

DEVELOPMENT STATISTICS			
	SQ. FT.	ACRES	%
GROSS SITE AREA	8,127.0	0.234	100.0%
SCF LANDSCAPE	916.7	0.252	11.3%
LANDSCAPE DECORATIVE PAVING	609.8	0.170	7.3%
TOTAL LANDSCAPE AREA	1,526.5	0.422	18.6%
ASPHALT	4,370.1	1.202	53.8%
MISC (CURBING & WALKWAYS)	539.0	0.148	6.6%
LOT COVERAGE (GROUND FLOOR)	1,891.5	0.530	23.2%
BASEMENT	6,000.4	1.678	74.8%
LOT COVERAGE	1,691.5	0.475	20.8%
1 ST FLOOR	1,241.5	0.345	15.3%
2 ND FLOOR	1,084.2	0.300	12.3%
3 RD FLOOR	1,084.2	0.300	13.3%
4 TH FLOOR	1,084.2	0.300	13.3%
5 TH FLOOR	1,084.2	0.300	13.3%
6 TH FLOOR	1,084.5	0.300	13.3%
HOTEL GROSS FLOOR AREA (GFA)	7,271.1	2.025	88.5%

PARKING REQUIRED					
BLDG	PARKING BREAKDOWN	RMS/AREA	PER (SM)	RATIO	TOTAL
HOTEL	ROOMS	115.0	1.0	1.00	115.0
RESTAURANT	AREA	750.8	8.0 per 100 m ²	0.10	75.1
TOTAL PARKING REQUIRED					190

PARKING PROVIDED					
	SMALL	REGULAR	ACC	TOTAL	
PARKING AREA 1	31	83	7	121	
PARKING AREA 2	8	8	0	16	
TOTAL PARKING PROVIDED					137
TOTAL PARKING PROVIDED SHORTFALL					-53
% 50% OF THE PARKING SPACES MAY BE SMALL CAR					

LOADING (By-Law No. 2008-250 Part 4 Section 113)			
REQUIRED (1000-1999 sm)	PROVIDED	COMPLY	
1691.5	1	Yes	

ACCESSIBLE PARKING (By-Law No. 2017-301 Part C Section 111)			
REQUIRED (100-199 prov.)	PROVIDED	COMPLY	
160.0	8	YES	

BICYCLE PARKING (By-Law No. 2008-250 Part 4 Section 113)			
REQUIRED	PROVIDED	COMPLY	
7	7	YES	

ZONING INFORMATION - By-Law No. 2008-250 Part 11 Section 203			
IL6(414) H(3)-h - Light Industrial Zone Section 203	REQD (SMM)	PROV (SMM)	COMPLY
(a) Min. Lot Area	2000	8126.99	YES
(b) Min. Lot Width	No Minimum	69.67	YES
(c) Max. Lot Coverage	65%	20.8%	YES
(d) Min. Front Yard Setback - Frank Neighbor Pl.	12	3.00	NO
(e) Min. Interior Side Yard Setback - North	7.5	39.69	YES
(f) Min. Interior Side Yard Setback - South	7.5	16.94	YES
(g) Min. Rear Yard Setback	7.5	14.95	YES
(h) Max. Floor Space Index	2	0.89	YES
(i) Max. Building Height (Flat roof)	30	19.81	YES
(j) Min. Landscaped Width abutting street	3	3	YES

PARKING STANDARDS		COMPLY
PARKING STALLS - TYPE 1 - REGULAR	2.4 x 5.2	YES
PARKING STALLS - TYPE 2 - SMALL CAR	2.4 x 4.6	YES
ACC. PARKING SHARED	3.66 x 5.2 + AISLE	NO
AOOA - TYPE A	3.4 x 5.2 + AISLE	NO
AOOA - TYPE B	2.4 x 5.2 + AISLE	NO

