

DEVELOPMENT STATISTICS				
	SM	SF	ACRES	%
GROSS SITE AREA	8,107.7	87,421	2,003	100.0%
SOFT LANDSCAPE	968.1	10,431	0.239	11.9%
LANDSCAPE DECORATIVE PAVING	754.3	8,119	0.186	9.3%
TOTAL LANDSCAPE AREA	1,722.4	18,550	0.425	5.2%
ASPHALT	4,414.3	47,516	1.091	54.3%
MISC (CURBS & WALKWAYS)	297.8	3,205	0.074	3.7%
CONCRETE (GROUND FLOOR)	1,698.5	18,207	0.418	20.8%
GFA w/ BASEMENT	6,034.4	66,503.1	2.0	98.9%
BASEMENT	766.3	8,248	0.189	9.4%
LOT COVERAGE	1,698.5	18,207	0.418	23.8%
1ST FLOOR	1,241.5	13,363	0.307	15.3%
2ND FLOOR	1,084.2	11,670	0.268	13.3%
3RD FLOOR	1,084.2	11,670	0.268	13.3%
4TH FLOOR	1,084.2	11,670	0.268	13.3%
5TH FLOOR	1,084.5	11,673	0.268	13.3%
TOTAL GROSS FLOOR AREA (GFA)	7,770.1	77,923	2.179	89.9%

PARKING REQUIRED					
BY-LAW NO. 2008-250 PART 4 SECTION 101	PARKING REQUIRED	RMS/AREA	PER (SM)	RATIO	TOTAL
HOTEL	115.0	1.0	1.00	115.0	115.0
RESTAURANT	750.8	0.0	100.00	75.08	75.1
TOTAL PARKING REQUIRED					160

PARKING PROVIDED				
	SMALL	REGULAR	ACC	TOTAL
PARKING AREA 1	31	82	7	120
PARKING AREA 2	62	93	7	162
PARKING PROVIDED TOTAL				162

LOADING (By-Law No. 2008-250 Part 4 Section 113)				
REQUIRED (1900-1999 sm)	SM	REG	ACC	COMPLY
1691.5	1	1	1	YES

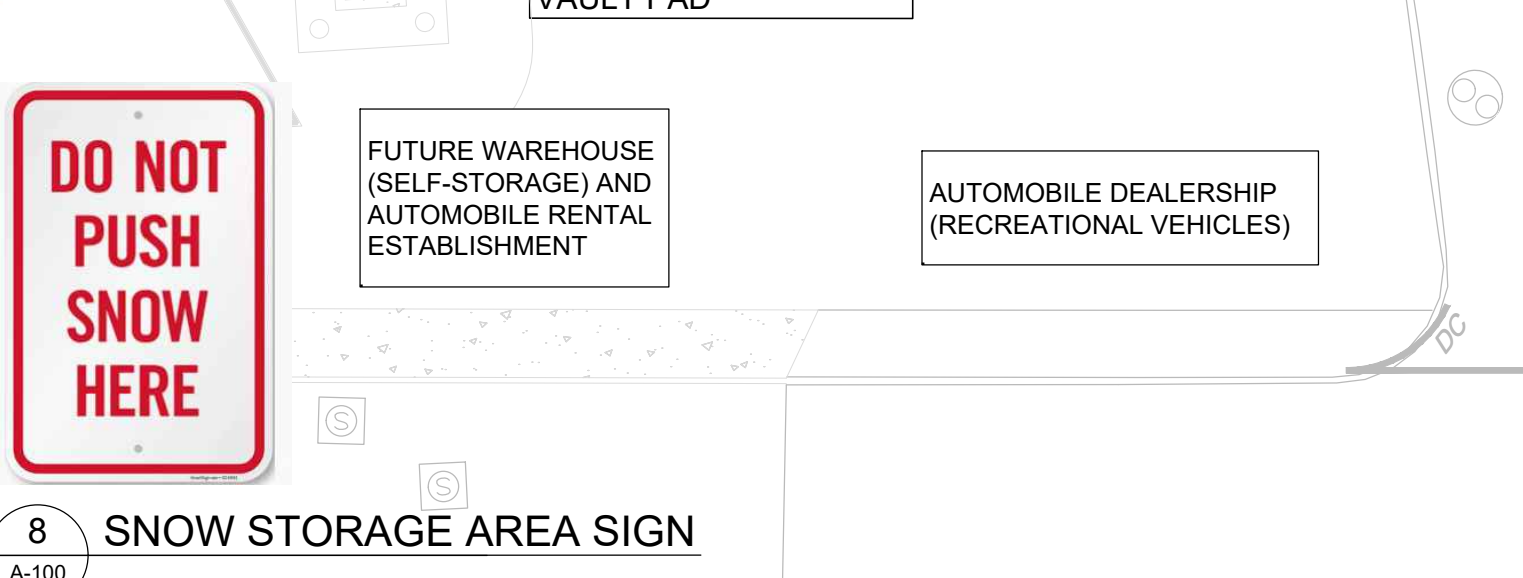
ACCESSIBLE PARKING (By-Law No. 2017-201 Part C Section 111)				
REQUIRED (100-199 prov)	SM	REG	ACC	COMPLY
162.0	6	6	6	YES

