

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor shall verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be used for any other project without the written consent of Turner Fleischer Architects Inc. The contractor shall be responsible for the accuracy of all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and their risks for any corrections or damage resulting from the work.

The site plan prepared by Turner Fleischer is based on a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachments prepared by Arno, O'Neil, Volpe & Co., dated 2023-03-28 as provided by Loblaw Companies Limited.









LEGAL DESCRIPTION

TOPOGRAPHIC PLAN OF PART OF LOT 10
CONCESSION 5 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

STATISTICS

SITE AREA	±3.66 ACRES	±1.48 HA.
PROPOSED BUILDING A AREA	±34,496 S.F.	±3,205 S.M.
MEZZANINE AREA	±2,586 S.F.	±241 S.M.
TOTAL BUILDING A AREA	±37,081 S.F.	±3,446 S.M.
PROPOSED BUILDING B AREA	±4,794 S.F.	±445 S.M.
PROPOSED ME ROOM	±150 S.F.	±14 S.M.
TOTAL BUILDING B AREA	±4,944 S.F.	±459 S.M.
TOTAL GROSS FLOOR AREA	±39,440 S.F.	±3,664 S.M.
TOTAL BUILDING AREA	±42,035 S.F.	±3,905 S.M.
TOTAL PARKING PROVIDED	180 CARS	
	4.56/1000 S.F.	4.60/100 S.M.
COVERAGE	24.74 %	

LEGEND

-  PROPOSED BUILDING
-  PROPOSED ENTRANCE ARROW
-  PROPOSED CONCRETE SIDEWALK
-  PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
-  PROPOSED PCX PARKING
-  PROPOSED EV PARKING
-  PROPOSED TRANSFORMER
-  EXTENT OF RIGHT OF WAY (R.O.W.)

12	2023-10-25	ISSUED FOR SPA	FPI
11	2023-10-18	ISSUED FOR COORDINATION	FPI
10	2023-10-12	ISSUED FOR COORDINATION	FPI
9	2023-09-05	ISSUED FOR COORDINATION	FPI
8	2023-08-28	ISSUED FOR COORDINATION	FPI
7	2023-08-08	ISSUED FOR COORDINATION	FPI
6	2023-05-08	ISSUED FOR COORDINATION	FPI
5	2023-05-01	ISSUED FOR COORDINATION	FPI
4	2023-04-24	ISSUED FOR COORDINATION	FPI
3	2023-03-30	ISSUED FOR COORDINATION	FPI
2	2023-03-28	ISSUED FOR COORDINATION	FPI
1	2023-03-02	ISSUED FOR COORDINATION	FPI
#	DATE	DESCRIPTION	BY

