

LIST OF DRAWINGS

ARCHITECTURAL	
A100	SITE PLAN
A400	BUILDING SECTIONS
A401	BUILDING SECTIONS

# COURTYARD

BY MARRIOTT

# KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

6 STOREY 115 ROOM HOTEL & RESTAURANT

40 FRANK NIGHBOR PLACE  
Kanata, ON

Closest Major Intersection: Silver Seven Rd & Palladium Dr.

LIST OF CONSULTANTS

ARCHITECT

Saplus Architects Inc.  
60 St Clair Ave East, Suite 806  
TORONTO, ONTARIO, M4T 1N5



DEVELOPMENT CONSULTANT

API DEVELOPMENT CONSULTANTS INC.  
1464 Cornwall Road, Unit 7  
Oakville ON, L6J 7W4  
P: 905-337-7249



CIVIL

LANDSCAPE

STRUCTURAL

MECHANICAL & ELECTRICAL

PROJECT NO.  
**S22-029**

## KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NIGHBOR PLACE  
Kanata, ON

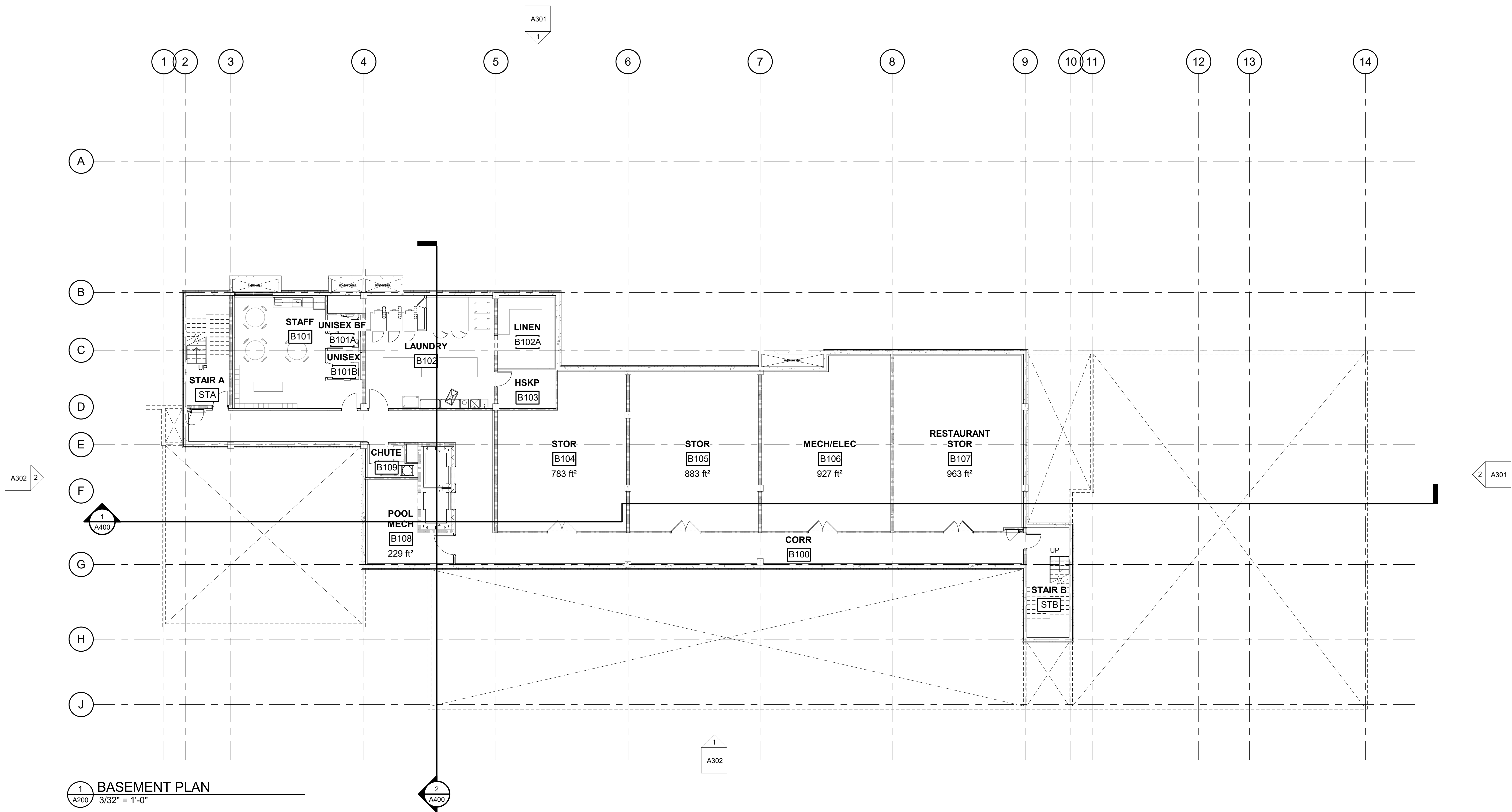
Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DATE  
**23-02-22**

ISSUED FOR  
**CLIENT REVIEW & APPROVAL**

DATE  
**23-04-14**

ISSUED FOR SPA I



1 BASEMENT PLAN  
 A200 3/32" = 1'-0"

No.	By	Description	Date YY-MM-DD
2	MA	ISSUED FOR SPA I	23-04-14
1	MA	CLIENT REVIEW & APPROVAL	23-02-22

ISSUANCE SCHEDULE

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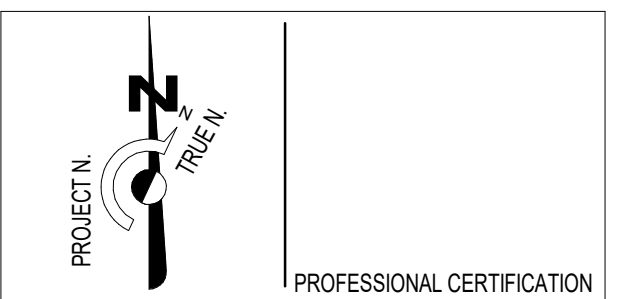
DEVELOPMENT CONSULTANT:  
 API CONSULTANTS INC.  
 1484 CORNWALL ROAD, UNIT 7  
 OAKVILLE, ONTARIO L6J 7W5  
 P: 905.337.7249



ARCHITECT:  
 SAPLYS ARCHITECTS INC.  
 55 ST. CLAIR AVE. W., SUITE 205  
 TORONTO, ONTARIO M4V 2Y7  
 P: 905.510.0995



CLIENT:  
 401 REAL ESTATE TRUST INC  
 2225 Eagle Street N  
 Cambridge, ON  
 N3H 4R7



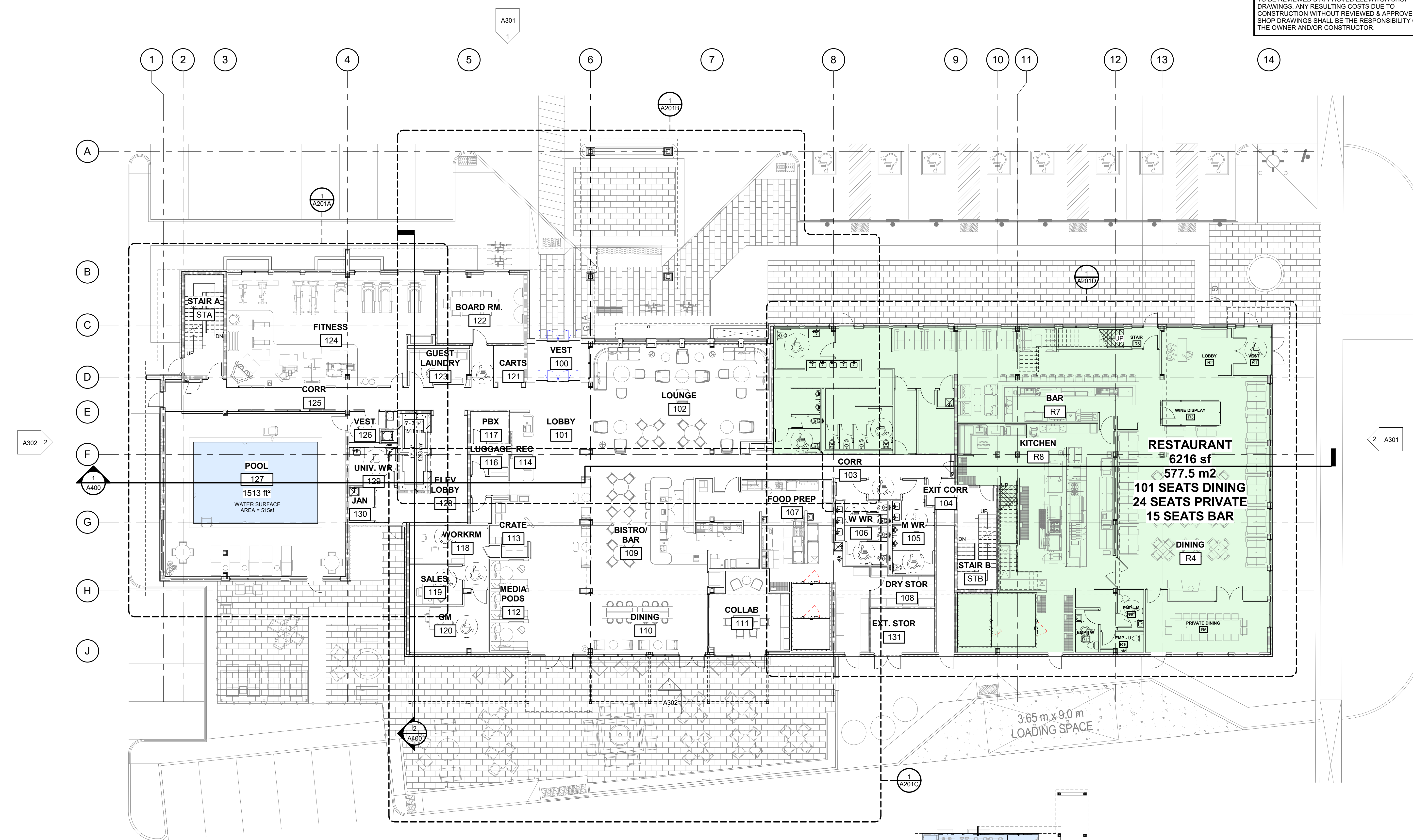
PROJECT  
**COURTYARD**  
 BY MARRIOTT  
 KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)  
 40 FRANK NICHBOR PLACE  
 Kanata, ON  
 Closest Major Intersection: Silver Seven Rd & Palladium Dr.  
 DRAWING TITLE  
**BASEMENT PLAN**

