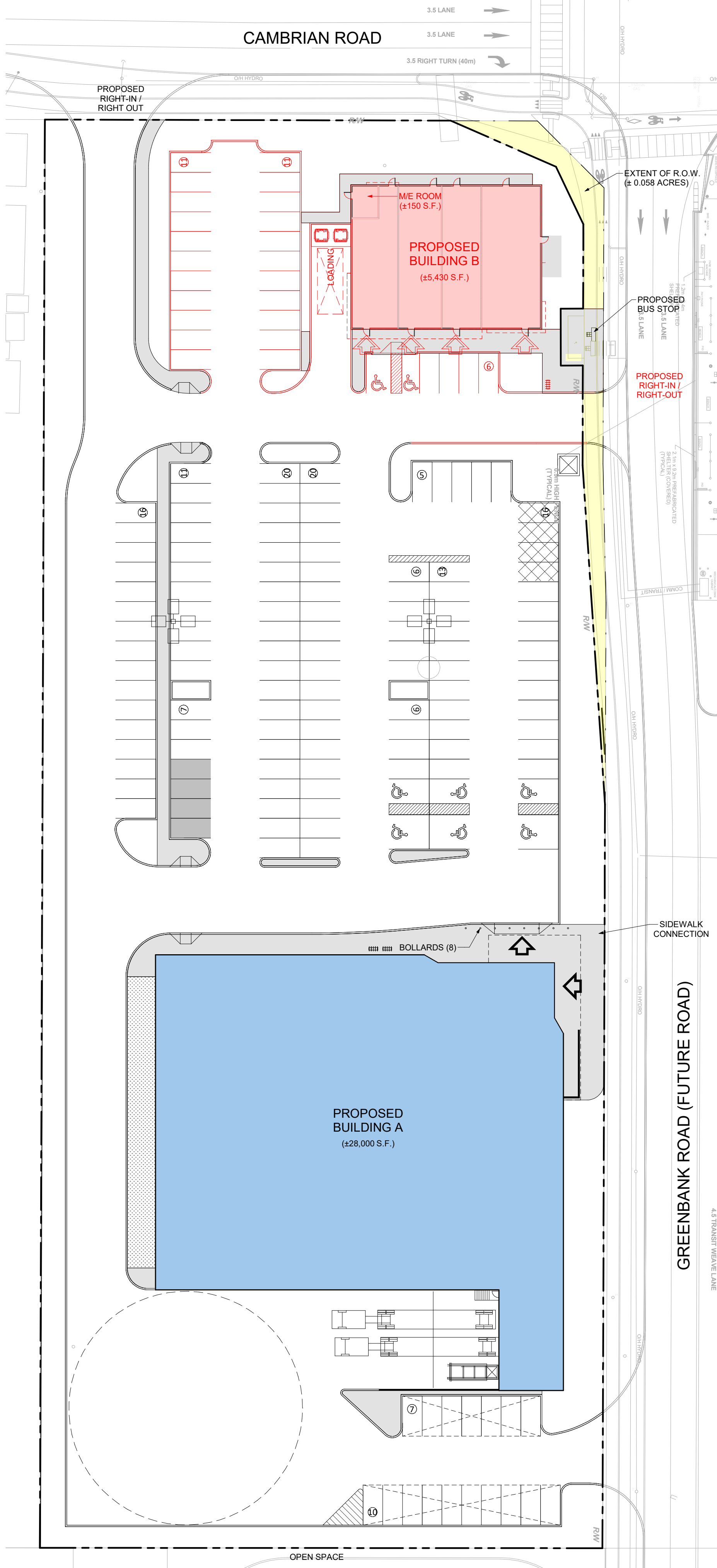
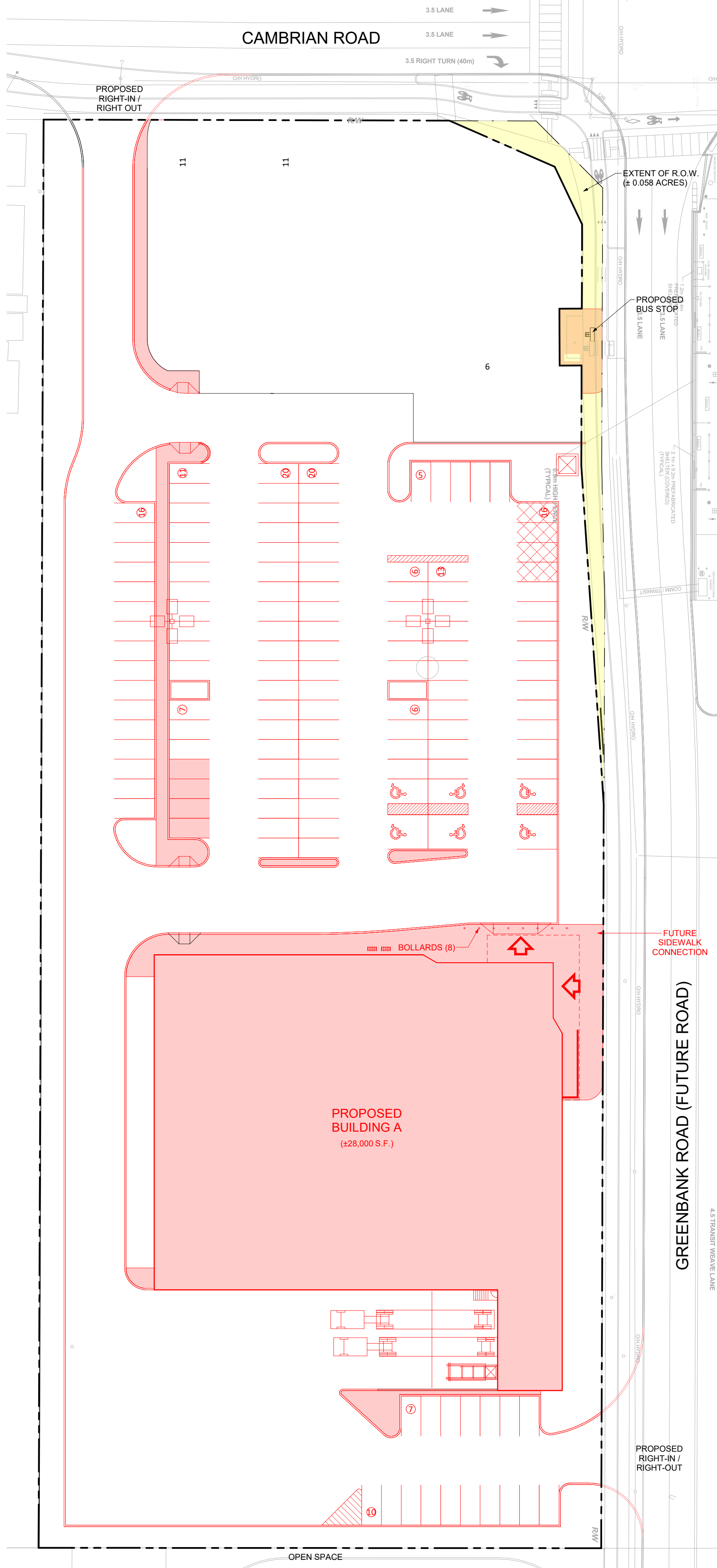