Loblaw Companies Limited

PROJECT: **CAMBRIAN RD (S. PARCEL)**

BARRHAVEN, ONTARIO

DRAWING: **SITE PLAN & FLOOR PLAN**

PROJECT NO: 21.326SD

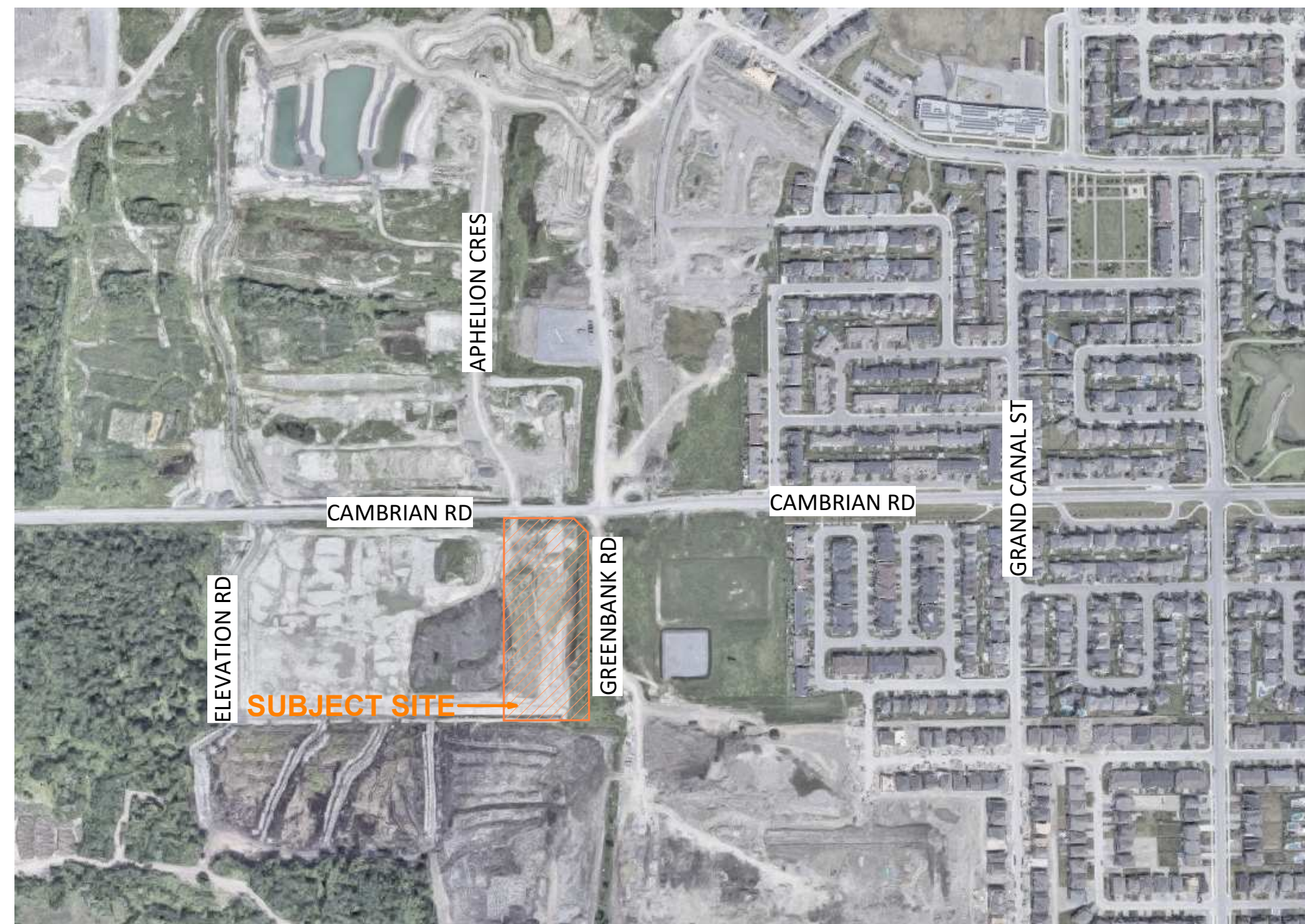
PROJECT DATE: 2023-10-25

DRAWN BY: FPI

CHECKED BY: RCH

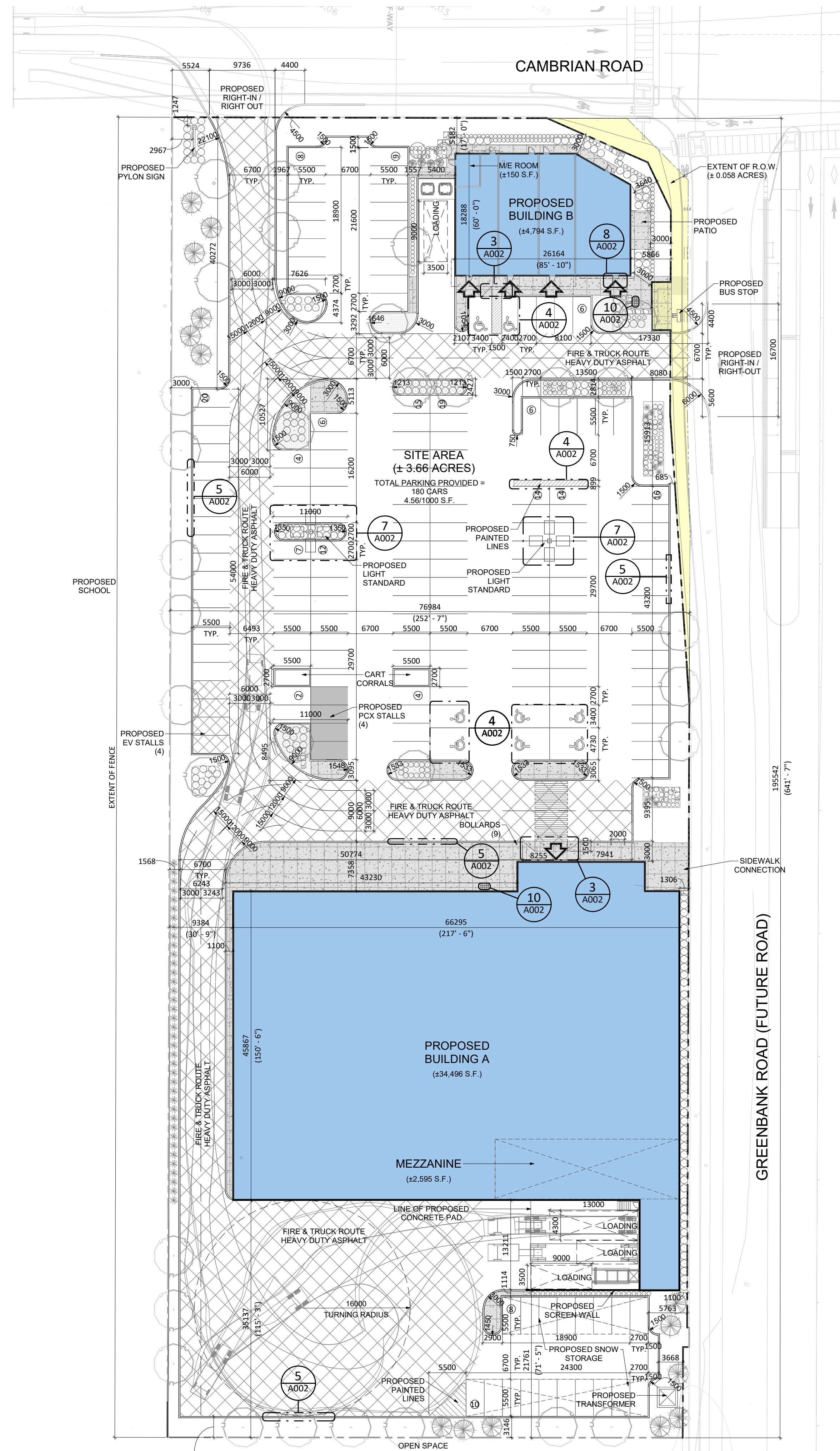
SCALE: 1:400

DRAWING NO: **A001**



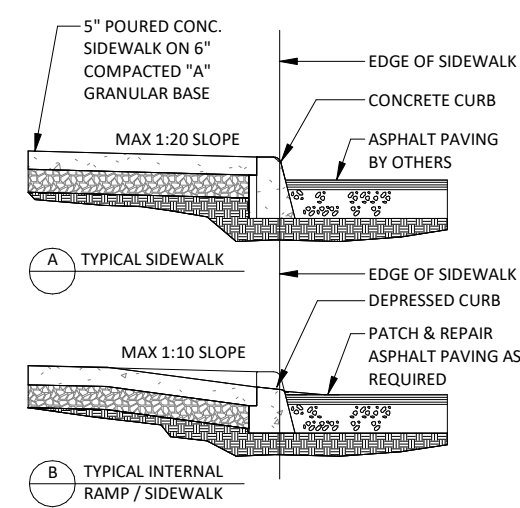
2 CONTEXT PLAN
A001 N.T.S.