BY	CHECK	ISSUED FOR
MJA	VP	ISSUED FOR SPA I
PROJECT NO.:	SHEET NO.:	
S22-029	A200	
SCALE:	3/32" = 1'-0"	
ISSUE DATE:	23-04-14	

**A200** 2  
 SHEET  
 ISSUE No.

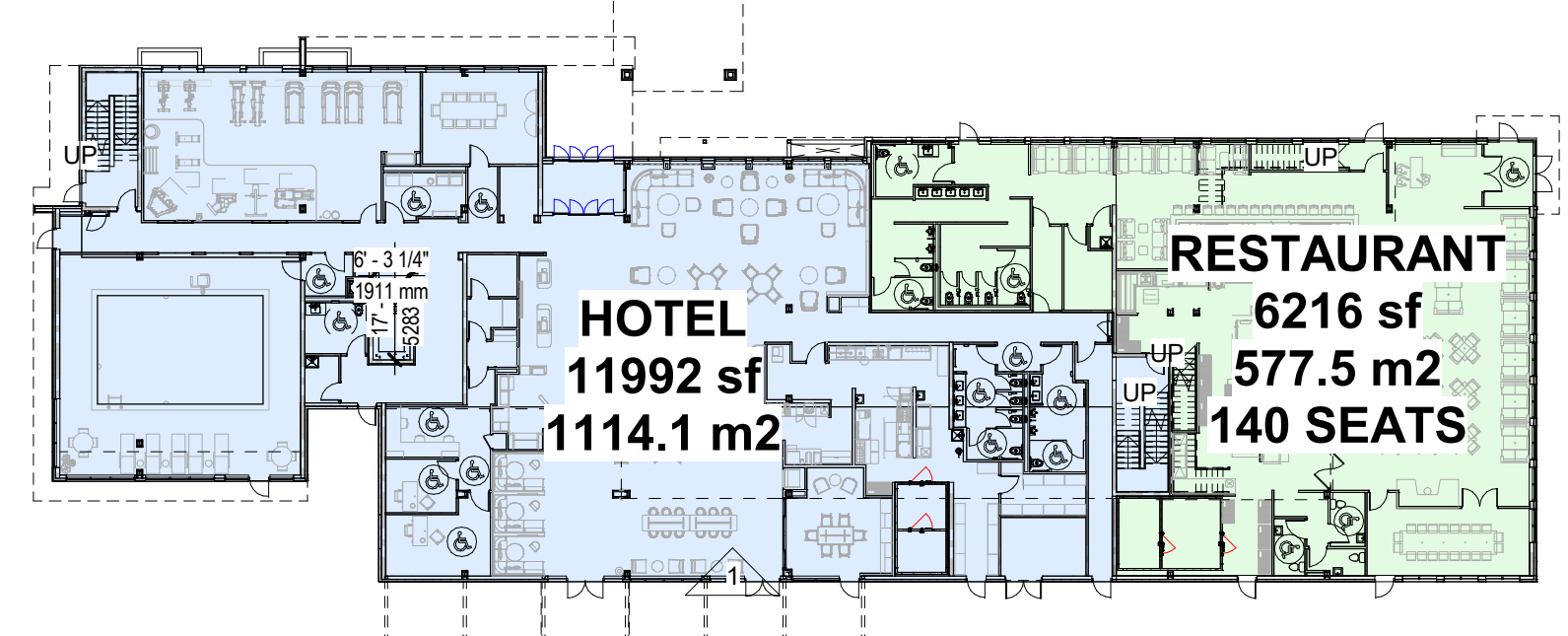
PLOT DATE: 2023-04-13 4:15:02 PM

**NOTE:**  
 THE ELEVATOR HOISTWAY DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION PURPOSES ONLY. DIMENSIONS SHOWN DO NOT REPRESENT THE SIZE TO BE CONSTRUCTED UNTIL VERIFIED BY THE OWNER AND/OR CONSTRUCTOR. CONSTRUCTION IS TO BE REVIEWED & APPROVED ELEVATOR SHOP DRAWINGS. ANY RESULTING COSTS DUE TO CONSTRUCTION WITHOUT REVIEWED & APPROVED SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONSTRUCTOR.



**1** GROUND FLOOR PLAN  
 3/32" = 1'-0"

**2** GROUND FLOOR AREA KEY  
 1/32" = 1'-0"



No.	By	Description	Date
2	MA	ISSUED FOR SPA I	23-04-14
1	MA	CLIENT REVIEW & APPROVAL	23-02-22

**ISSUANCE SCHEDULE**

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 P: 905.337.7249

**ARCHITECT:**  
 SAPIUS ARCHITECTS INC.  
 55 ST. CLAIR AVE W., SUITE 205  
 TORONTO, ONTARIO M4V 2Y7  
 P: 905.510.0995

**CLIENT:**  
 401 REAL ESTATE TRUST INC  
 2225 Eagle Street N  
 Cambridge, ON  
 N3H 4R7

**PROJECT N.**  
 PROFESSIONAL CERTIFICATION

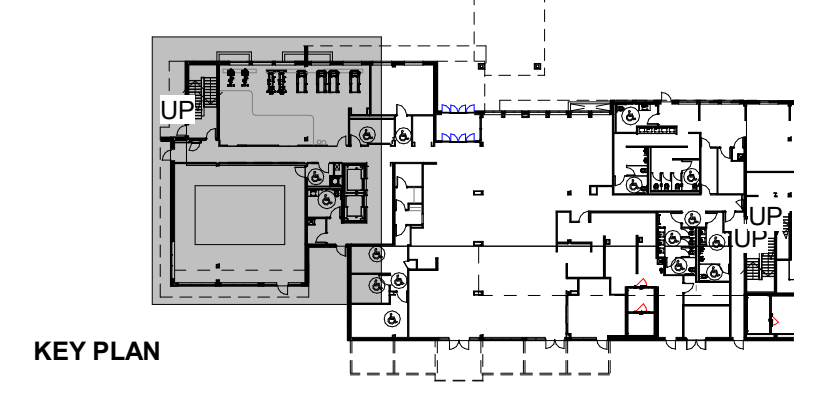
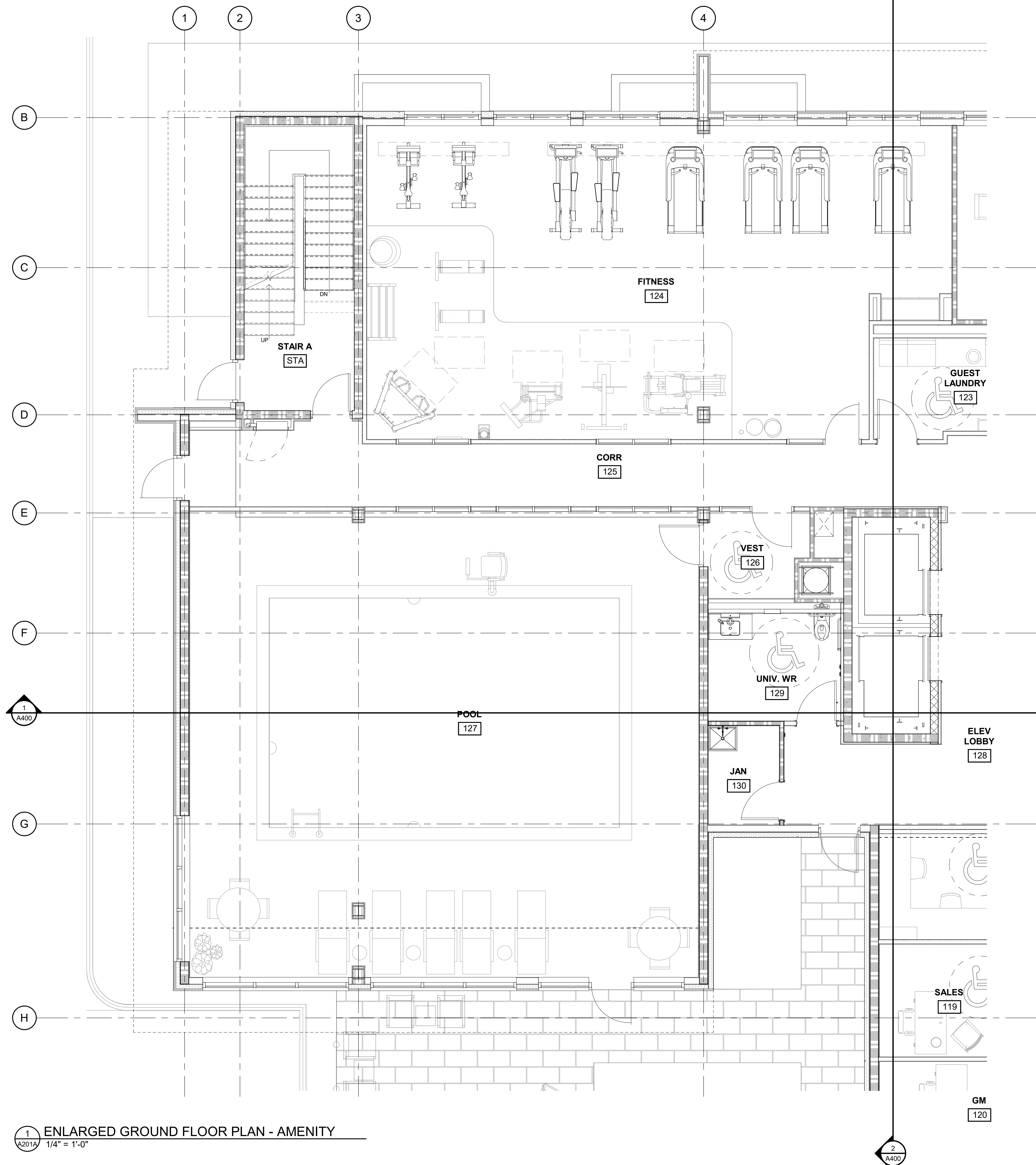
**COURTYARD**  
 BY MARRIOTT

**KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)**  
 40 FRANK NICHBOR PLACE  
 Kanata, ON  
 Closest Major Intersection: Silver Seven Rd & Palladium Dr.  
**DRAWING TITLE**  
**GROUND FLOOR PLAN**

BY: MJA | CHECK: VP | ISSUED FOR: ISSUED FOR SPA I  
 PROJECT NO.: S22-029 | SHEET NO.:  
 SCALE: As indicated  
 ISSUE DATE: 23-04-14

**A201** 2  
 SHEET  
 ISSUE NO.

PLOT DATE: 2023-04-13 4:15:08 PM



**FIRE RATING LEGEND**

1 HR FIRE RESISTANCE RATING

ALL LOAD BEARING STRUCTURAL STEEL MEMBERS TO BE ENCLOSED IN 1 HOUR FIRE RATED ASSEMBLY. FIRE RATING GRAPHIC NOT SHOWN FOR EXTERIOR WALLS FOR CLARITY. REFER TO WALL ASSEMBLIES.