DRAWING LEGEND

- LOCATION OF BLDG
- PRINCIPAL ENTRANCES FOR PUBLIC, FIRE FIGHTERS AND BF USE
- FREE STANDING SIGNS
- PAINTED ISLAND - NO PARKING
- TWSI AS PER AODA REQUIREMENTS
- SNOW STORAGE AREAS
- AREA OF PROPOSED NEW BLDG
- HARDSCAPE AREAS PAVERS / STAMPED CONCRETE - REFER TO LANDSCAPE DRAWINGS
- PATH OF FIRE ROUTE
- SOFT LANDSCAPE AREAS REFER TO LANDSCAPE DRAWING

GENERAL NOTES:

- ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND BOLLARD AREAS RESTORED BY THE CONSTRUCTION MUST BE REINSTATED TO THE SATISFACTION OF THE CITY.
- A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED BY THE CONTRACTOR TO A SETBACK OF 1.0m. THE COST OF THE RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
- THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND AND DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
- ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
- THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND HANDICAP SIGNS AS SET OUT IN THE TOWN BY-LAWS AND DESIGN CRITERIA.
- ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AS THE PROPERTY LINE.
- ALL DOWNPOUNTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
- ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
- SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
- WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.
- EXCESS SNOW WILL BE REMOVED BY PRIVATE HALLER SUBJECT TO DEMAND FOR PARKING.
- RECORDING SIGN POST MOUNTED ON CURB. MANUFACTURE: IMPACT RECOVERY (http://www.impactrecovery.com) STYLE: 30a-100 Sign Post. SIGN MOUNTING HEIGHT & SIGN AS PER TOWN ACCESSIBILITY STANDARDS.

ABBREVIATIONS

C.D. - CURB DEPRESSION
 F.H. - FIRE HYDRANT
 G.F.A. - GROUND FLOOR AREA
 H.D. - HEAVY DUTY PAVING
 L.D. - LIGHT DUTY PAVING
 LB - LIGHT BOLLARD
 LS - LIGHT STANDARD
 BF - BARRIER FREE
 BFPE - BASEMENT FFE
 FFE - FINISHED FLOOR ELEVATION
 T.B.D. - TO BE DETERMINED
 T.B.R. - TO BE REMOVED
 SM - SQUARE METERS
 SF - SQUARE FEET
 PROV. - PROVIDED
 REQD. - REQUIRED
 BS - BUS SHELTER
 EX - EXISTING
 F.R.S. - FIRE ROUTE SIGN
 B - BOLLARD
 FYSB - FRONT YARD SETBACK
 ISYSB - INTERIOR SIDE YARD SETBACK
 RYSB - REAR YARD BUILDING SETBACK