ZONING COMPLIANCE CHART - ZONING: GM[1628]		
	REQUIRED	PROPOSED
Minimum Lot Width (m)	N/A	76.98 m
Minimum Lot Area (acres)	N/A	3.66 acres
Minimum Front Yard Setback (Cambrian Rd) (m)	3 m	3 m
Minimum Rear Yard Setback (m)	7.5 m (from any portion of a rear lot line abutting a residential zone)	21.76 m
Minimum Interior Side Yard Setback (m)	5 m (for a non-residential or mixed-use building, from any portion of lot line abutting a residential zone)	9.38 m West 1.10 m East
Maximum Height (m)	18 m	7.48 m / 1 storey
Maximum Floor Space Index	N/A	0.24
Minimum Parking Dimensions (m)	2.6m x 5.2m	2.7m x 5.5m
Minimum Parking required (3.6 per 100 s.m. of total GFA)	132 spaces	180 spaces
Minimum Bicycle Parking required (1 per 500 s.m. of GFA)	8 spaces	8 spaces
Loading spaces (for up to 4999 s.m. of GFA)	1 standard space (3.5x9x4.2 m) 1 oversized space (4.3x13x4.2 m)	3 standard spaces 1 oversized space
Minimum Drive Aisle Width (parking angle at 90 degrees) (m)	6.7 m	6.7 m



1 SITE PLAN
A001 1:400

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, elevation, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. The contractor must conform to all applicable codes and requirements of all relevant governing jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from the work.

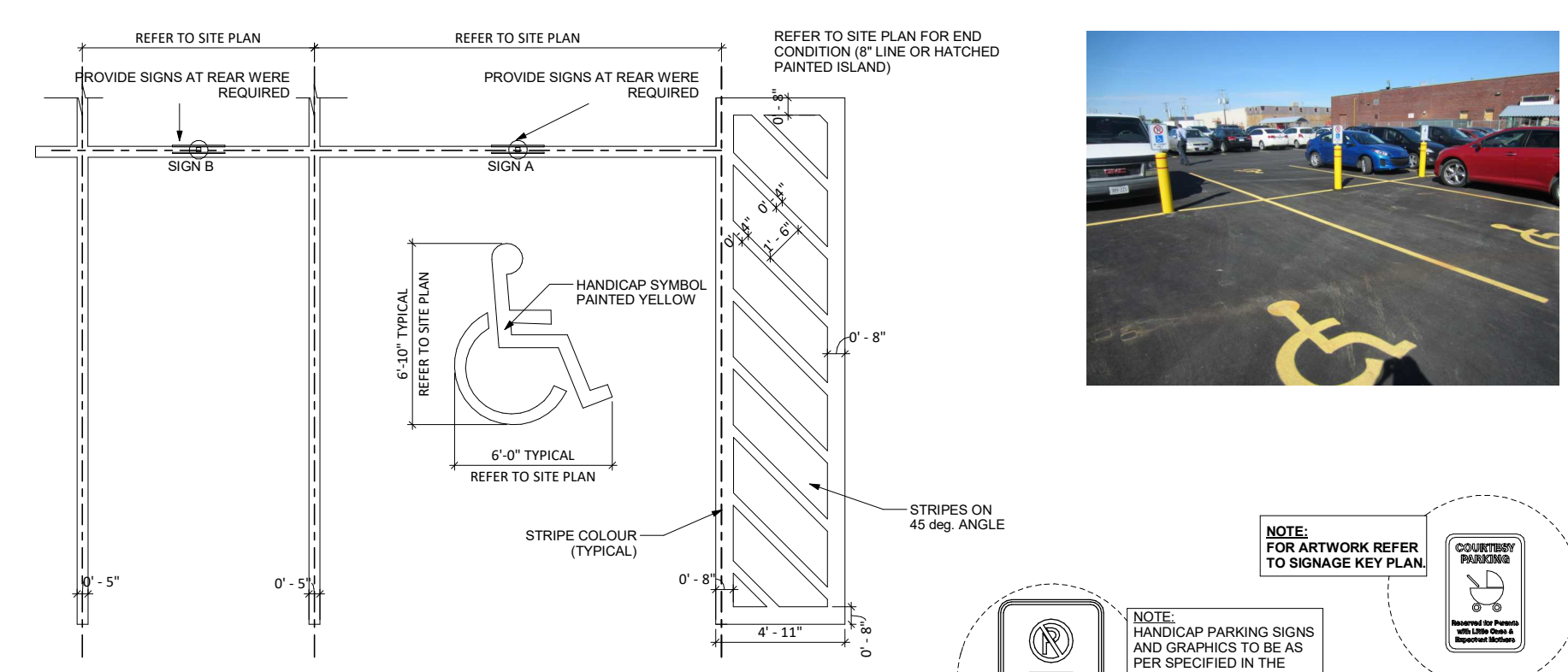
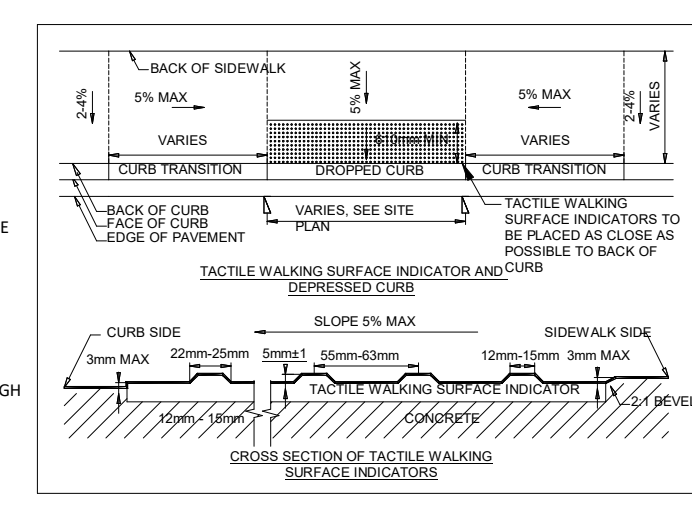
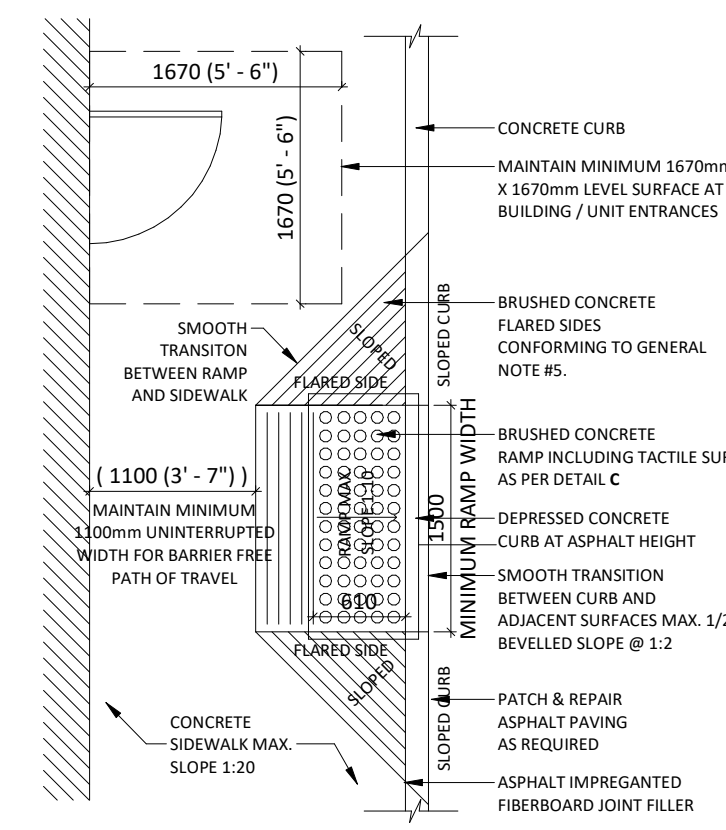