FLOOR PLAN LEGEND

No.	By	Description	Date YY-MM-DD
2	MA	ISSUED FOR SPA I	23-04-14
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PROJECT N. TRUE N. PROFESSIONAL CERTIFICATION

**PROJECT**

**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.

**DRAWING TITLE**

**ENLARGED GROUND FLOOR PLAN - AMENITY**

BY: MJA | CHECK: VP | ISSUED FOR: ISSUED FOR SPA I

PROJECT NO.: S22-029 | SHEET NO.: 2

SCALE: As indicated

ISSUE DATE: 23-04-14

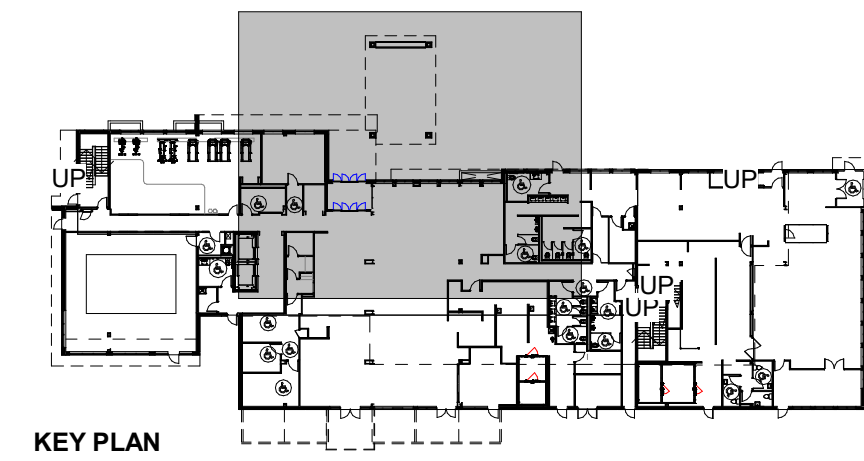
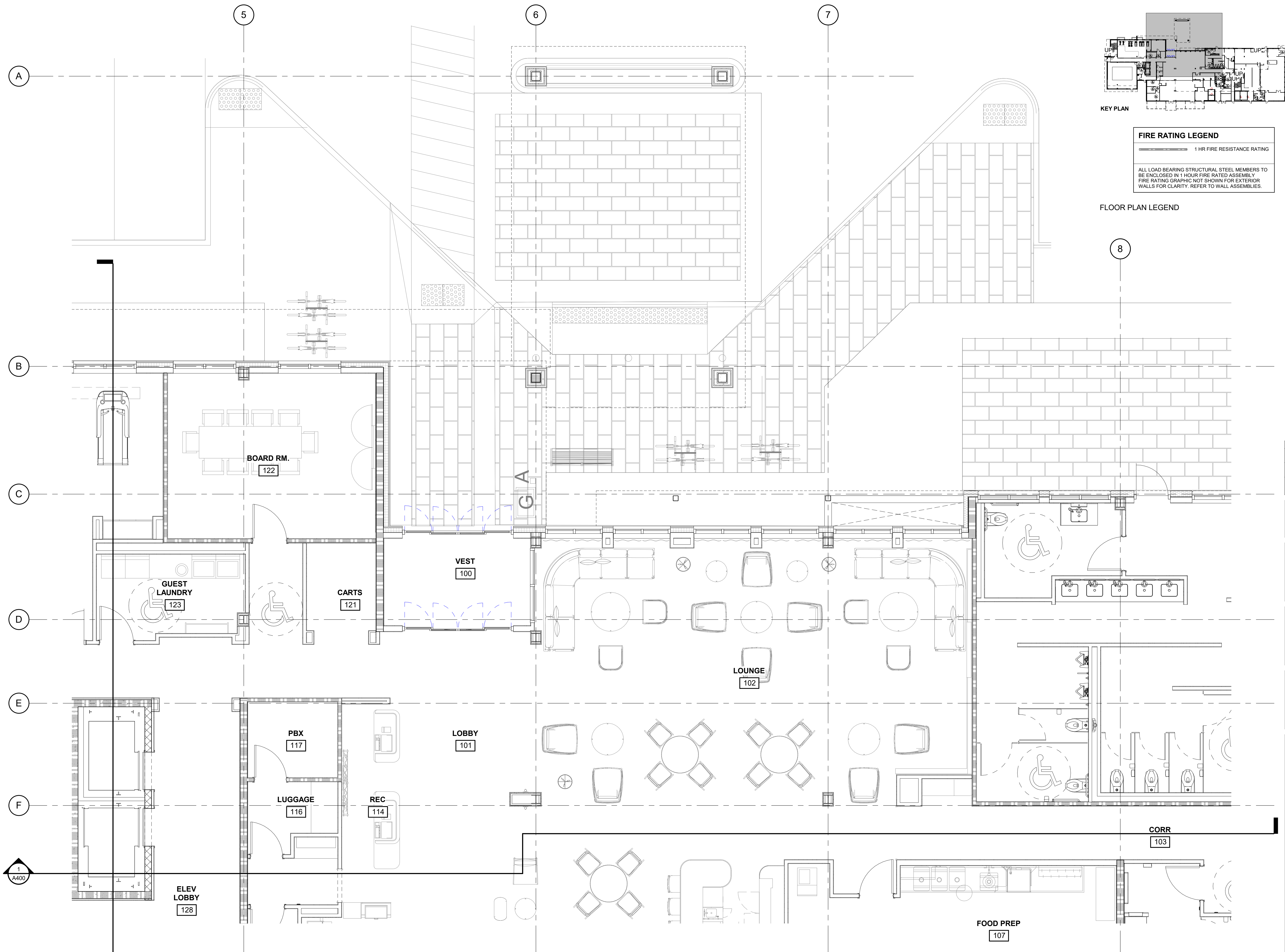
**A201A** | 2 SHEET ISSUE No.

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1 ENLARGED GROUND FLOOR PLAN - AMENITY  
A201A 1/4" = 1'-0"

2 A400

PLOT DATE: 2023-04-13 4:15:11 PM



**FIRE RATING LEGEND**

1 HR FIRE RESISTANCE RATING

ALL LOAD BEARING STRUCTURAL STEEL MEMBERS TO BE ENCLOSED IN 1 HOUR FIRE RATED ASSEMBLY. FIRE RATING GRAPHIC NOT SHOWN FOR EXTERIOR WALLS FOR CLARITY. REFER TO WALL ASSEMBLIES.

FLOOR PLAN LEGEND

No.	By	Description	Date YY-MM-DD
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1	MA	CLIENT REVIEW & APPROVAL	23-02-22

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PROJECT N. PROFESSIONAL CERTIFICATION

**PROJECT**

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Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE

**ENLARGED GROUND FLOOR PLAN - LOBBY I**

BY: MJA | CHECK: VP | ISSUED FOR: SPA I

PROJECT NO.: S22-029 | SHEET NO.: 2

SCALE: As indicated

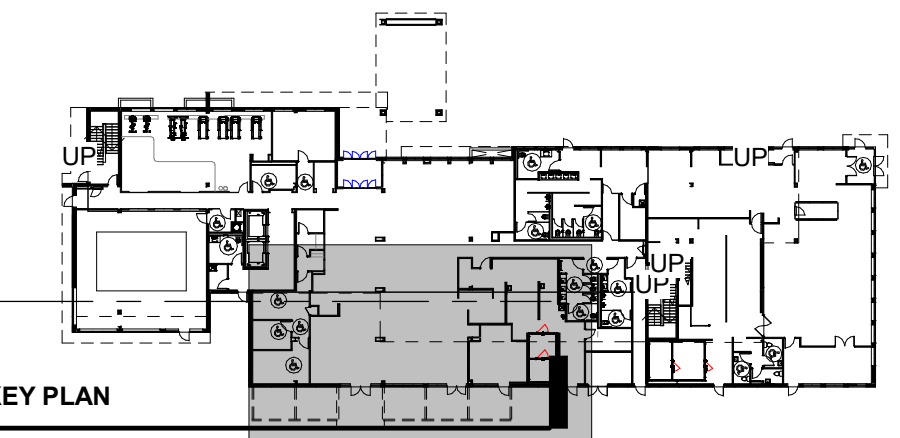
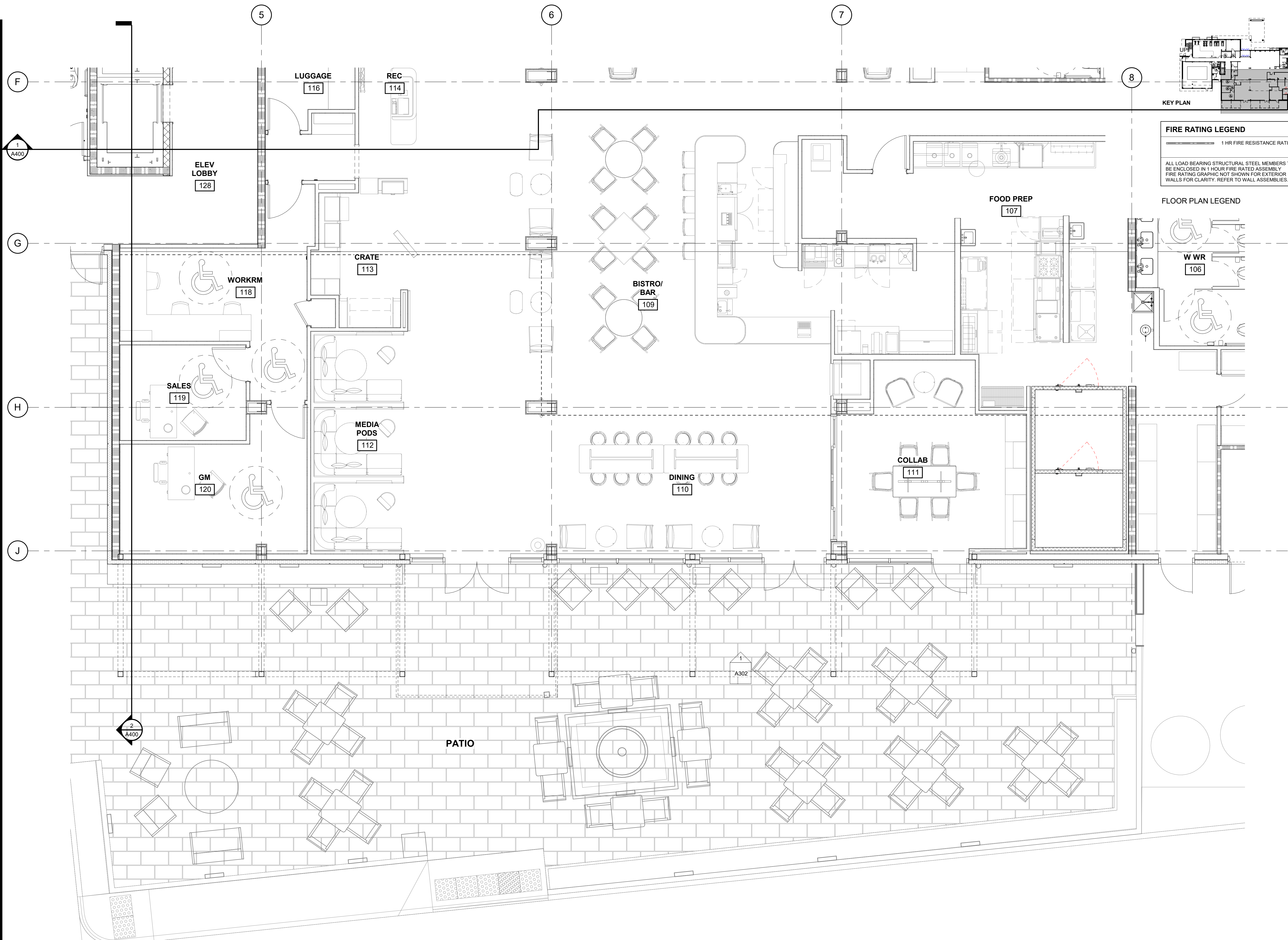
ISSUE DATE: 23-04-14