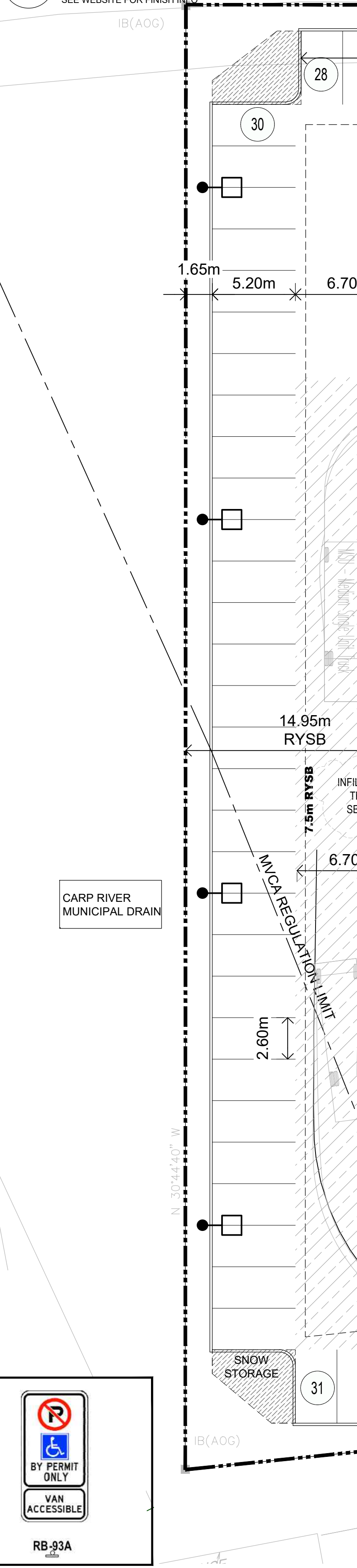
SIGN INDEX

- FIRE ROUTE SIGN - CITY STANDARD
- NO PARKING ANY TIME - RA-51 30 cm x 30 cm LEFT ARROW
- NO PARKING ANY TIME - RA-51 30 cm x 30 cm RIGHT ARROW
- ACCESSIBLE PARKING
- STOP SIGN - RA-100 60 cm x 60 cm
- STOP SIGN - RA-100 60 cm x 60 cm WITH ALL-WAY TAB RA-11 150 cm x 30 cm