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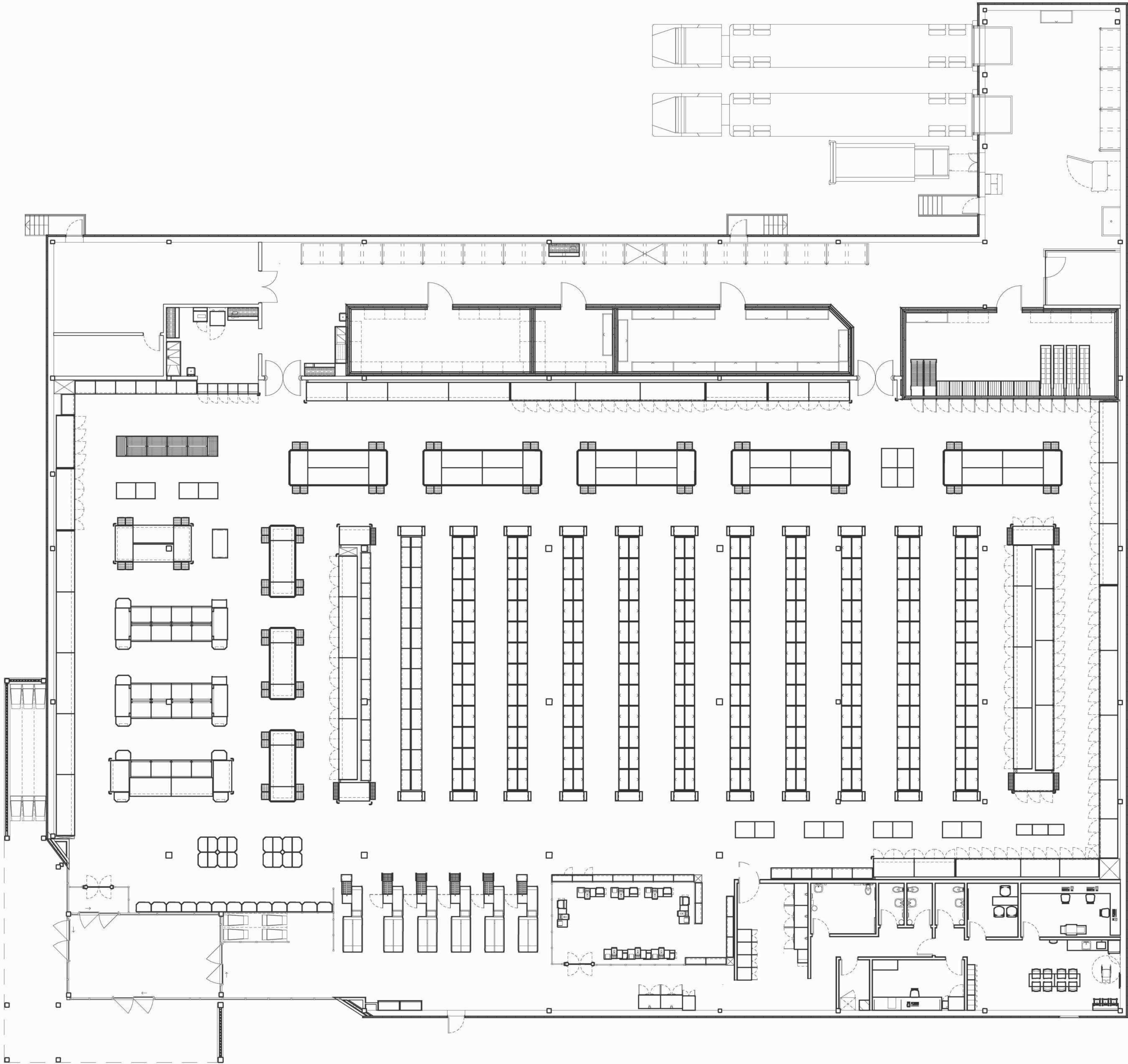