**A201B** | SHEET ISSUE No. 2

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1 ENLARGED GROUND FLOOR PLAN - LOBBY I  
A201B 1/4" = 1'-0"

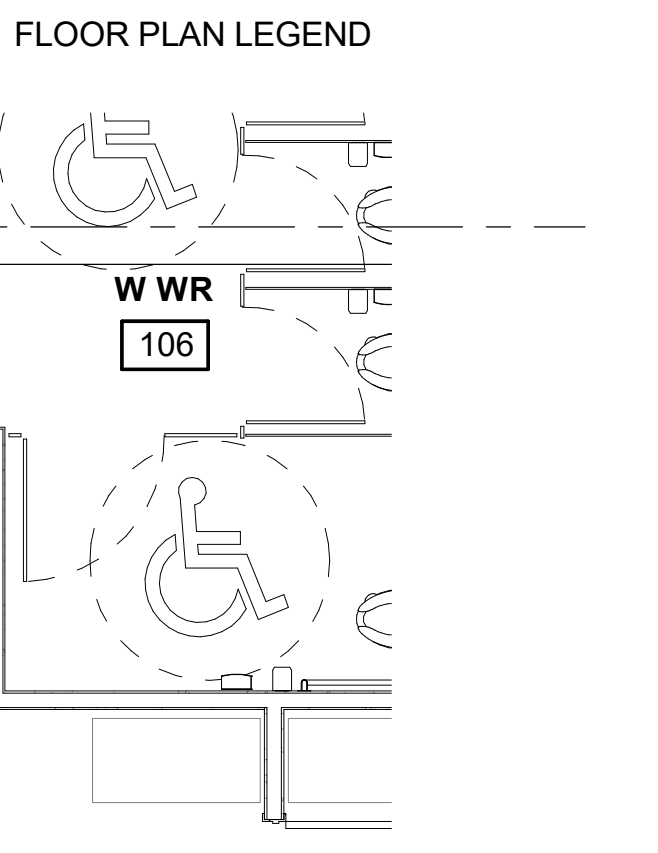
PLOT DATE: 2023-04-13 4:15:14 PM



**FIRE RATING LEGEND**

1 HR FIRE RESISTANCE RATING

ALL LOAD BEARING STRUCTURAL STEEL MEMBERS TO BE ENCLOSED IN 1 HOUR FIRE RATED ASSEMBLY FIRE RATING GRAPHIC NOT SHOWN FOR EXTERIOR WALLS FOR CLARITY. REFER TO WALL ASSEMBLIES.



No.	By	Description	Date YY-MM-DD
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1	MA	CLIENT REVIEW & APPROVAL	23-02-22

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**DEVELOPMENT CONSULTANT:**

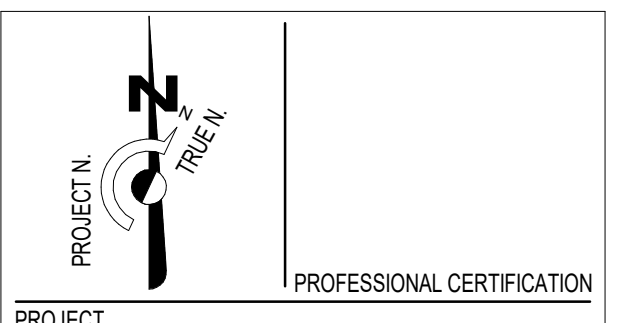
API CONSULTANTS INC.  
1484 CORNWALL ROAD, UNIT 7  
OAKVILLE, ONTARIO L6J 7W5  
P: 905.337.7249

**ARCHITECT:**

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55 ST. CLAIR AVE W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995

**CLIENT:**

401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7



**PROJECT**

**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON

Closest Major Intersection: Silver Seven Rd & Palladium Dr.

**DRAWING TITLE**

**ENLARGED GROUND FLOOR PLAN - LOBBY II**

BY: MJA | CHECK: VP | ISSUED FOR: ISSUED FOR SPA I

PROJECT NO.: S22-029 | SHEET NO.:

SCALE: As indicated

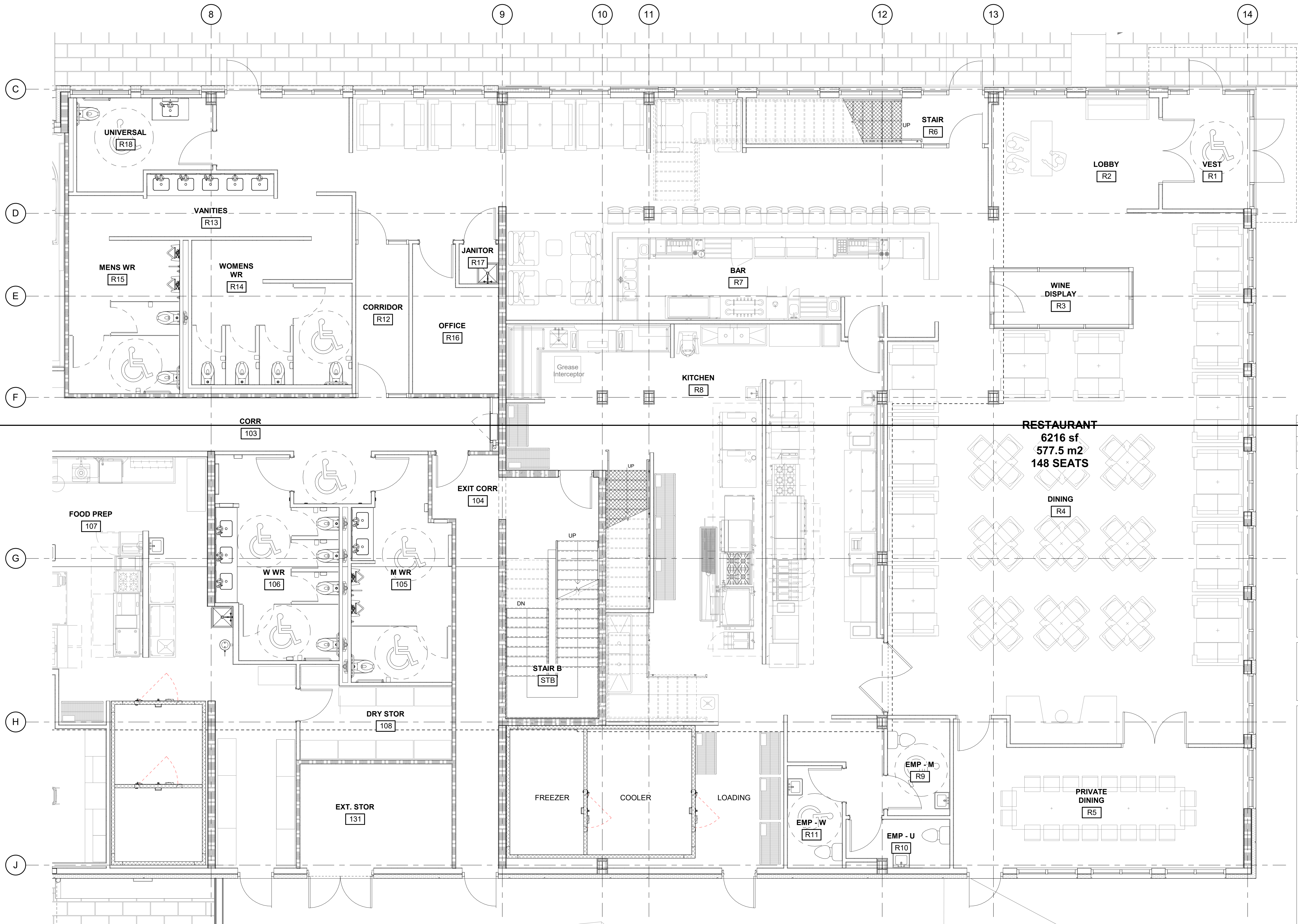
ISSUE DATE: 23-04-14

**A201C** | 2 SHEET ISSUE No.

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1 ENLARGED GROUND FLOOR PLAN - LOBBY II  
A201C 1/4" = 1'-0"

PLOT DATE: 2023-04-13 4:15:17 PM



No.	By	Description	Date
2	MA	ISSUED FOR SPA I	23-04-14
1	MA	CLIENT REVIEW & APPROVAL	23-02-22

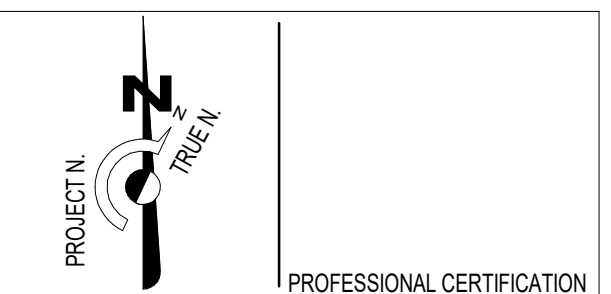
ISSUANCE SCHEDULE

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 API CONSULTANTS INC.  
 1484 CORNWALL ROAD, UNIT 7  
 OAKVILLE, ONTARIO L6J 7W5  
 P: 905.337.7249

ARCHITECT:  
 SAPIUS ARCHITECTS INC.  
 55 ST. CLAIR AVE. W., SUITE 205  
 TORONTO, ONTARIO M4V 2Y7  
 P: 905.510.0995

CLIENT:  
 401 REAL ESTATE TRUST INC  
 2225 Eagle Street N  
 Cambridge, ON  
 N3H 4R7



PROJECT  
**COURTYARD**  
 BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)  
 40 FRANK NICHBOR PLACE  
 Kanata, ON  
 Closest Major Intersection: Silver Seven Rd & Palladium Dr.