GENERAL NOTES:

- SIDEWALK SLOPES TO BE 1/8" / FT. (1%) MAX. IN ALL DIRECTIONS ALONG STOREFRONT, 1/4" / FT. (2%) MAX. IN OTHER AREAS.
- EXPANSION JOINTS ARE TO BE AS SPECIFIED & AS LOCATED ON ARCHITECTURAL DOCUMENTS.
- REINFORCING TO BE AS PER STRUCTURAL DOCUMENTS.
- CONCRETE TO BE BROOM FINISHED AS PER ARCHITECTURAL SPECIFICATIONS.
- CONSTRUCTION OF CURB RAMPS TO BE IN ACCORDANCE WITH THE REQUIREMENTS IN PROVINCE OF ONTARIO - DESIGN OF PUBLIC SPACES STANDARD - PART IV. OF ONTARIO REGULATION 193/21. IT MUST HAVE TACTILE WALKING SURFACE INDICATORS THAT:
 - HAVE BASED TACTILE PROFILES.
 - HAVE A HIGH TONAL CONTRAST WITH THE ADJACENT SURFACE.
 - ARE LOCATED AT THE BOTTOM OF THE CURB RAMP.
 - ARE SET BACK BETWEEN 150mm AND 200mm FROM THE CURB EDGE.
 - EXTEND THE FULL WIDTH OF THE CURB RAMP, AND
 - ARE A MINIMUM OF 63mm IN DEPTH

NOTES:

- WHERE SIDEWALK IS CONTINUOUSLY ADJACENT, REDUCE THE DROPPED CURB AT ENTRANCES TO 3".
- FOR SURFORMING PROCEDURE A 5% BATTER IS ACCEPTABLE.
- TREATMENT AT ENTRANCES SHALL CONFORM WITH OPSD 551.011
- OUTLET TREATMENT SHALL CONFORM WITH OPSD 610 SERIES
- THE LENGTH OF TRANSITION FROM ONE CURB TYPE TO ANOTHER SHALL BE 3.0M, EXCEPT IN CONJUNCTION WITH GUIDE RAIL, IT SHALL CONFORM TO OPSD 900 SERIES