BICYCLE PARKING (By-Law No. 2008-250 Part 4 Section 113)				
REQUIRED	PROVIDED	COMPLY		
10	10	YES		

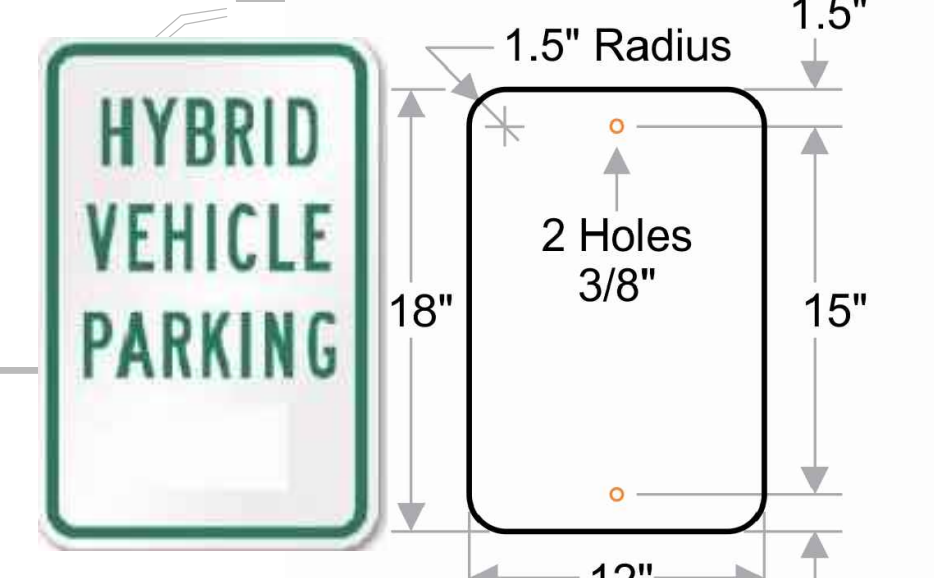
ZONING INFORMATION - By-Law No. 2008-250 Part 11 Section 203				
REG'D (SMM)	PROV'D (SMM)	MINIMUM	COMPLY	
IL6(141-4) M30(h) - Light Industrial Zone Section 203	REG'D (SMM)	MINIMUM	COMPLY	
(a) Min. Lot Area	2000	\$126.49	YES	
(b) Min. Lot Width	No Minimum	69.67	YES	
(c) Max. Lot Coverage	85%	29.8%	YES	
(d) Min. Front Yard Setback - Front Neighbor Pl.	3	3.69	YES	
(e) Min. Interior Side Yard Setback - North	7.5	38.69	YES	
(f) Min. Interior Side Yard Setback - South	7.5	16.94	YES	
(g) Min. Rear Yard Setback	7.5	14.94	YES	
(h) Max. Floor Space Index	2	0.89	YES	
(i) Max. Building Height (flat roof)	30	20.26	YES	
(j) Min. Landscaped Width abutting street	3	3	YES	