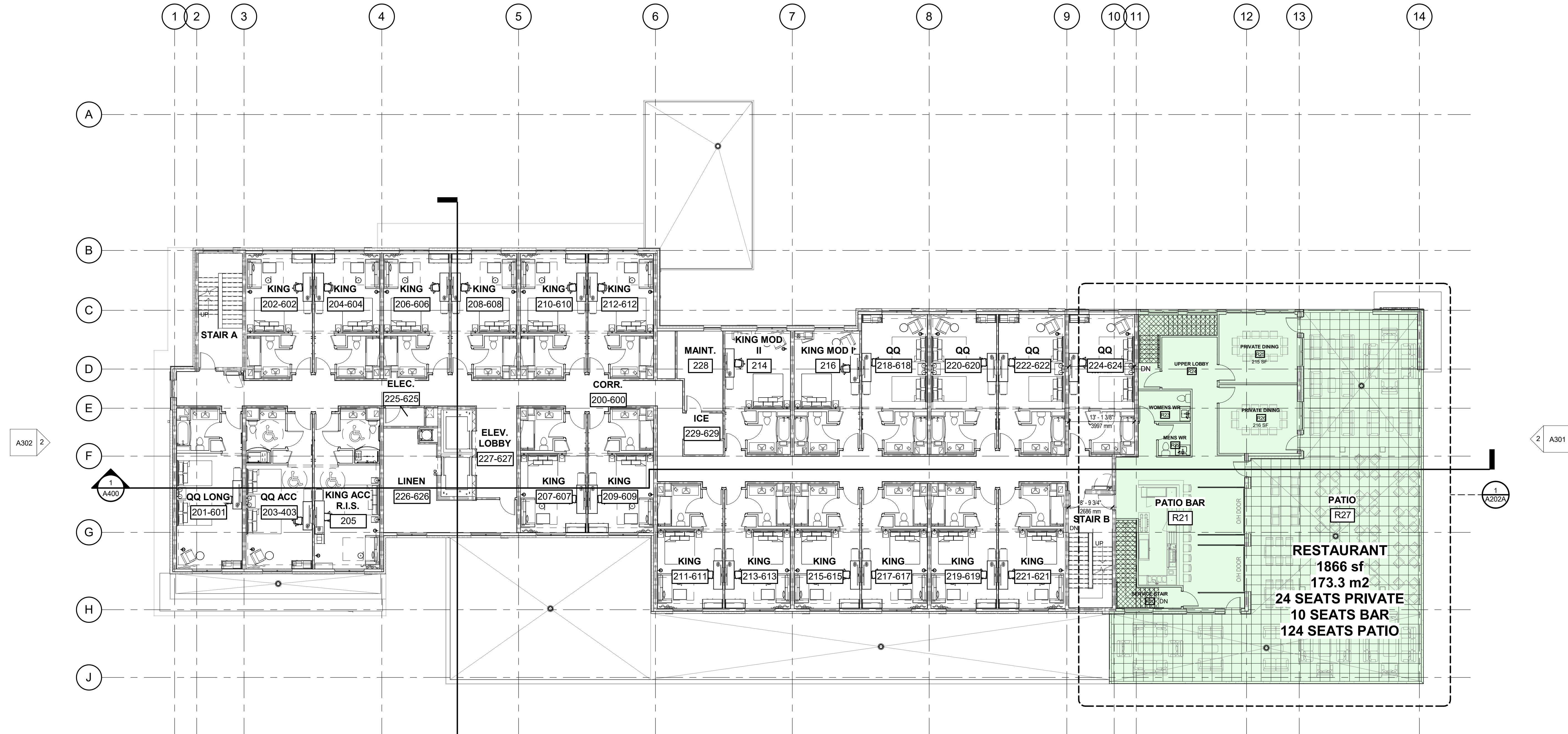
DRAWING TITLE  
**ENLARGED GROUND FLOOR PLAN - RESTAURANT**

BY	CHECK	ISSUED FOR
MJA	VP	ISSUED FOR SPA I
PROJECT NO.:	SHEET NO.:	
S22-029		
SCALE:		
1/4" = 1'-0"		
ISSUE DATE:		
23-04-14		

**A201D** 2  
 SHEET  
 ISSUE NO.

1 ENLARGED GROUND FLOOR PLAN - RESTAURANT  
 A201D 1/4" = 1'-0"

PLOT DATE: 2023-04-13 4:15:19 PM



A302 2

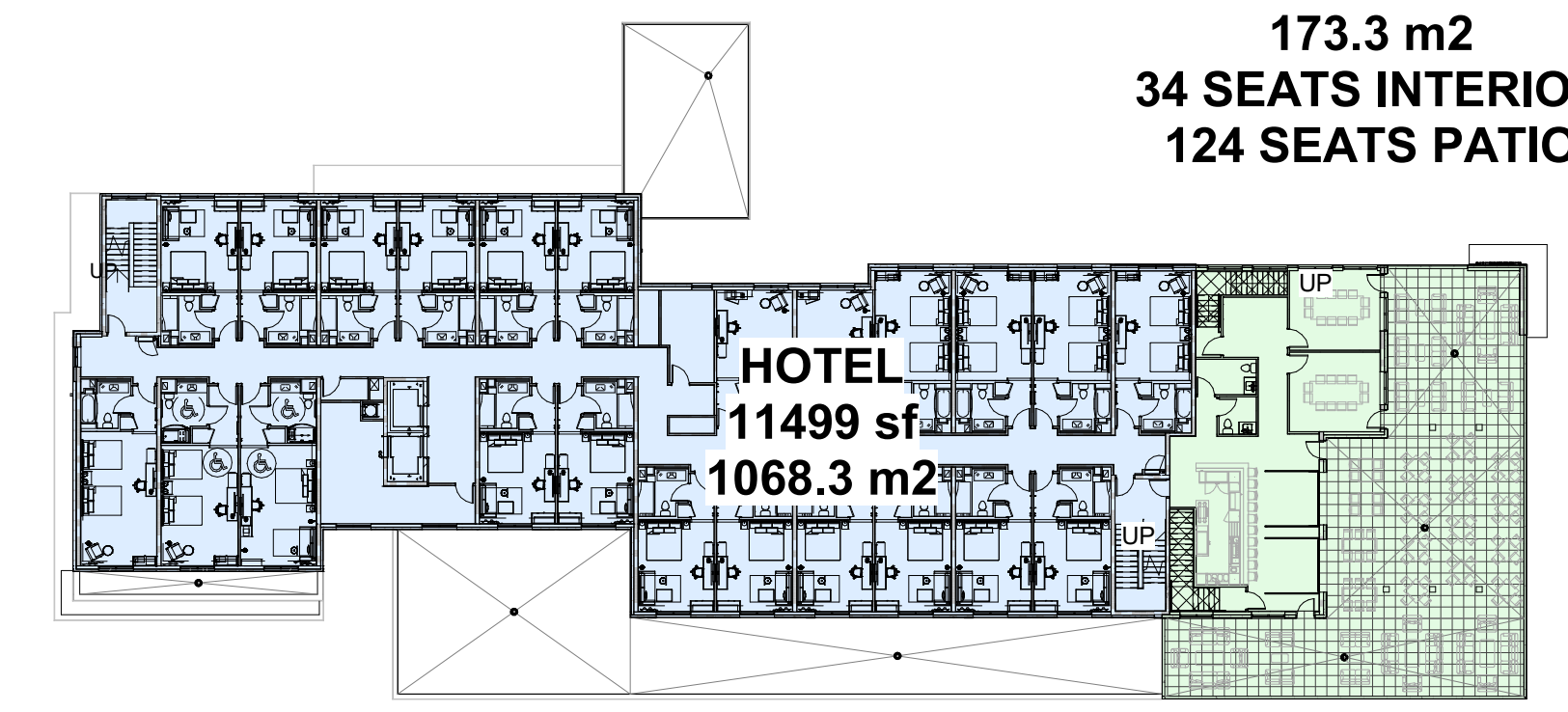
A301

1 2ND FLOOR - OVERALL PLAN  
A202 3/32" = 1'-0"

GFA (ZONING)		
Name	Area (Imperial)	Area (Metric)
BASEMENT	6248 SF	766.3 m <sup>2</sup>
GROUND FLOOR - HOTEL	11992 SF	1114.1 m <sup>2</sup>
GROUND FLOOR - RESTAURANT	6216 SF	577.5 m <sup>2</sup>
2ND FLOOR - HOTEL	11499 SF	1068.3 m <sup>2</sup>
2ND FLOOR - RESTAURANT	1866 SF	173.3 m <sup>2</sup>
3RD FLOOR	11670 SF	1084.2 m <sup>2</sup>
4TH FLOOR	11670 SF	1084.2 m <sup>2</sup>
5TH FLOOR	11670 SF	1084.2 m <sup>2</sup>
6TH FLOOR	11674 SF	1084.5 m <sup>2</sup>
GFA per ZONING	86504 SF	8036.4 m <sup>2</sup>