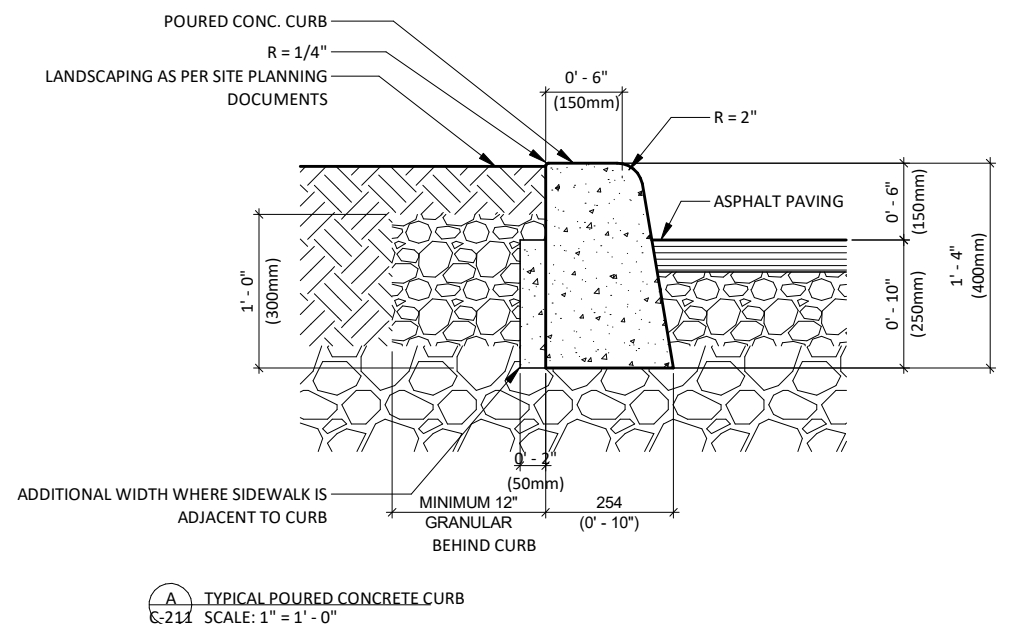
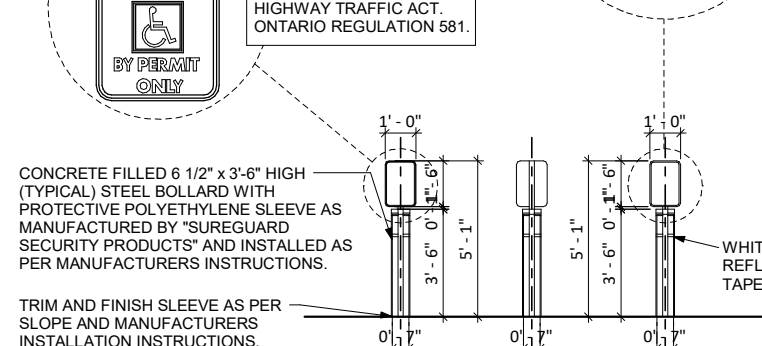


NOTES:

- PARKING BAY DIMENSIONS REFLECT LPL STANDARDS. REFER TO SITE PLAN DRAWINGS FOR SPECIFIC PROJECT SITE PLANNING DIMENSIONS.
- ALL PARKING LOT LINE STRIPING TO BE PAINTED WITH YELLOW AND CONFORM TO CANCSO'S 1"4 COLOUR SAMPLES TO BE APPROVED BY LPL.
- ALL PARKING DIMENSIONS SHOWN ARE MINIMUM. CONFIRM REQUIRED SIZES WITH LOCAL AUTHORITY HAVING JURISDICTION.

SUREGUARD SLEEVE COLOUR LEGEND

MODEL	COLOR	TAPE COLOR
INSPIRE	YELLOW	WHITE
SUPERSTRE	YELLOW	WHITE
NEOFIBRLS	YELLOW	WHITE
NEOBURR	YELLOW	WHITE



NOTES:

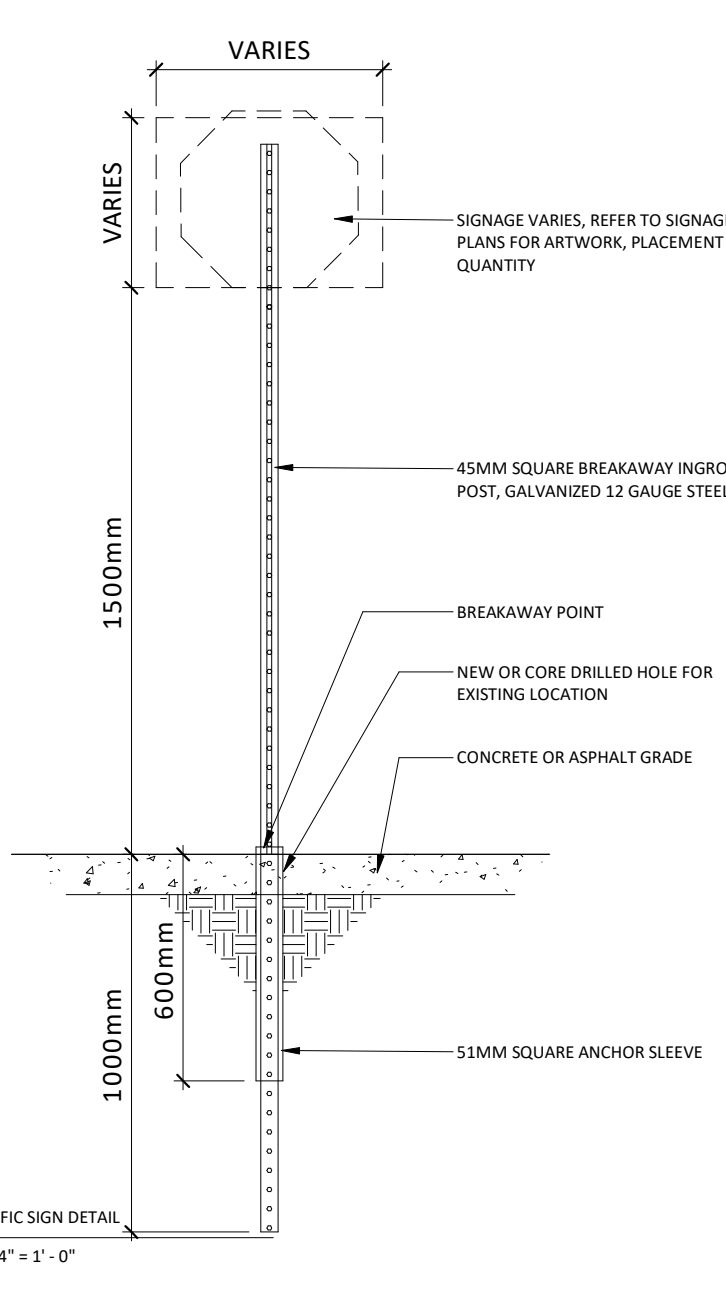
- THESE CURBS APPLY TO THE PARKING AREA FOR CURBS AND ISLANDS.
- TREATMENT AT ENTRANCES SHALL CONFORM WITH LOCAL JURISDICTION HAVING AUTHORITY.
- OUTLET TREATMENT SHALL CONFORM WITH LOCAL JURISDICTION HAVING AUTHORITY.
- THE LENGTH OF TRANSITION FROM ONE CURB TYPE TO ANOTHER SHALL BE 3.0M, EXCEPT IN CONJUNCTION WITH GUIDE RAIL, IT SHALL CONFORM WITH LOCAL JURISDICTION HAVING AUTHORITY.