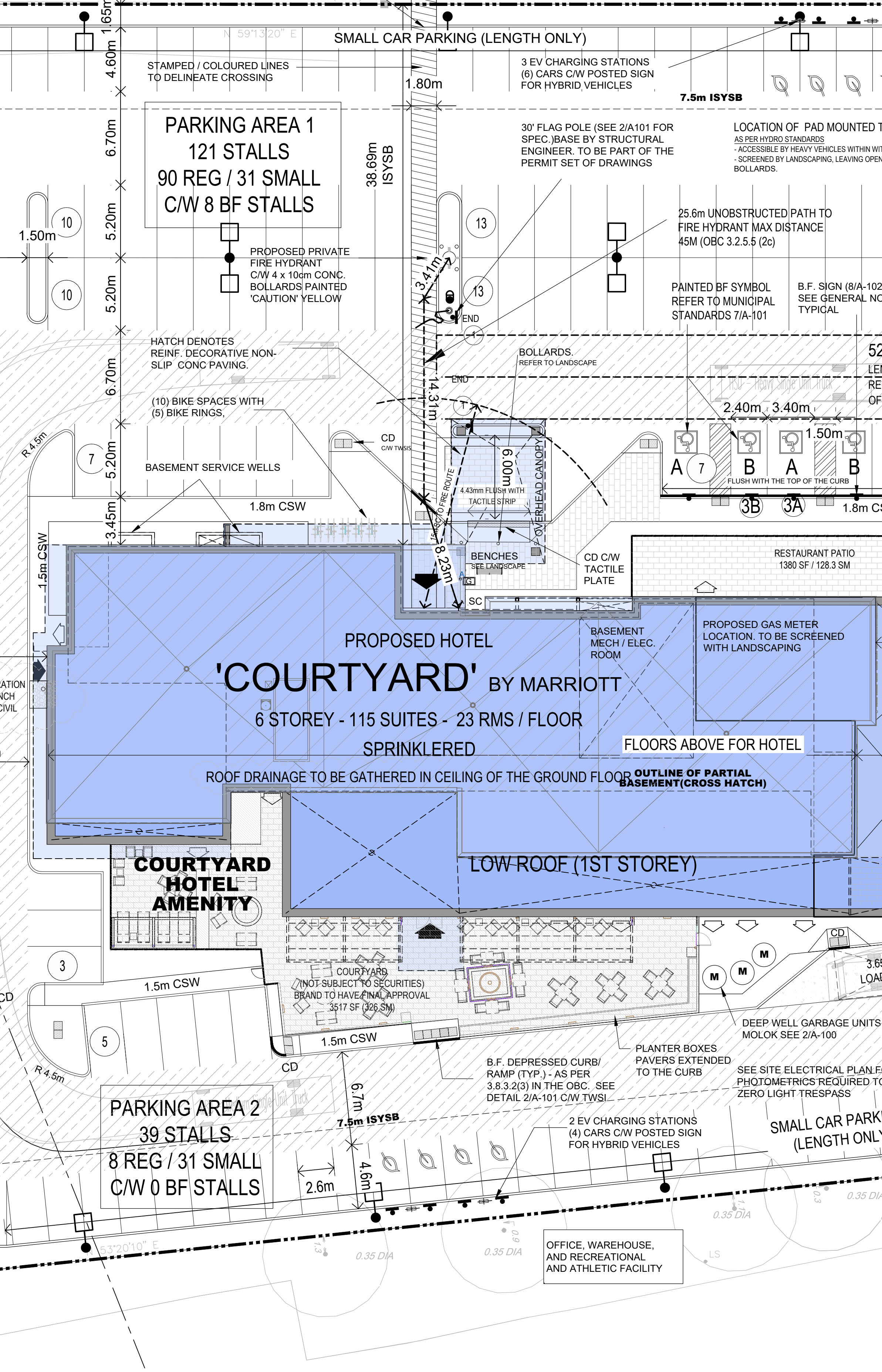
SIGNAGE DETAILS

RA-1 STOP SIGN
 RB-51 NO PARKING ANY TIME
 RB-93 ACCESSIBLE PARKING
 RB-93A VAN ACCESSIBLE

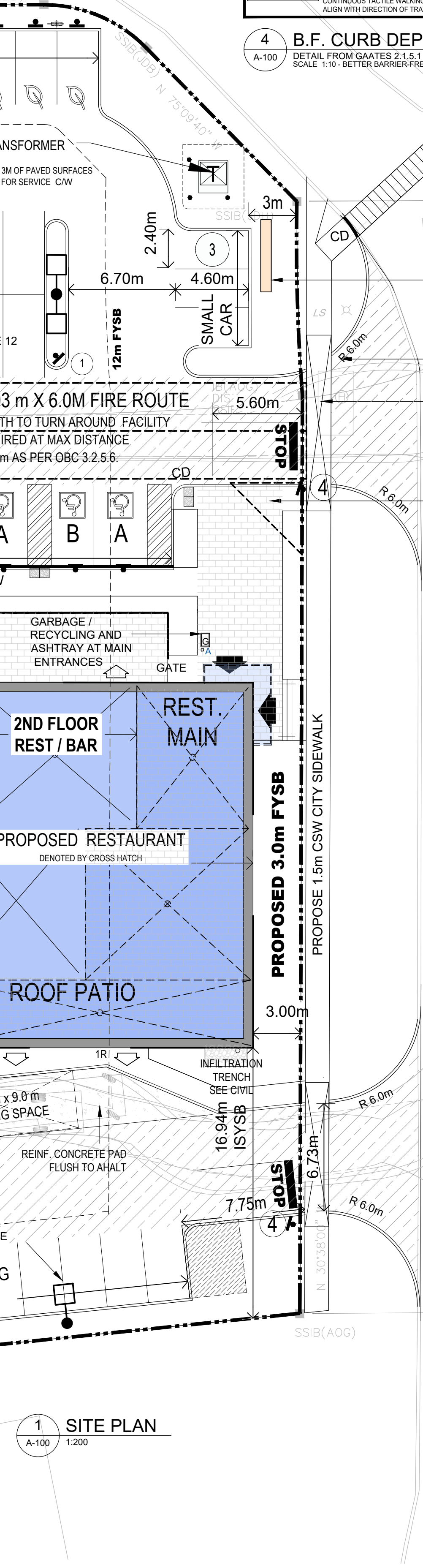
2 MOLOK - HOTEL GARBAGE



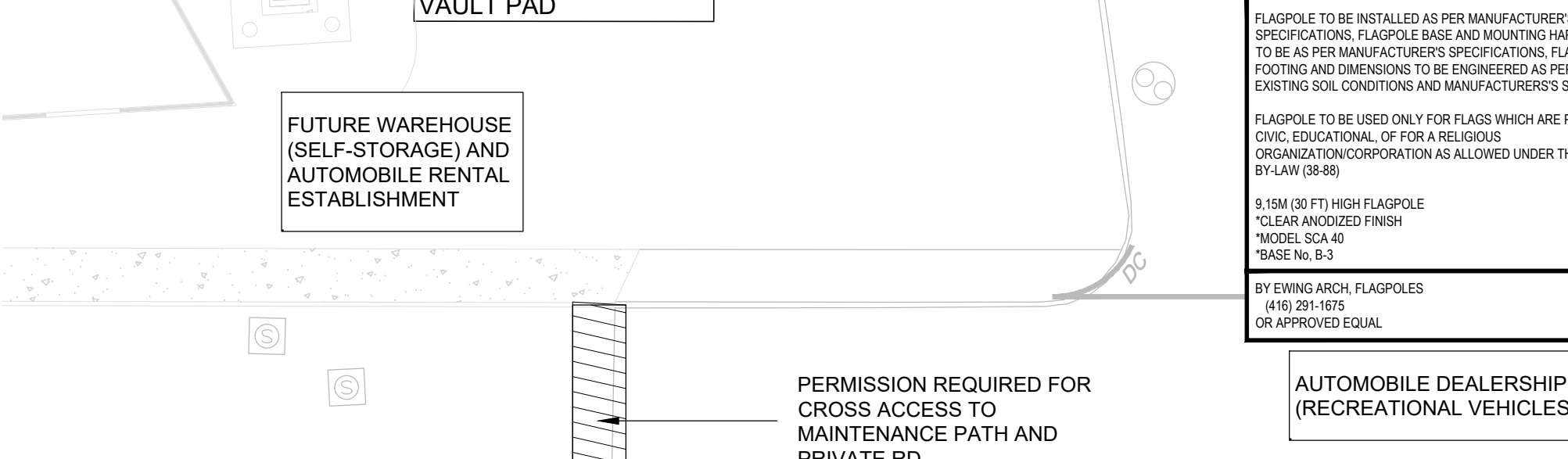
3 PARKING AREA 1



4 B.F. CURB DEPRESSION DET.



5 PAINTED MARKING



FLAGPOLE TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. FLAGPOLE BASE AND MOUNTING HARDWARE TO BE AS PER MANUFACTURERS SPECIFICATIONS. FLAGPOLE FOOTING AND DIMENSIONS TO BE ENGINEERED AS PER EXISTING SOIL CONDITIONS AND MANUFACTURERS SPECS.

FLAGPOLE TO BE USED ONLY FOR FLAGS WHICH ARE PATRIOTIC, CIVIC, EDUCATIONAL, OF FOR A RELIGIOUS ORGANIZATION OR CORPORATION AS ALLOWED UNDER THE SIGN BY-LAW (38-88)

9.15M (30 FT) HIGH FLAGPOLE
 CLEAR ANODIZED FINISH
 MODEL: SCA 42
 (BASE NO. B-3)

BY EWING ARCH. FLAGPOLES
 11416 291-1875
 OR APPROXIMATE EQUAL

PERMISSION REQUIRED FOR CROSS ACCESS TO MAINTENANCE PATH AND PRIVATE RD

AUTOMOBILE DEALERSHIP (RECREATIONAL VEHICLES)

BASE INFORMATION PROVIDED BY J.D. BARNES LIMITED. FILE DATED JANUARY 23, 2023 REFERENCE 22-10-132-00

SAPLYS ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION.