FLOOR PLAN LEGEND

UNIT TYPE	SUITE MIX						T	MIX %	Total Mix	Mix %	Total Acc.
	1	2	3	4	5	6					
KING	-	14	14	14	14	14	70	60.9%	81	70.4%	7.8%
KING MOD 1	-	1	-	-	-	-	1	0.9%			
KING MOD 2	-	1	-	-	-	-	1	0.9%			
KING ACC	-	-	1	1	1	1	4	3.5%			
KING ACC - RIS	-	1	-	-	-	-	1	0.9%			
KING ACC SUITE	-	-	1	1	1	1	4	3.5%			
TOTAL KING GUESTROOMS	0	17	16	16	16	16	81	70.4%			
QQ	-	4	4	4	4	4	20	17.4%	34	29.6%	2.6%
QQ MOD	-	-	1	1	1	1	4	3.5%			
QQ LONG	-	1	1	1	2	2	7	6.1%			
QQ ACC	-	1	1	1	-	-	3	2.6%			
TOTAL QUEEN GUESTROOMS	0	6	7	7	7	7	34	29.6%			
TOTAL PER FLOOR	0	23	23	23	23	23	115	100.0%	115	100.0%	10.4%



2 2ND FLOOR AREA KEY  
A202 1/32" = 1'-0"

No.	By	Description	Date
2	MA	ISSUED FOR SPA I	23-04-14
1	MA	CLIENT REVIEW & APPROVAL	23-02-22

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P: 905.337.7249

ARCHITECT:  
SAPLYS ARCHITECTS INC.  
55 ST. CLAIR AVE W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995

CLIENT:  
401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7

PROJECT NO. 21811  
PROFESSIONAL CERTIFICATION

PROJECT  
**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)  
Kanata, ON

Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE  
**2nd FLOOR PLAN**

BY: [Signature] CHECK: [Signature] ISSUED FOR: ISSUED FOR SPA I  
PROJECT NO.: S22-029 SHEET NO.:  
SCALE: As indicated  
ISSUE DATE: 23-04-14

**A202** 2  
SHEET  
ISSUE No.

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PLOT DATE: 2023-04-13 4:15:25 PM





1 ENLARGED 2nd FLOOR PLAN - RESTAURANT  
 A202A 1/4" = 1'-0"

No.	By	Description	Date YY-MM-DD
2	MA	ISSUED FOR SPA I	23-04-14
1	MA	CLIENT REVIEW & APPROVAL	23-02-22

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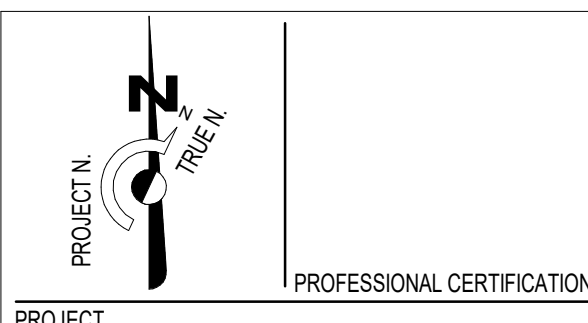
DEVELOPMENT CONSULTANT:  
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 1484 CORNWALL ROAD, UNIT 7  
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ARCHITECT:  
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CLIENT:  
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 2225 Eagle Street N  
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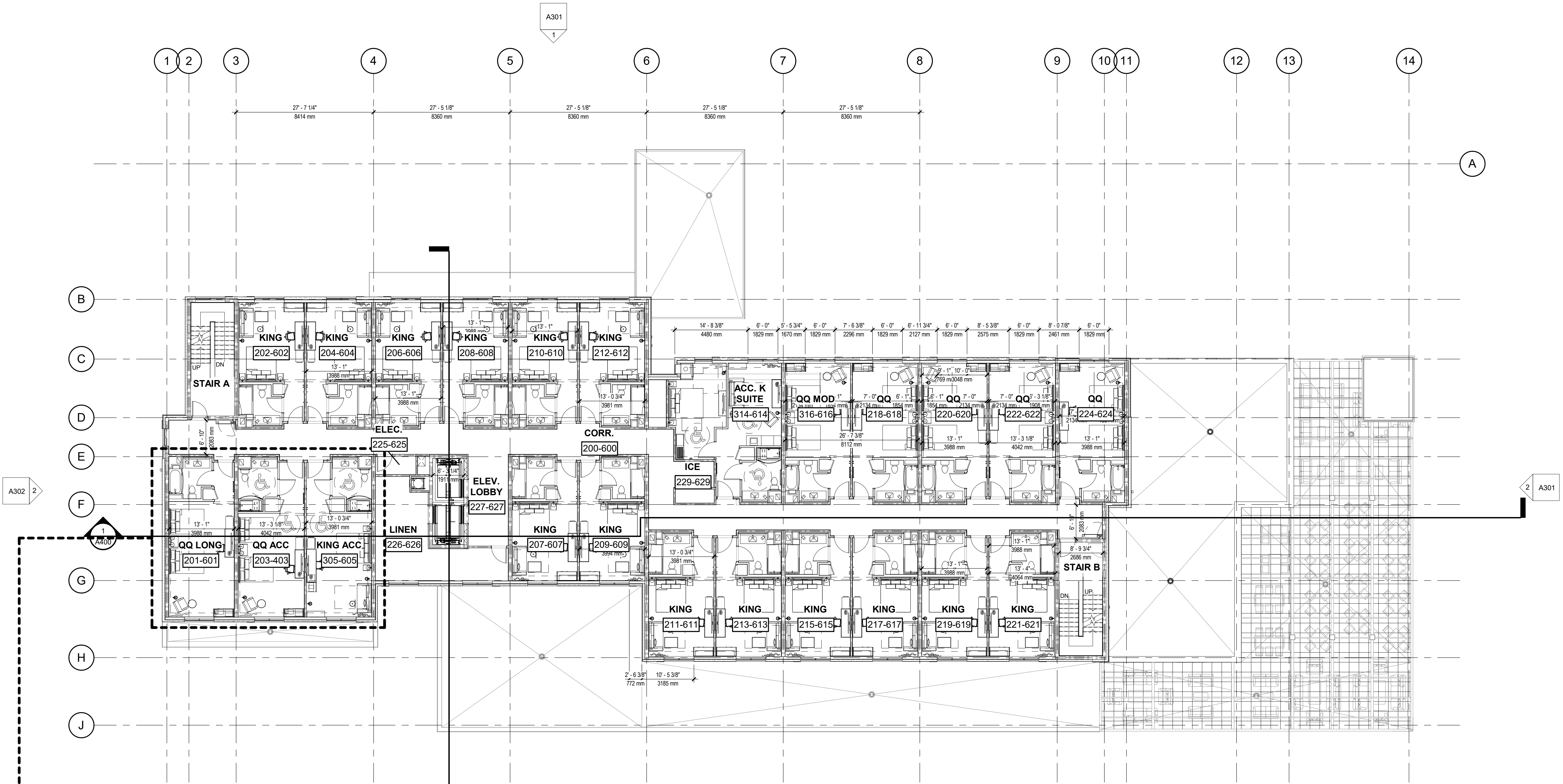
PROJECT  
**COURTYARD**  
 BY MARRIOTT  
 KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)  
 40 FRANK NICHBOR PLACE  
 Kanata, ON  
 Closest Major Intersection: Silver Seven Rd & Palladium Dr.  
 DRAWING TITLE  
**ENLARGED 2nd FLOOR PLAN - RESTAURANT**

BY: [ ] CHECK: [ ] ISSUED FOR: Author  
 PROJECT NO.: S22-029 SHEET NO.:  
 SCALE: 1/4" = 1'-0"  
 ISSUE DATE: 23-04-14

**A202A** 2 SHEET ISSUE No.

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PLOT DATE: 2023-04-13 4:15:27 PM



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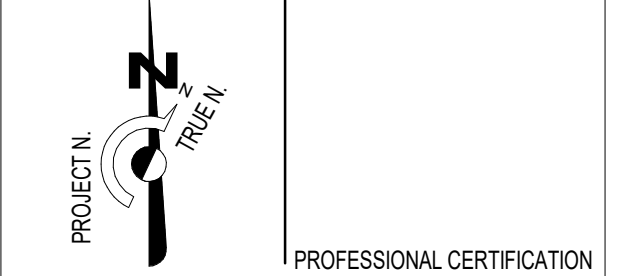
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PROJECT  
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 BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
 Kanata, ON

Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE  
**TYPICAL FLOOR PLAN (3rd-6th)**

BY: [ ] CHECK: [ ] ISSUED FOR: [ ]  
 Author: [ ] Checked: [ ] ISSUED FOR SPA I

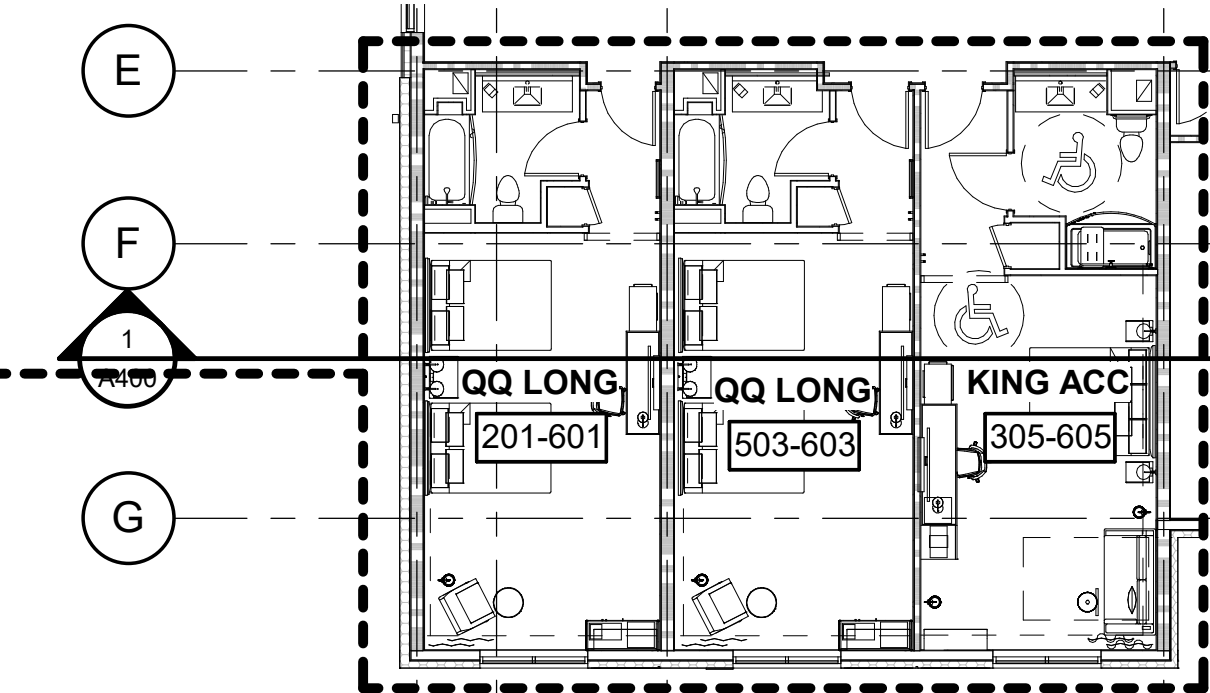
PROJECT NO.: S22-029  
 SHEET NO.: A203

SCALE: As indicated  
 ISSUE DATE: 23-04-14

**A203** 2 SHEET ISSUE No.

© SAPIUS ARCHITECTS INC.