DRAWING NO.

A001.2



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21	2025-11-18	ISSUED FOR SPA	GEA
#	DATE	DESCRIPTION	BY

Loblaw
Companies
Limited

PROJECT
PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

DRAWING

FLOOR PLAN

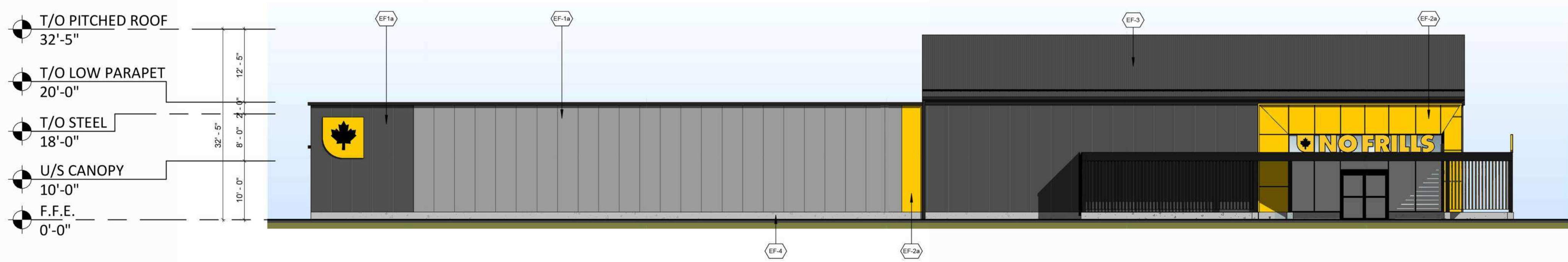
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PROJECT DATE 2025-11-18	
DRAWN BY GEA	
CHECKED BY RCH	
SCALE	

DRAWING NO.