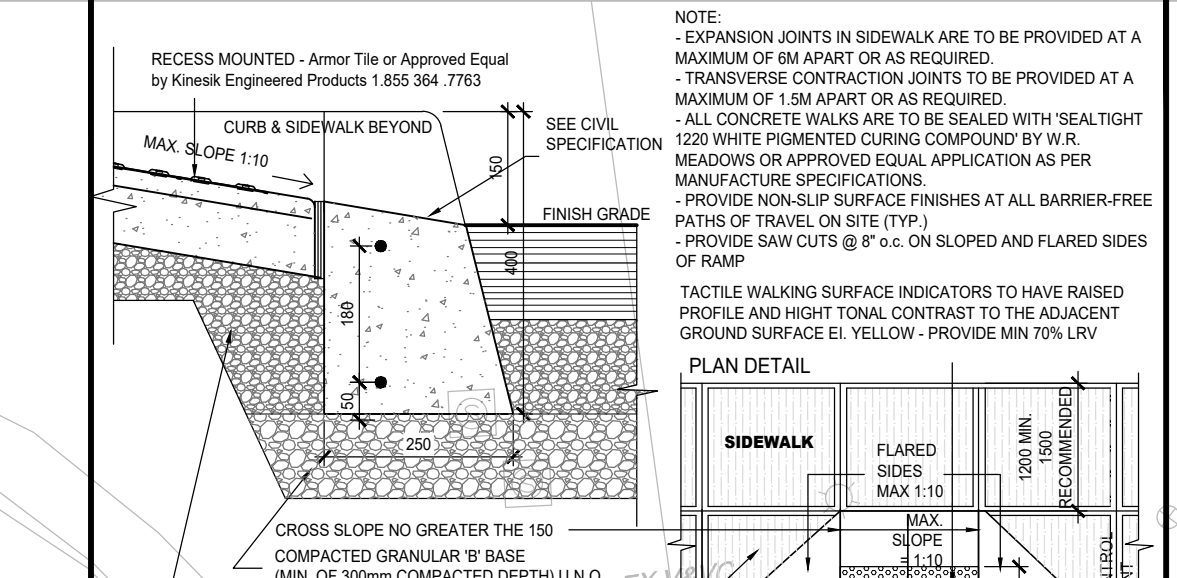
2 MOLOK - HOTEL GARBAGE ISSUED FOR INFORMATION PURPOSES SEE WEBSITE FOR FINISH INFO