1 TYPICAL FLOOR PLAN (3rd & 4th)  
 A203 3/32" = 1'-0"

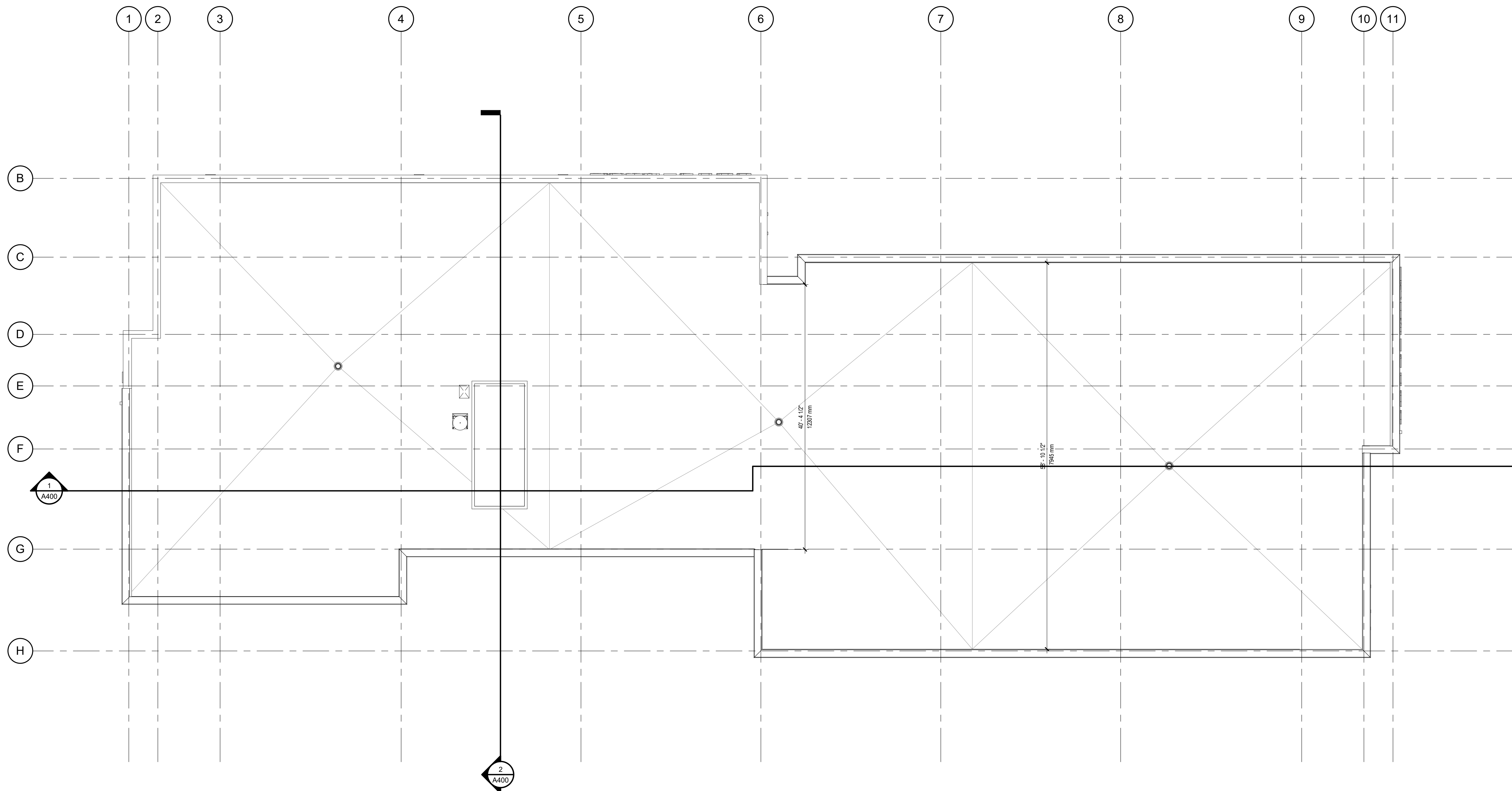


2 TYPICAL FLOOR PLAN (5th & 6th) - PARTIAL PLAN  
 A203 3/32" = 1'-0"

GFA (ZONING)		
Name	Area (Imperial)	Area (Metric)
BASEMENT	8248 SF	766.3 m <sup>2</sup>
GROUND FLOOR - HOTEL	11992 SF	1114.1 m <sup>2</sup>
GROUND FLOOR - RESTAURANT	6216 SF	577.5 m <sup>2</sup>
2ND FLOOR - HOTEL	11499 SF	1068.3 m <sup>2</sup>
2ND FLOOR - RESTAURANT	1866 SF	173.3 m <sup>2</sup>
3RD FLOOR	11670 SF	1084.2 m <sup>2</sup>
4TH FLOOR	11670 SF	1084.2 m <sup>2</sup>
5TH FLOOR	11670 SF	1084.2 m <sup>2</sup>
6TH FLOOR	11674 SF	1084.5 m <sup>2</sup>
GFA per ZONING	86504 SF	8036.4 m <sup>2</sup>

UNIT TYPE	SUITE MIX						MIX %	Total Mix	Mix %	Total Acc.	
	1	2	3	4	5	6					
KING	-	14	14	14	14	14	70	60.9%	81	70.4%	7.8%
KING MOD 1	-	1	-	-	-	-	1	0.9%			
KING MOD 2	-	1	-	-	-	-	1	0.9%			
KING ACC	-	-	1	1	1	1	4	3.5%			
KING ACC - RIS	-	1	-	-	-	-	1	0.9%			
KING ACC SUITE	-	-	1	1	1	1	4	3.5%			
TOTAL KING GUESTROOMS	0	17	16	16	16	16	81	70.4%			
QQ	-	4	4	4	4	4	20	17.4%	34	29.6%	2.6%
QQ MOD	-	1	1	1	1	1	4	3.5%			
QQ LONG	-	1	1	1	2	2	7	6.1%			
QQ ACC	-	1	1	1	-	-	3	2.6%			
TOTAL QUEEN GUESTROOMS	0	6	7	7	7	7	34	29.6%			
TOTAL PER FLOOR	0	23	23	23	23	23	115	100.0%			

PLOT DATE: 2023-04-13 4:15:30 PM



1 ROOF PLAN  
A205 1/8" = 1'-0"

No.	By	Description	Date YY-MM-DD
2	MA	ISSUED FOR SPA I	23-04-14
1	MA	CLIENT REVIEW & APPROVAL	23-02-22

ISSUANCE SCHEDULE

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

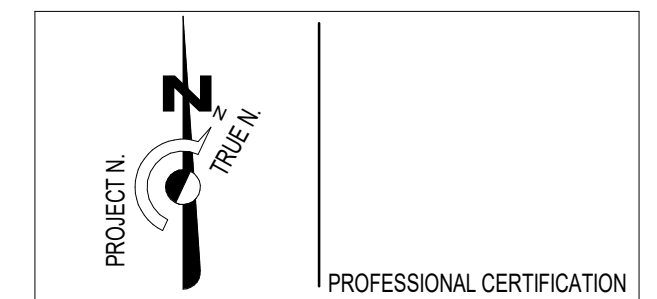
DEVELOPMENT CONSULTANT:  
API CONSULTANTS INC.  
1484 CORNWALL ROAD, UNIT 7  
OAKVILLE, ONTARIO L6J 7W5  
P: 905.337.7249



ARCHITECT:  
SAPLYS ARCHITECTS INC.  
55 ST. CLAIR AVE W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995



CLIENT:  
401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7



PROJECT  
**COURTYARD**  
BY MARRIOTT  
KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)  
40 FRANK NICHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.  
DRAWING TITLE  
**ROOF PLAN**

BY: [Signature] CHECK: [Signature] ISSUED FOR: ISSUED FOR SPA I  
PROJECT NO.: S22-029 SHEET NO.:  
SCALE: 1/8" = 1'-0"  
ISSUE DATE: 23-04-14

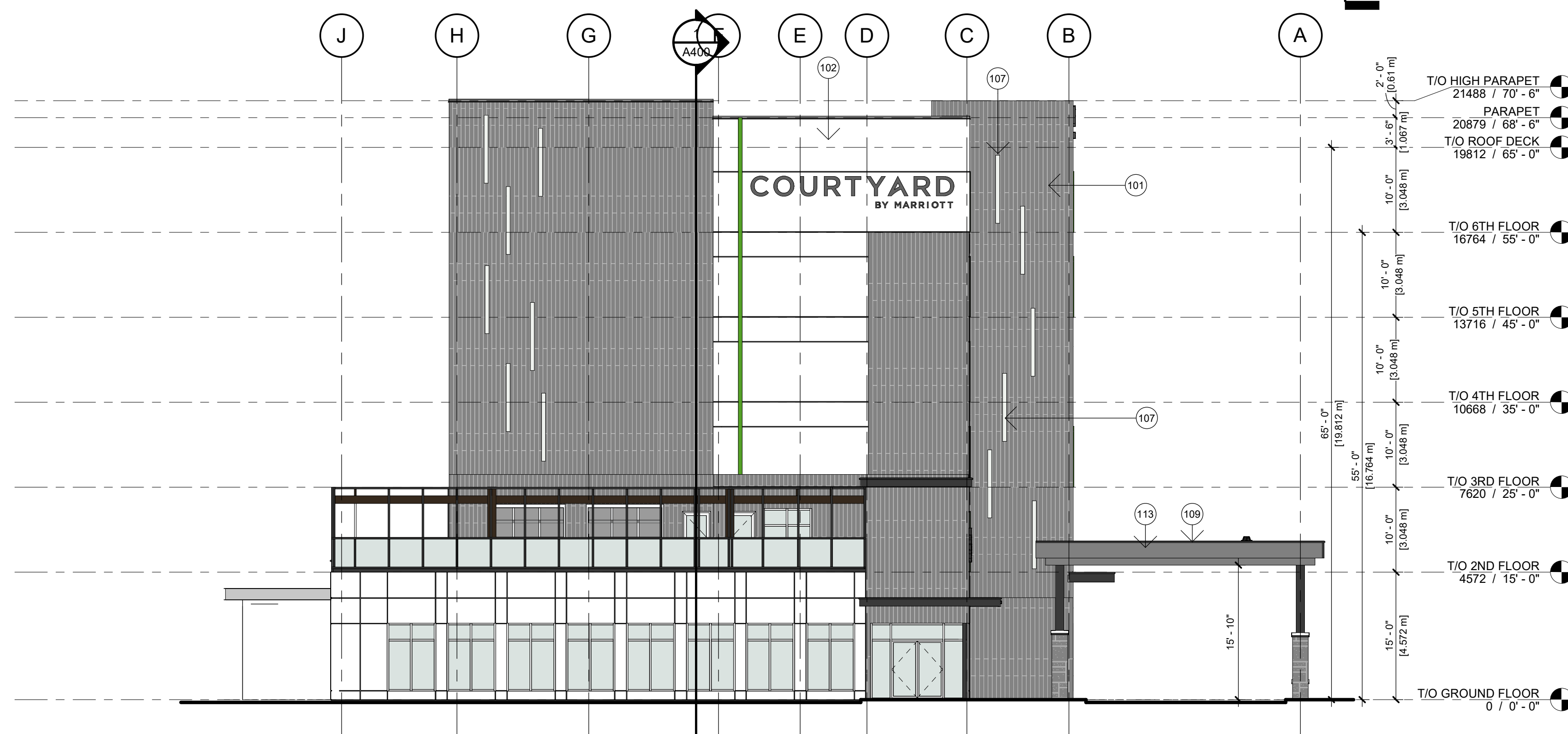
**A205** 2 SHEET ISSUE No.