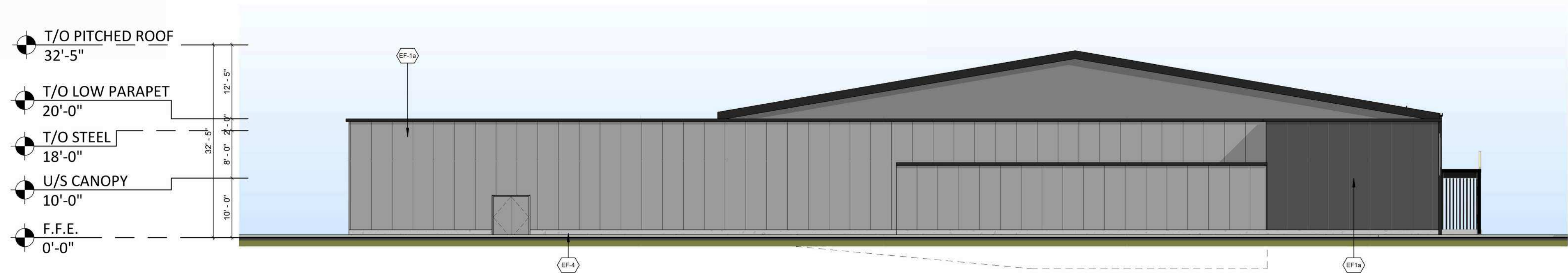
A101



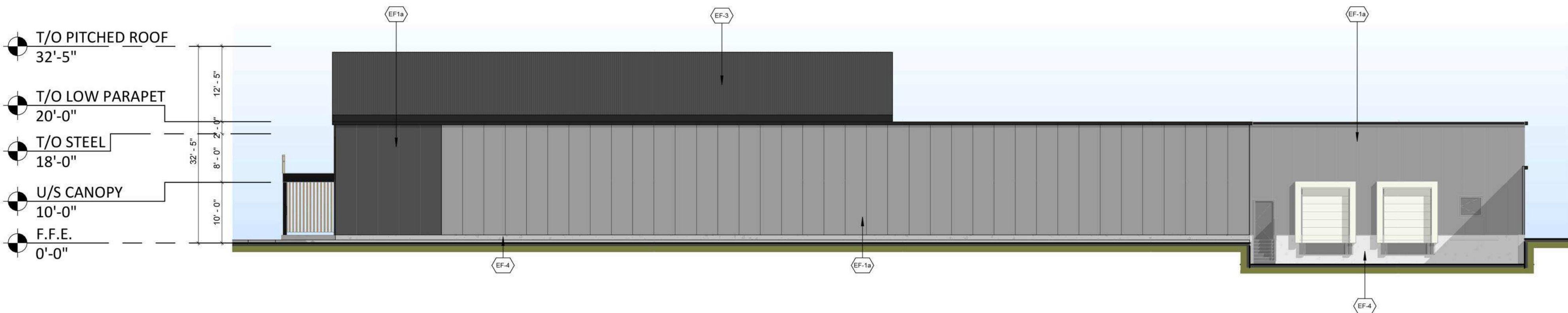
4 NORTH ELEVATION
A301 1 : 150



3 EAST ELEVATION
A301 1 : 150



2 SOUTH ELEVATION
A301 1 : 150



1 WEST ELEVATION
A301 1 : 150

Name of Practice: Turner Fleischer Architects Inc. 67 Lesmill Road, Toronto, ON M3B 2T8 contact information here. (PM)		Name of Project: Cambrian BIDG A Location: Cambrian road, South parcel		
Date: 4/28/2023				
Ontario Building Code Data Matrix Part 3				Building Code Reference
3.00	Building Code Version: <u>O. Reg. 332/12</u> Last Amendment <u>O. Reg. 191/14</u>			
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Additional <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation Description: <u>New Retail Building</u>		[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy <u>E</u> Use <u>Mercantile</u>		3.1.2.1(1)
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		3.2.2.7
3.04	Building Area (m²)	Description: <u>Food store</u> Total <u>0</u>	Existing <u>3205</u> New <u>3205</u> Total <u>3205</u>	[A] 1.4.1.2.
3.05	Gross Area (m²)	Description: <u>first floor</u> Total <u>0</u>	Existing <u>3205</u> New <u>3205</u> Total <u>3205</u>	[A] 1.4.1.2.
3.06	Mezzanine Area (m²)	Description: <u>first floor mezzanine</u> Total <u>0</u>	Existing <u>241</u> New <u>241</u> Total <u>241</u>	3.2.1.1.
3.07	Building Height	<u>1</u> Storeys above grade <u>7.5</u> (m) Above grade <u>0</u> Storeys below grade		[A] 1.4.1.2. & 3.2.1.1.
3.08	High Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		3.2.6
3.09	Number of Streets/ Firefighter access	<u>3</u> street(s)		3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	<u>3.2.2.60</u> Group /Div <u>Group E, up to 3 Storeys, Sprinklered</u>		3.2.2.60
3.11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Entire building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> None		3.2.1.5. & 3.2.2.17.
3.12	Standpipe System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required		3.2.9.
3.13	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Single Stage <input type="checkbox"/> Two Stage <input type="checkbox"/> None		3.2.4.
3.14	Water Service/ Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		
3.15	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required Actual: <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		3.2.2.60 3.2.1.4.0

EXTERIOR FINISH SCHEDULE	
EF-1a	INSULATED METAL PANEL: - NORBEC METAL PANEL - COLOUR: ELEMENT GREY - NOROC - L PROFILE
EF-1b	INSULATED METAL PANEL: - NORBEC METAL PANEL - COLOUR: CHARCOAL - NOROC - L PROFILE
EF-2a	PREFINISHED ALUMINUM COMPOSITE PANEL - COMPOSITE ALUMINUM PANEL - COLOUR: YELLOW - C0 M19 Y89 K0
EF-2b	PREFINISHED ALUMINUM COMPOSITE PANEL - ALPOLIC COMPOSITE ALUMINUM PANEL - COLOUR: BLACK
EF-3	STANDING SEAM METAL ROOF - COLOUR: BLACK
EF-4	CONCRETE FOUNDATION CURB - EXPOSED CONCRETE FOUNDATION

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Lesmill Road
Toronto, ON, M3B 2T8
T 416 425 2222
turnerfleischer.com

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9	2024-04-23	ISSUED FOR COORDINATION	FPI
8	2024-04-03	ISSUED FOR SPA	FPI
7	2023-09-06	ISSUED FOR COORDINATION	FPI
6	2023-08-16	ISSUED FOR COORDINATION	FPI
5	2023-05-24	ISSUED FOR COORDINATION	FPI
4	2023-05-01	ISSUED FOR COORDINATION	FPI
3	2023-04-24	ISSUED FOR COORDINATION	FPI
2	2023-03-24	ISSUED FOR COORDINATION	FPI
1	2023-01-24	ISSUED FOR COORDINATION	FPI
#	DATE	DESCRIPTION	BY