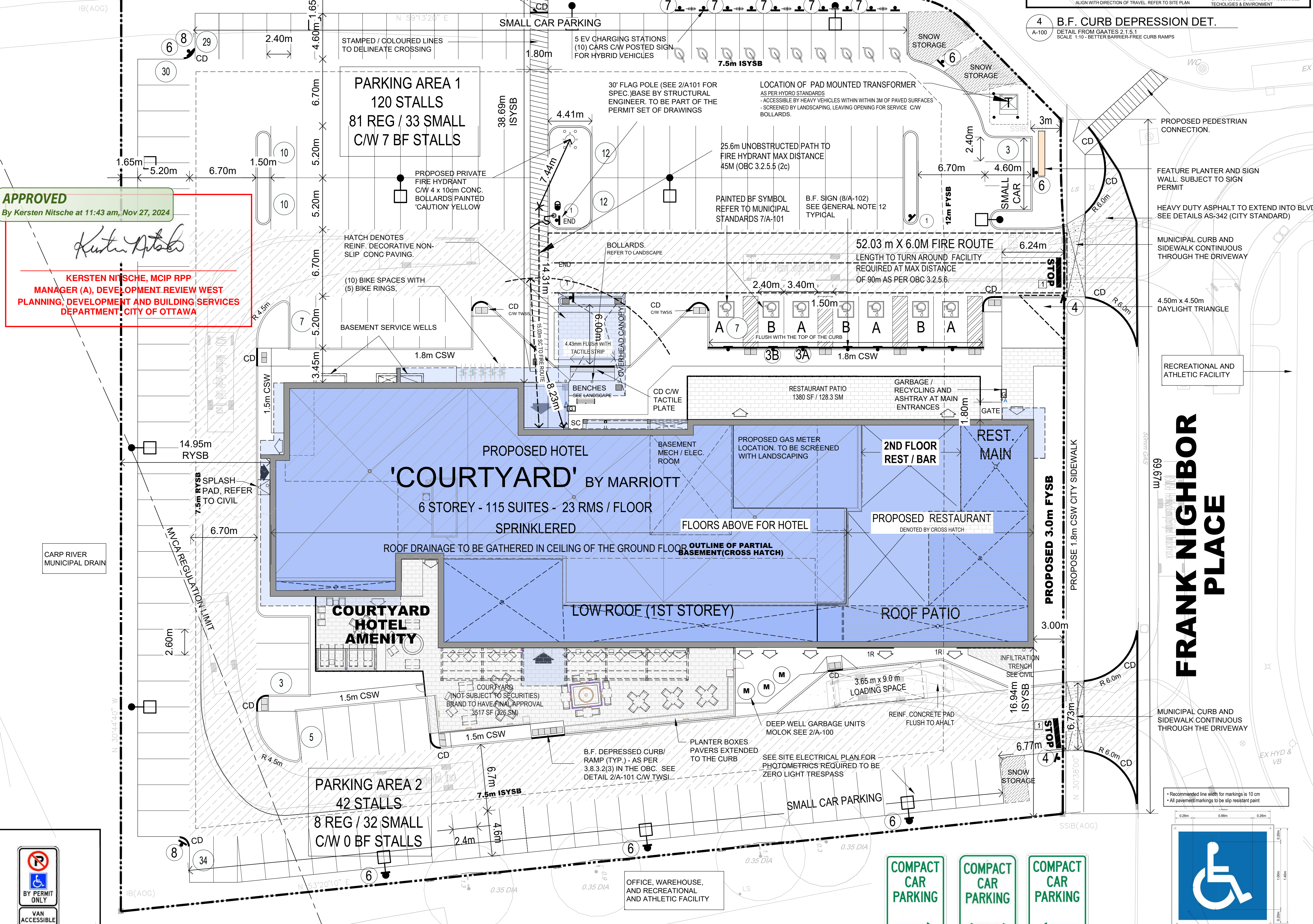
8 SNOW STORAGE AREA SIGN



6 HYBRID PARKING SIGN



4 B.F. CURB DEPRESSION DET.



APPROVED
By Kersten Nitsche at 11:43 am, Nov 27, 2024

Kersten Nitsche

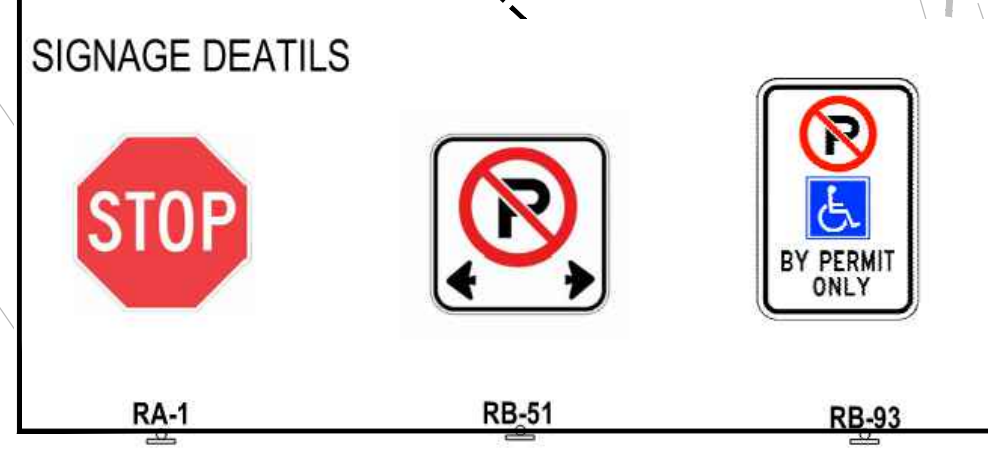
KERSTEN NITSCHKE, MCIP RPP
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

DRAWING LEGEND	
LOCATION OF BLDG PRINCIPAL ENTRANCES FOR PUBLIC, FIRE FIGHTERS AND BU USE	SERVICE EXITS/ ENTRANCE POINTS
FREE STANDING SIGNS	OVER-HEAD DOOR
PAINTED ISLAND - NO PARKING	(S.C.) SIAMSESE CONNECTION
TWIS AS PER AODA REQUIREMENTS	HD CONCRETE SIDEWALK
PROPOSED CONCRETE SIDEWALK	PROPOSED LOCATION OF PAD MOUNTED TRANSFORMER (CONFORM WITH LOCAL UTILITIES SEE SITE ELECTRICAL PLAN)
SNOW STORAGE AREAS	AREA OF PROPOSED NEW BLDG
HARDSCAPE AREAS PAVERS / STAMPEP CONCRETE REFER TO LANDSCAPE DRAWINGS	PATH OF FIRE ROUTE
SOFT LANDSCAPE AREAS REFER TO LANDSCAPE DRAWING	SIGNAGE
PAVEMENT MARKING	

GENERAL NOTES	
1. ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE RESTORED TO THE SATISFACTION OF THE TOWN.	2. A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0m. THE COST OF THE RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
3. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE OR DISTURBANCE DURING CONSTRUCTION.	4. ALL BARRIERS FREE ENTRANCES AND BARRIERS FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
5. THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND HANDICAP SIGNS AS SET OUT IN THE TOWN BY-LAWS AND DESIGN CRITERIA.	6. ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AS THE PROPERTY LINE.
7. ALL DOWNPOINETS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.	8. ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
9. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.	10. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.
11. EXCESS SNOW WILL BE REMOVED BY PRIVATE HAULER SUBJECT TO DEMAND FOR PARKING.	12. REBOUNDING SIGN POST MOUNTED ON CURB MANUFACTURE IMPACT RECOVERY INFO: www.impactrecovery.com/STYL: Sta-Rite Sign Posts. SIGN MOUNTING HEIGHT & SIGN AS PER TOWN ACCESSIBILITY STANDARDS.