SURVEYORS INFO FILE: 22-10-132-00

J.D. BARNES LIMITED
 LAND INFORMATION SPECIALISTS

EXPANSION JOINTS IN SIDEWALK ARE TO BE PROVIDED AT A MAXIMUM OF 5M APART OR AS REQUIRED.
 TRANSVERSE CONTRACTION JOINTS TO BE PROVIDED AT A MAXIMUM OF 1.5M APART OR AS REQUIRED.
 ALL CONCRETE WALKS ARE TO BE SEALED WITH SEALTIGHT 1220 WHITE PIGMENTED CURING COMPOUND BY WIR. MEADOWS OR APPROVED EQUAL APPLICATION AS PER MANUFACTURE SPECIFICATIONS.
 PROVIDE NON-SLIP SURFACE FINISHES AT ALL BARRIER-FREE PATHS OF TRAVEL ON SITE (TYP.)
 PROVIDE NON-SLIP SURFACE FINISHES AT ALL BARRIER-FREE PATHS OF TRAVEL ON SLOPED AND FLARED SIDES OF RAMP.
 TACTILE WALKING SURFACE INDICATORS TO HAVE RAISED PROFILE AND HIGH TONAL CONTRAST TO THE ADJACENT GROUND SURFACE E.I. YELLOW - PROVIDE MIN 70% LRV

RECESS MOUNTED - Antic-Tite or Approved Equal by Kneek Engineered Products 1.850.364.7763

CURBS & SIDEWALK BEYOND
 SEE CIVIL SPECIFICATION

FINISH GRADE

PLAN DETAIL

CROSS SLOPE NO GREATER THE 1:50
 COMPACTED GRANULAR 9" BASE
 (MIN. OF 300mm COMPACTED DEPTH UN.O.)
 COMPACTED GRANULAR 4" BASE
 (MIN. OF 200mm COMPACTED DEPTH UN.O.)

FOR CURB HEIGHTS
 75-200mm SLOPE NO GREATER THAN 1:10

1500 MM @ PASSENGER LOADING ZONE
 50% RESISTANT CONTRASTING DARK GRAY
 DETECTABLE WARNING TEXTURED SURFACE
 CONTINUOUS TACTILE WALKING SURFACE
 ALIGN WITH DIRECTION OF TRAVEL. REFER TO SITE PLAN

1600 (MIN.)
 SEE SITE PLAN

ROADWAY
 ONC REFERENCES 3.8.3.2.2 (B) & 3.8.3.2.2 (B)(G)
 GATES (GLOBAL ALLIANCE ON ACCESSIBLE TECHNOLOGIES & ENVIRONMENT)



1 SITE PLAN
 A-100
 1:200

40 FRANK NIGHBOR PLACE
 Kanata, Ontario, Canada
 Closest Major Intersection: Silver Seven & Palladium Dr

Site Plan

BY DB LS ISSUED FOR
 SEE ABOVE TABLE

PROJECT NO. S22-029 SHEET NO.
 SCALE 1:200 **A-100**

DATE: APPLICATION NO. PC2022-0256

FRANK NIGHBOR PLACE

1 DB 1ST SUBMISSION - SPA
 DATE 22-03-23
 ISSUE BY DESCRIPTION DATE DD-MM-YY
 00-00-00

GENERAL NOTES:
 DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS MARKED "REQUIRED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:
 Mailing Address:
 1444 CORKWALL RD
 OAKVILLE, ONTARIO L6J 7W5

ARCHITECT:
 40 ST. CLAIR AVE. SUITE 804
 TORONTO, ONTARIO M4V 1A1

OWNER:
 401 REAL ESTATE TRUST INC
 2225 Eggle Street N.
 Cambridge, ON, N3H 4R7

Professional Certification:
SAI
 SAPLYS ARCHITECTS

PROJECT:
COURTYARD
 BY MARRIOTT

40 FRANK NIGHBOR PLACE
 Kanata, Ontario, Canada
 Closest Major Intersection: Silver Seven & Palladium Dr

DRAWING TITLE
 Site Plan



SAI
 SAPLYS ARCHITECTS