Loblaw Companies Limited

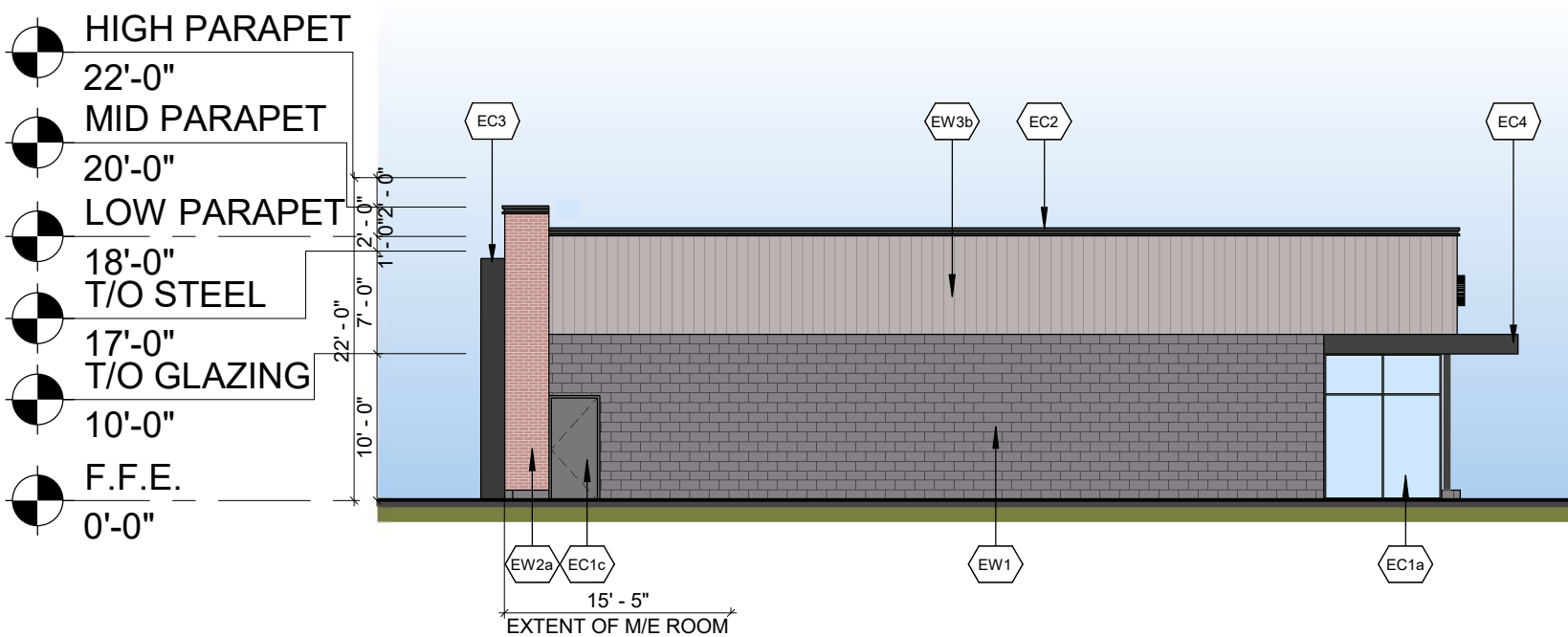
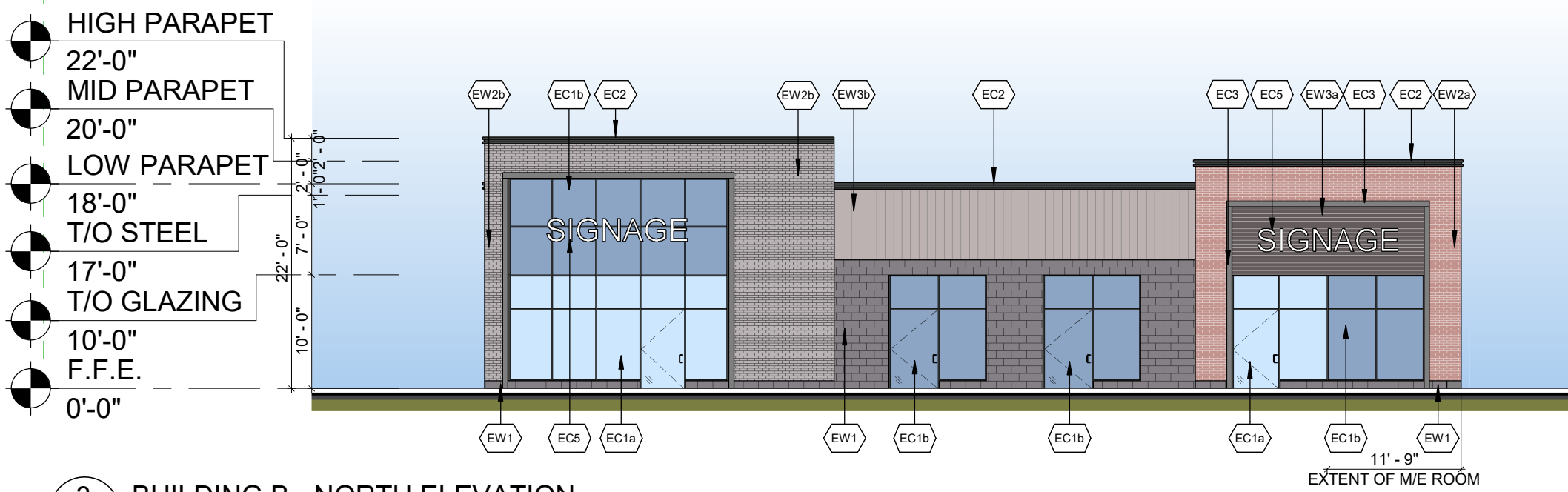