5 C-211 TYPICAL POURED CONCRETE CURB
A002 1:15

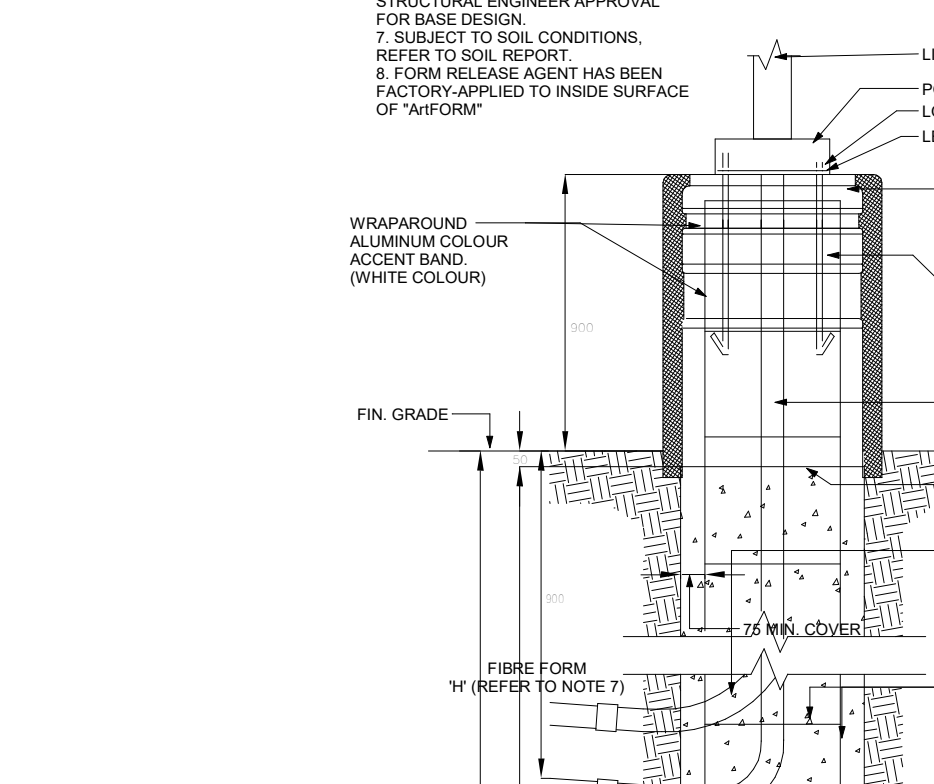
3 CURB RAMP WITH TACTILE PLATES
A002 1:50