ABBREVIATIONS	
C.D.	- CURB DEPRESSION
CSW	- CONCRETE SIDEWALK
FH	- FIRE HYDRANT
G.F.A.	- GROSS FLOOR AREA
H.D.	- HEAVY DUTY PAVING
L.D.	- LIGHT DUTY PAVING
LB	- LIGHT BOLLARD
LS	- LIGHT STANDARD
BF	- BARRIERS FREE
BFFE	- BASEMENT FFE
FFE	- FINISHED FLOOR ELEVATION
T.B.D.	- TO BE DETERMINED
T.B.R.	- TO BE REMOVED
PROV.	- PROVIDED
REQ'D.	- REQUIRED
BS	- BUS SHELTER
EX	- EXISTING
F.R.S.	- FIRE ROUTE SIGN
B	- BOLLARD
FYSB	- FRONT YARD SETBACK
IYSB	- INTERIOR SIDE YARD SETBACK
RYSB	- REAR YARD BUILDING SETBACK

SIGN INDEX	
1	FIRE ROUTE SIGN - CITY STANDARD
2	NO PARKING ANY TIME - RA-S1 30 cm x 30 cm
3	NO PARKING ANY TIME - RA-S1 30 cm x 30 cm
4	LEFT ARROW
5	NO PARKING ANY TIME - RA-S1 30 cm x 30 cm
6	RIGHT ARROW
7	ACCESSIBLE PARKING
8	STOP SIGN - RA-100 60 cm x 60 cm
9	STOP SIGN - RA-100 60 cm x 60 cm
10	WITH ALL-WAY TAB RA-11 15CM X 30CM
11	COMPACT CARS
12	HYBRID PARKING ONLY
13	NO SNOW STORAGE AREA



1 SITE PLAN



CREDIT NOTES:
BASE INFORMATION PROVIDED BY J.D. BARNES LIMITED FILE DATED JANUARY 23, 2023 REFERENCE 22-10-132-00 - PART OF BLOCK 2 REGISTERED PLAN 4M-1012 CITY OF OTTAWA.
SAPLYS ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION.

SURVEYORS INFO FILE: 22-10-132-00
J.D. BARNES
LEAD INFORMATION SPECIALISTS
1444 CONNORWAY RD.
OTTAWA, ONTARIO K1V 1M1

ENGINEERS INFO FILE: 123002
NOVA-TECH
1000 SHEPPARD AVENUE EAST
SUITE 200, 2ND FLOOR
SCARBOROUGH, ONTARIO M1S 1T6

FLAGPOLE TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. FLAGPOLE BASE AND MOUNTING HARDWARE TO BE AS PER MANUFACTURERS SPECIFICATIONS. FLAGPOLE FOOTING AND DIMENSIONS TO BE ENGINEERED AS PER EXISTING SOIL CONDITIONS AND MANUFACTURERS SPEC. FLAGPOLE TO BE USED ONLY FOR FLAGS WHICH ARE PATRONIC ORGANIZATION/CORPORATION AS ALLOWED UNDER THE SIGNING ACT (R.S.O. 1990, CHAPTER S.6).
1.8M Ø 75 TYP HIGH FLAGPOLE
CLEAR ANODIZED FINISH
*MODEL SCA 40
*TRADE NO. 814
BY ENGINEER ARCH. FLAGPOLES
1444 CONNORWAY RD.
OTTAWA, ONTARIO K1V 1M1
OR APPROVED EQUAL

NO.	DATE	DESCRIPTION
5	24-08-21	5TH SUBMISSION - SPA
4	24-03-19	4TH SUBMISSION - SPA
3	24-02-09	3RD SUBMISSION - SPA
2	23-10-12	2ND SUBMISSION - SPA
1	22-03-23	1ST SUBMISSION - SPA

GENERAL NOTES:
DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED 'ISSUED FOR CONSTRUCTION'. VERIFY CONGRUENCIES & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY BROOK, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:
SAI
SAPLYS ARCHITECTS
40 ST. CLAIR AVE. SUITE 804
TORONTO, ONTARIO M4V 1M1

DRAWER:
401 REAL ESTATE TRUST INC
2225 EGLINTON STREET
CAMBRIDGE, ON, N3H 4R7

COURTYARD
BY MARRIOTT

40 FRANK NIGHBOR PLACE
Kanata, Ontario, Canada
Closest Major Intersection : Silver Seven & Palladium Dr

Site Plan

BY CHECKED LS ISSUED FOR SEE ABOVE TABLE
PROJECT NO. S22-029 SHEET NO. A-100
SCALE 1:200

DATE: 2024-12-23 09:05