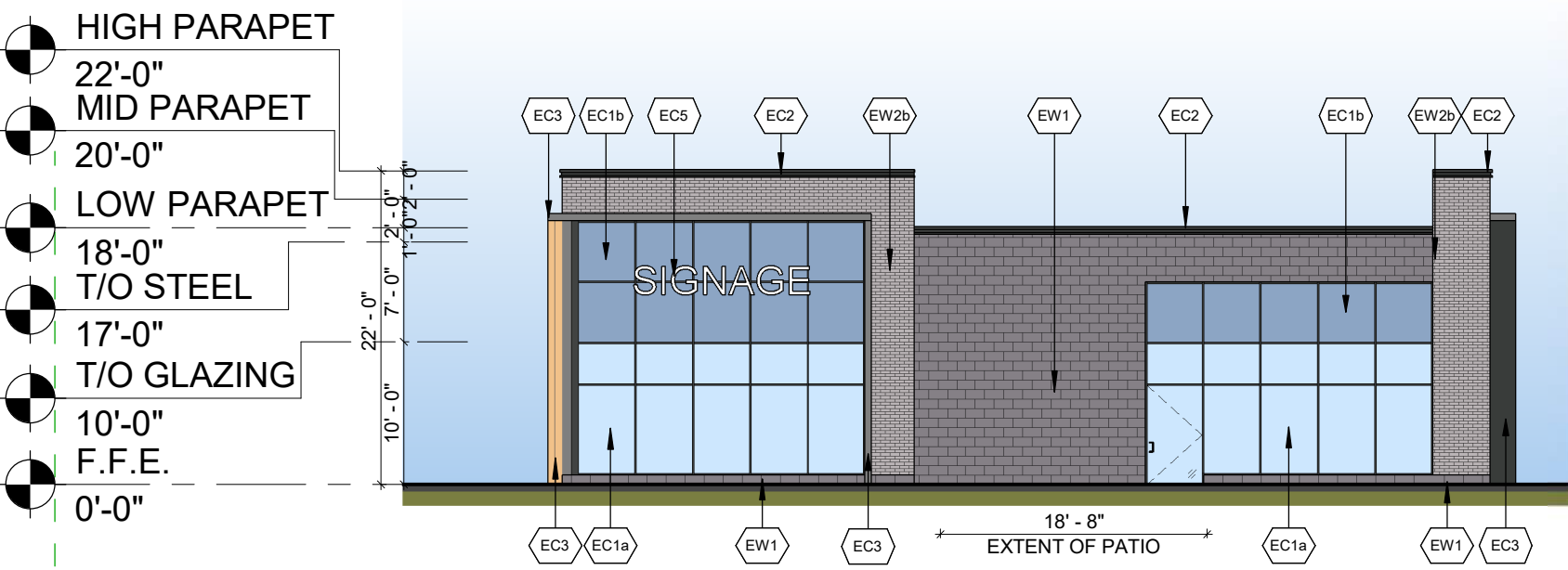
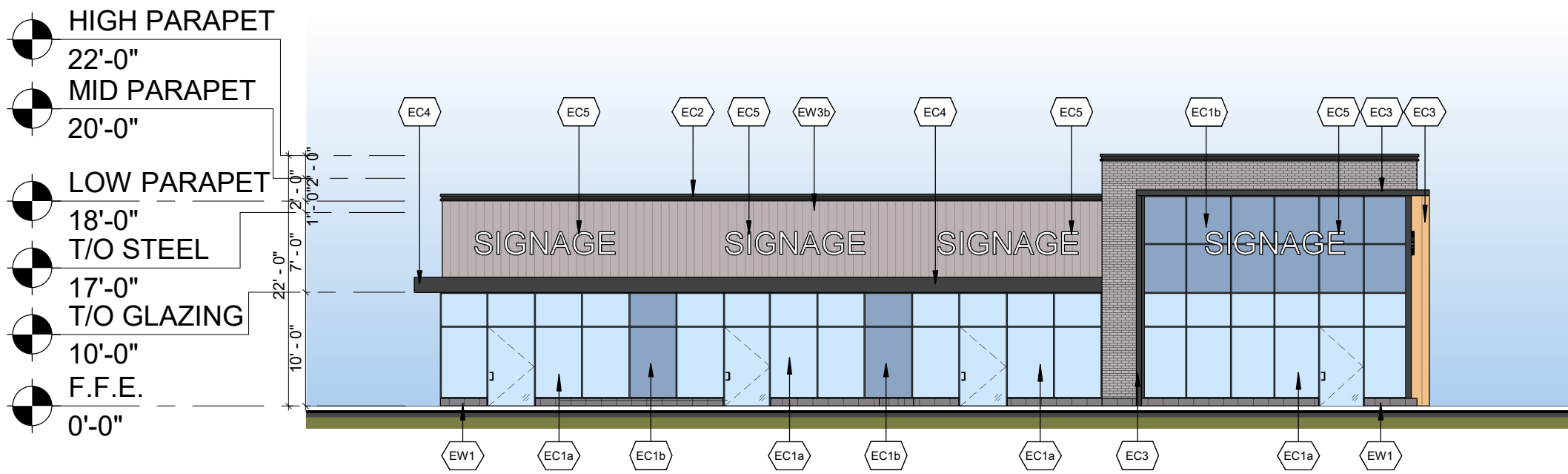
PROJECT
CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