4 C-209 PAINTED PARKING LINES, STRIPES AND SIGNAGE
A002 1:75



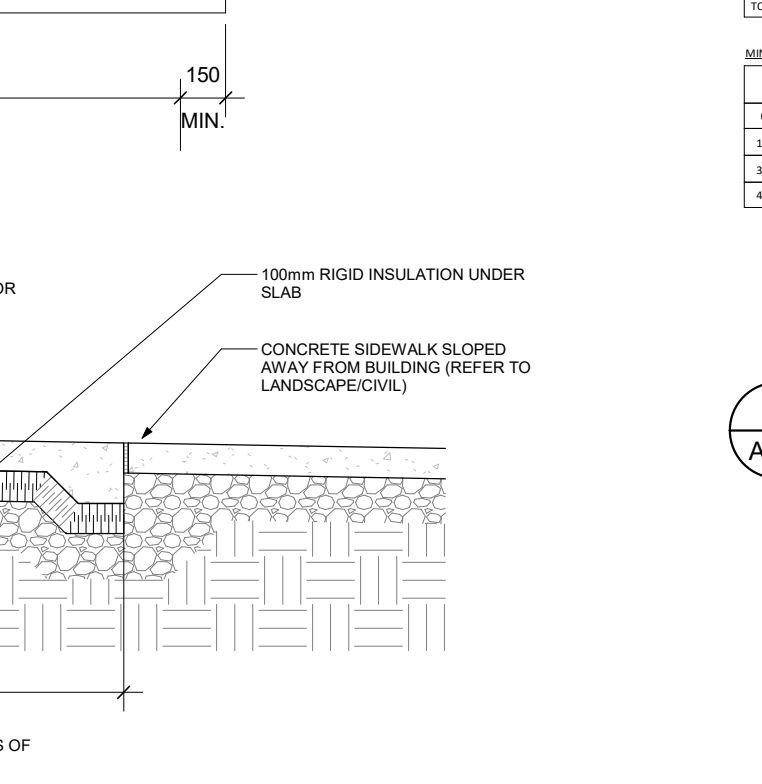
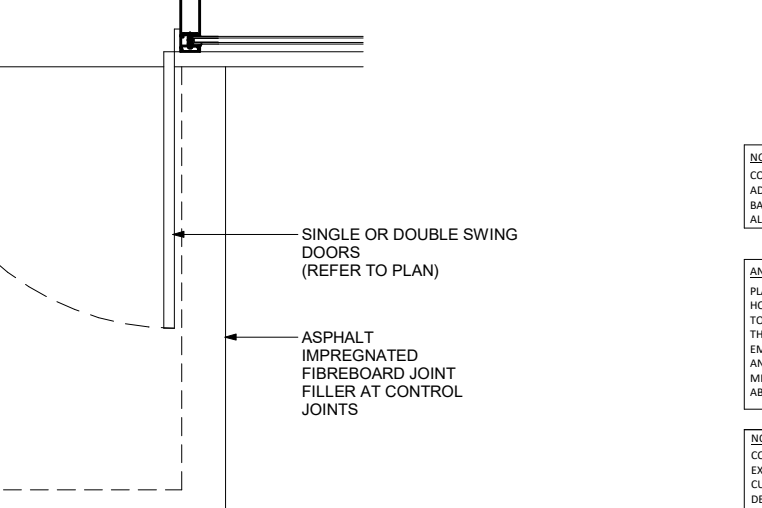
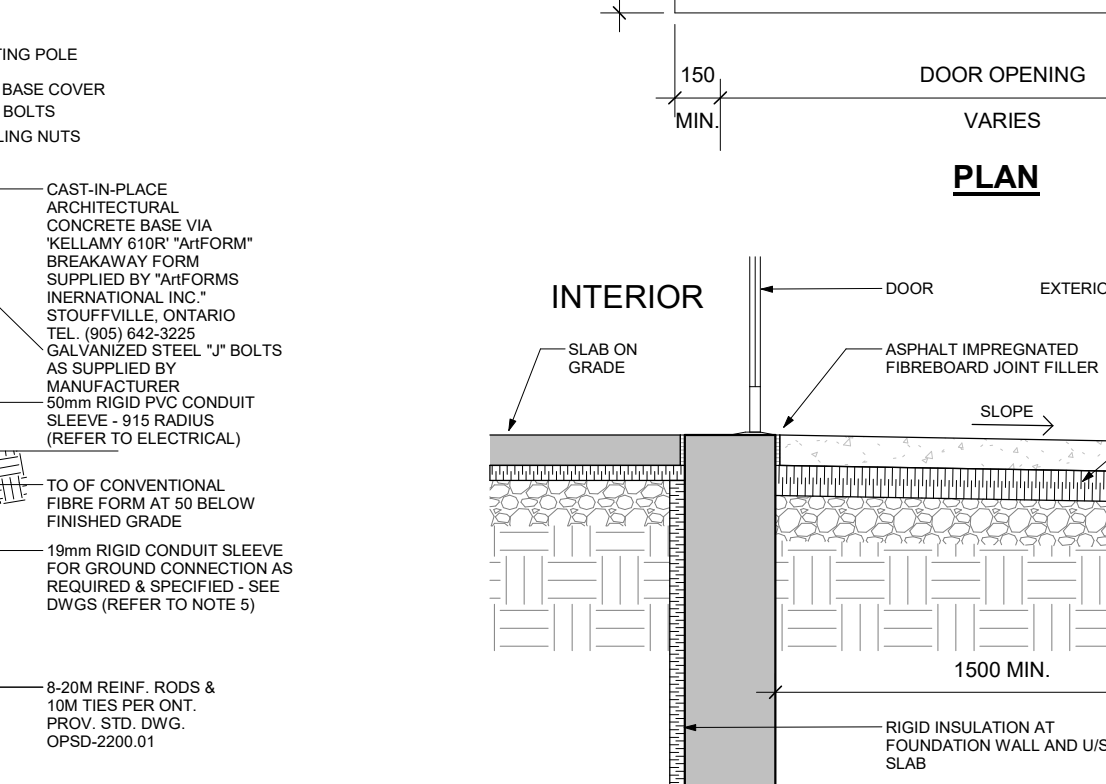
NOTES:

- ALL DIMENSIONS ARE IN MILLIMETERS OR METERS.
- TOP OF SIGNAGE SHALL BE TROWELED SMOOTH & LEVEL.
- CLASS OF CONCRETE SHALL BE 25MPa. CONCRETE SHALL BE VIBRATED.
- MINIMUM OF TWO EDGES REQUIRED FOR EACH CONC. FOUNDATION UNLESS OTHERWISE SHOWN.
- PROVIDE A 10 mm DIA. 3000mm STEEL COPPER COATED GROUND ROD ADJACENT TO POLES AS SPECIFIED ON PLAN AND CONNECT TO METAL POLE WITH BARE COPPER CONDUCTOR.
- CONTRACTOR TO VERIFY OPENING SIZE IN POLE BASE PLATE PRIOR TO SETTING CONDUIT SLEEVES.
- CONTRACTOR TO PROVIDE STRUCTURAL ENGINEER APPROVAL FOR BASE DESIGN.
- SUBJECT TO SOIL CONDITIONS, REFER TO SOIL REPORT.
- FORM RELEASE AGENT HAS BEEN FACTORY APPLIED TO INSIDE SURFACE OF "A" FORM.



CONCRETE BASES FOR LUMINAIRES TYPE "L1", "L2A" & "L2B" TO BE SUPPLIED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.