DRAWING
BUILDING A ELEVATIONS

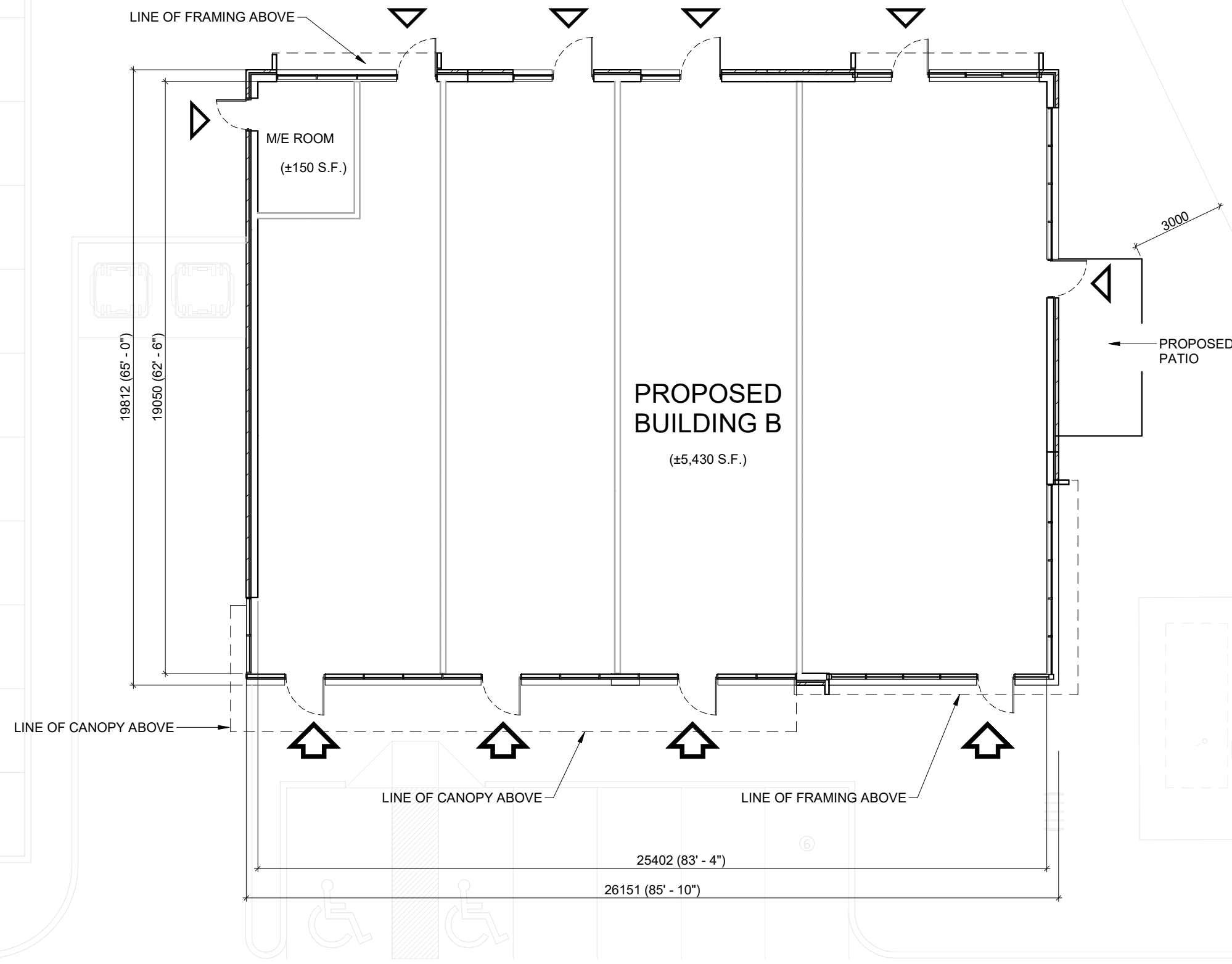
PROJECT NO.
20:159P01
PROJECT DATE
2025-07-16
DRAWN BY
GEA
CHECKED BY
RCH
SCALE
As indicated

ONTARIO ASSOCIATION OF ARCHITECTS
POPE, JAMES DAVID
LICENCE
4963

DRAWING NO.
A301



5 BUILDING B - FLOOR PLAN
1 : 150



Ontario Building Code Data Matrix						Building Code Reference
Part 3						
3.00	Building Code Version:	O. Reg. 332/12		Last Amendment	O. Reg. 191/14	
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Additional <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation Description: <u>New Retail Building</u>				[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy E	Use <u>Mercantile</u>			3.1.2.1(1)
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.2.7
3.04	Building Area (m²)	Description: <u>Retail</u>	Existing <u>0</u>	New <u>519</u>	Total <u>519</u>	[A] 1.4.1.2.
			Total <u>0</u>	<u>519</u>	<u>519</u>	
3.05	Gross Area (m²)	Description: <u>First floor</u>	Existing <u>0</u>	New <u>519</u>	Total <u>519</u>	[A] 1.4.1.2.
			Total <u>0</u>	<u>519</u>	<u>519</u>	
3.06	Mezzanine Area (m²)	Description:	Existing <u>0</u>	New <u>0</u>	Total <u>0</u>	3.2.1.1.
			Total <u>0</u>	<u>0</u>	<u>0</u>	
3.07	Building Height	<u>1</u> Storeys above grade	<u>7.5</u> (m) Above grade			[A] 1.4.1.2. & 3.2.1.1.
		<u>0</u> Storeys below grade				3.2.6
3.08	High Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.6
3.09	Number of Streets/ Firefighter access	<u>3</u> street(s)				3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	<u>3.2.2.61.</u> Group /Div <u>Group E, up to 2 Storeys</u>				3.2.2.61.
3.11	Sprinkler System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Entire building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> None				3.2.1.5. & 3.2.2.17.
3.12	Standpipe System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required				3.2.9.
3.13	Fire Alarm System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Single Stage <input type="checkbox"/> Two Stage <input type="checkbox"/> None				3.2.4.
3.14	Water Service/ Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes				
3.15	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required Actual: <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.20-83 & 3.2.14.0

EXTERIOR FINISH SCHEDULE	
EW1	ARCHITECTURAL BLOCK: PRODUCT: CONCRETE MASONRY COLOUR: DARK GREY MORTAR: DARK GREY SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.
EW2a	BRICKS: PRODUCT: BRICK MASONRY COLOUR: BROWN MORTAR: WHITE SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.
EW2b	BRICKS: PRODUCT: BRICK MASONRY COLOUR: LIGHT GREY MORTAR: LIGHT GREY SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.
EW3a	METAL SIDING - HORIZONTAL PRODUCT: METAL PANELS PROFILE: CORRUGATED COLOUR: CHARCOAL
EW3b	METAL SIDING - VERTICAL PRODUCT: METAL PANELS PROFILE: CORRUGATED COLOUR: LIGHT GREY
EC1a	GLAZED DOORS & WINDOWS: CURTAIN WALL & STOREFRONT FRAMING SYSTEM COLOUR: BLACK ANODIZED THERMALLY BROKEN ALUMINUM FRAMES GLAZING: CLEAR INSULATED VISION GLASS c/w LOW-E GLAZING
EC1b	SPANDREL GLAZED DOORS & WINDOWS: BLACK ANODIZED ALUMINUM FRAMES CLEAR GLASS UNIT WITH CUSTOM COLOUR COATING ON INBOARD SURFACE OF OUTERLITE (TEMPERED GLASS TO BE USED AT DOORS AND SIDELIGHTS) COLOUR: BLACK ANODIZED
EC1c	H.M. DOORS & FRAMES: PREFINISHED HOLLOW METAL DOORS AND FRAMES PAINT DARK GREY
EC2	PREFINISHED METAL CAP FLASHING: PRE-FINISHED 20 GA. METAL FLASHING COLOUR: BLACK REFER TO DETAILS FOR PROFILE
EC3	ACM PORTAL: PRODUCT: ALPOLIC COMPOSITE METAL PANEL COLOUR: CHARCOAL SOFFIT: METAL COMPOSITE WOOD FINISH, COLOUR: MPL MAPLE
EC4	ACM CANOPY: PRODUCT: ALPOLIC COMPOSITE METAL PANEL COLOUR: CHARCOAL
EC5	EXTERIOR SIGNAGE: SIGNAGE TO BE PROVIDED BY AND INSTALLED BY TENANT