POLE LENGTH (M)	BASE BURIAL DEPTH (M)	REIN. ROD LENGTH (M)
3.0	1.50	1.35
5.6	2.15	2.00
7.0	2.15	2.00
7.5	2.15	2.00
8.7	2.45	2.30
9.0	2.45	2.30
10.5	2.60	2.45
12.0	2.75	2.60
13.6	2.90	2.75
15.1	3.05	2.90



6 C-210 TYPICAL TRAFFIC SIGN
A002 1:20

7 TYPICAL CONCRETE BASE FOR LUMINAIRE

8 FROST SLAB PLAN & SECTION DETAIL
A002 1:25

9 EARTH BIN DETAIL
A002 1:100

6 C-210 TYPICAL TRAFFIC SIGN
A002 1:20

7 LIGHT STANDARD N.T.S.

8 FROST SLAB PLAN & SECTION DETAIL
A002 1:25

9 EARTH BIN DETAIL
A002 1:100

6 C-210 TYPICAL TRAFFIC SIGN
A002 1:20

7 LIGHT STANDARD N.T.S.

8 FROST SLAB PLAN & SECTION DETAIL
A002 1:25

9 EARTH BIN DETAIL
A002 1:100

6 C-210 TYPICAL TRAFFIC SIGN
A002 1:20

7 LIGHT STANDARD N.T.S.

8 FROST SLAB PLAN & SECTION DETAIL
A002 1:25

9 EARTH BIN DETAIL
A002 1:100

6 C-210 TYPICAL TRAFFIC SIGN
A002 1:20

7 LIGHT STANDARD N.T.S.

8 FROST SLAB PLAN & SECTION DETAIL
A002 1:25

9 EARTH BIN DETAIL
A002 1:100

6 C-210 TYPICAL TRAFFIC SIGN
A002 1:20

7 LIGHT STANDARD N.T.S.

8 FROST SLAB PLAN & SECTION DETAIL
A002 1:25

9 EARTH BIN DETAIL
A002 1:100

6 C-210 TYPICAL TRAFFIC SIGN
A002 1:20

7 LIGHT STANDARD N.T.S.

8 FROST SLAB PLAN & SECTION DETAIL
A002 1:25

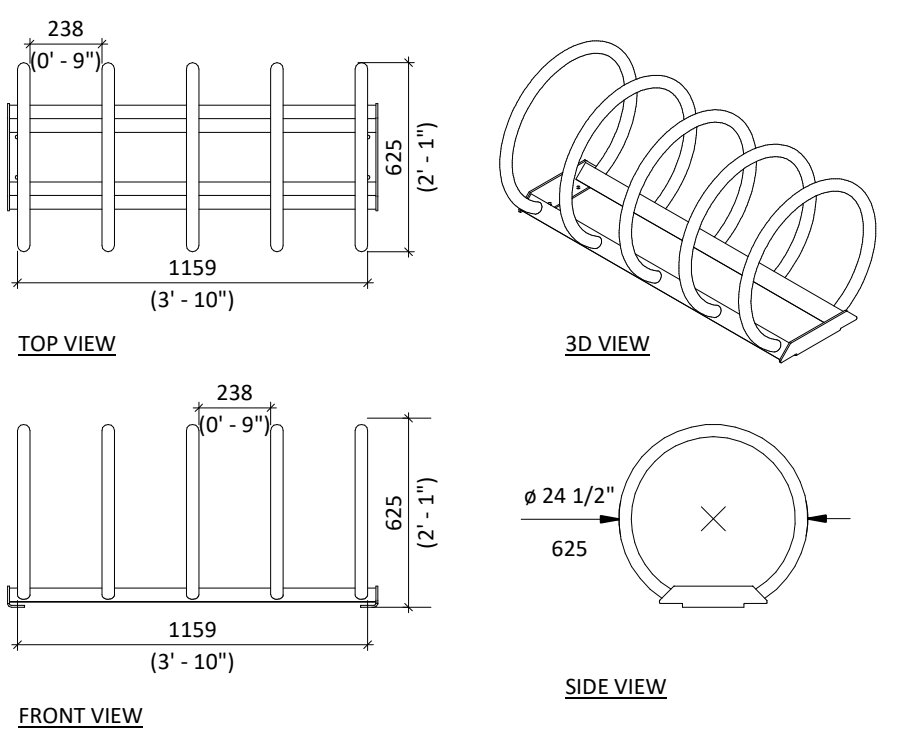
9 EARTH BIN DETAIL
A002 1:100

6 C-210 TYPICAL TRAFFIC SIGN
A002 1:20

7 LIGHT STANDARD N.T.S.

8 FROST SLAB PLAN & SECTION DETAIL
A002 1:25

9 EARTH BIN DETAIL
A002 1:100



DIMENSIONS:
Height: 23.81" (60.48cm)
Length: 56.84" (144.38 cm)
Diameter: 24.63" (62.56 cm)
Weight: 78.60lbs (35.65kg)

MAGLIN SITE FURNITURE INC. 350 SERIES
MBR350-S-S
MATERIALS: H.S. Steel Tube, Formed Steel and Solid Steel Angle
FINISH: All steel components are protected with E-Coat Rust Proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The 300 Series - 350 Bike Rack is delivered pre-assembled. It is available with a surface mount installation.

#	DATE	DESCRIPTION	BY
12	2023-10-25	ISSUED FOR SPA	FPI
10	2023-10-12	ISSUED FOR COORDINATION	FPI
8	2023-08-28	ISSUED FOR COORDINATION	FPI
5	2023-05-01	ISSUED FOR COORDINATION	FPI
4	2023-04-24	ISSUED FOR COORDINATION	FPI
3	2023-03-30	ISSUED FOR COORDINATION	FPI
2	2023-03-28	ISSUED FOR COORDINATION	FPI
1	2023-03-02	ISSUED FOR COORDINATION	FPI

Loblaw Companies Limited

PROJECT
CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

DRAWING
SITE DETAILS

PROJECT NO.	21.326SD
PROJECT DATE	2023-10-25
DRAWN BY	FPI
CHECKED BY	RAD
SCALE	As indicated
DRAWING NO.	A002