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PLOT DATE: 2023-04-13 4:15:31 PM



1 NORTH ELEVATION  
A301 3/32" = 1'-0"



2 EAST ELEVATION  
A301 3/32" = 1'-0"

2'-0" T/O HIGH PARAPET 21488 / 70'-6"  
 PARAPET 20879 / 68'-6"  
 T/O ROOF DECK 19812 / 65'-0"  
 1005  
 3'-6"  
 1010  
 10'-0"  
 3060  
 10'-0"  
 T/O 6TH FLOOR 16764 / 55'-0"  
 3060  
 10'-0"  
 T/O 5TH FLOOR 13716 / 45'-0"  
 3060  
 10'-0"  
 T/O 4TH FLOOR 10668 / 35'-0"  
 19810  
 65'-0"  
 155'-0" (4724 mm)  
 3060  
 10'-0"  
 T/O 3RD FLOOR 7620 / 25'-0"  
 4570  
 15'-0"  
 T/O 2ND FLOOR 4572 / 15'-0"  
 T/O GROUND FLOOR 0 / 0'-0"

2'-0" T/O HIGH PARAPET 21488 / 70'-6"  
 PARAPET 20879 / 68'-6"  
 T/O ROOF DECK 19812 / 65'-0"  
 1005  
 3'-6"  
 1010  
 10'-0"  
 3060  
 10'-0"  
 T/O 6TH FLOOR 16764 / 55'-0"  
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 3060  
 10'-0"  
 T/O 5TH FLOOR 13716 / 45'-0"  
 10'-0"  
 3060  
 10'-0"  
 T/O 4TH FLOOR 10668 / 35'-0"  
 19810  
 65'-0"  
 155'-0" (4724 mm)  
 3060  
 10'-0"  
 T/O 3RD FLOOR 7620 / 25'-0"  
 4570  
 15'-0"  
 T/O 2ND FLOOR 4572 / 15'-0"  
 T/O GROUND FLOOR 0 / 0'-0"

**BIRD COLLISION DETERRENCE:**

- MINIMUM 90% OF ALL GLAZING FROM GRADE LEVEL TO 18M ABOVE GRADE TO RECEIVE 4mm VISUAL MARKERS APPLIED TO FIRST SURFACE OF THE GLASS WITH A MAXIMUM SPACING OF 50mm X 50mm AS PER OTTAWA BIRD SAFE DESIGN GUIDELINES, GUIDELINE 2.
- ALL EXTERIOR BUILDING LIGHTING TO BE:
  - DARK SKY COMPLIANT, FULL-CUTOFF
  - CONNECTED TO MOTION DETECTORS OR OTHER AUTOMATIC LIGHTING CONTROLS TO EXTINGUISH NON-ESSENTIAL LIGHTING BETWEEN 11PM AND 6AM
  - MINIMUM WATTAGE REQUIRED TO MEET ONTARIO BUILDING CODE
  - PER OTTAWA BIRD SAFE DESIGN GUIDELINES, GUIDELINE 6

**EXTERIOR ELEVATION LEGEND**

- 101 ALUMINIUM COMPOSITE MATERIAL (ACM)(COLOUR: GREY)
- 102 FIELD APPLIED EXTERIOR INSULATED FINISH SYSTEM (EIFS) WITH GROOVES (COLOUR: WHITE)
- 107 LIGHT FIXTURE
- 108 STONE VENEER(COLOUR: GREY)
- 109 PREFINISHED METAL CAP FLASHING (FINISH: SEMIGLOSS)
- 110 EIFS (COLOUR: GREEN)
- 112 ILLUMINATED SIGNAGE- WALL MOUNTED AS PER BRAND STANDARD
- 113 PREFINISHED ALUMINIUM PANELS

No.	By	Description	Date
2	MA	ISSUED FOR SPA I	23-04-14
1	MA	CLIENT REVIEW & APPROVAL	23-02-22

**ISSUANCE SCHEDULE**

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

**DEVELOPMENT CONSULTANT:**

API CONSULTANTS INC.  
1484 CORNWALL ROAD, UNIT 7  
OAKVILLE, ONTARIO L6J 7W5  
P: 905.337.7249

**ARCHITECT:**

SAPLYS ARCHITECTS INC.  
55 ST. CLAIR AVE W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995

**CLIENT:**

401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7

PROFESSIONAL CERTIFICATION

PROJECT  
**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE  
**ELEVATION I - NORTH & EAST**

BY	CHECK	ISSUED FOR
MJA		ISSUED FOR SPA I
PROJECT NO.:	SHEET NO.:	
22-029		
SCALE:		
As indicated		
ISSUE DATE:		
23-04-14		

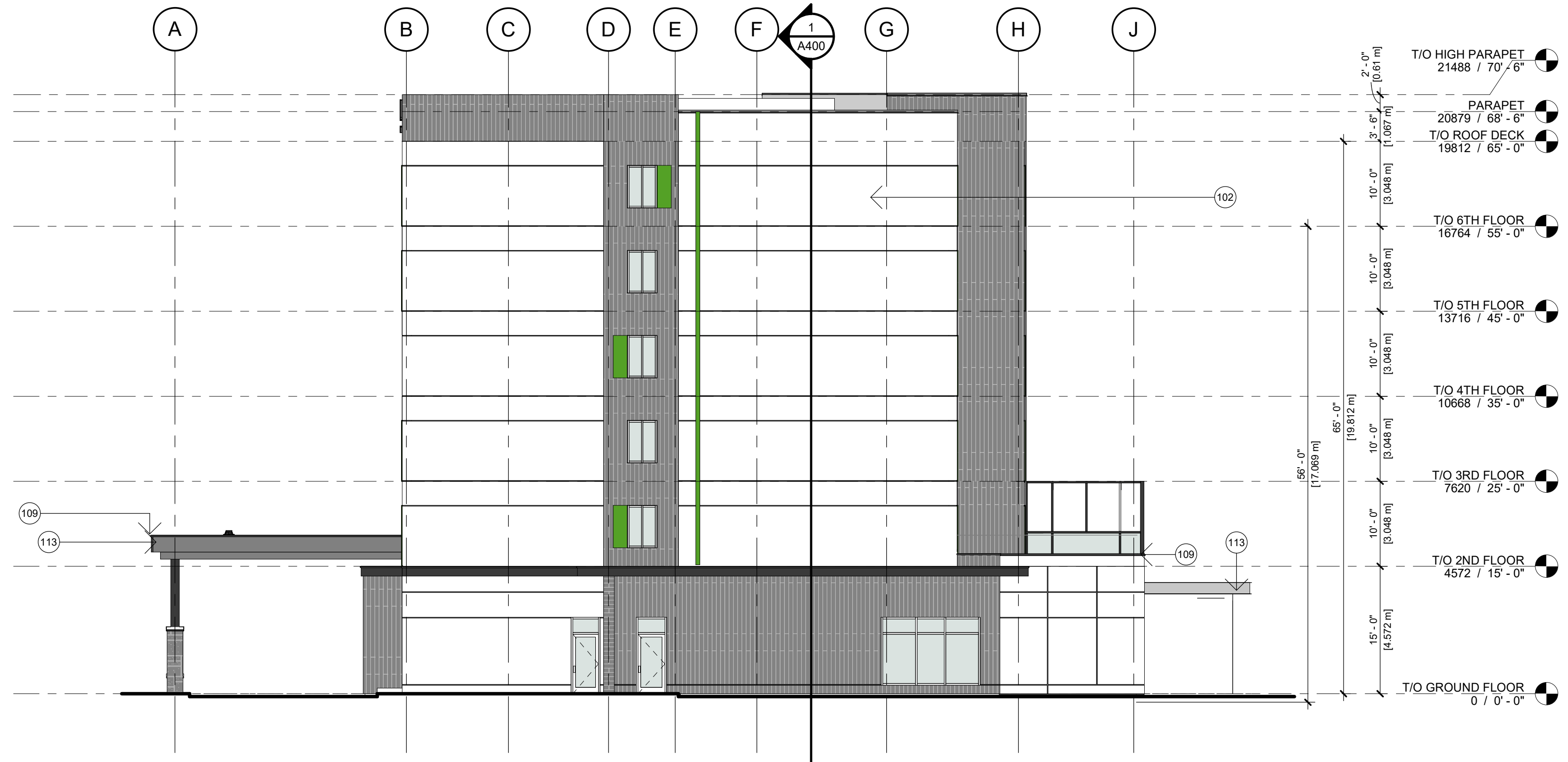
**A301** 2 SHEET ISSUE No.

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PLOT DATE: 2023-04-13 4:15:35 PM



1 SOUTH ELEVATION  
A302 3/32" = 1'-0"



2 WEST ELEVATION  
A302 3/32" = 1'-0"

**BIRD COLLISION DETERRENCE:**

- MINIMUM 90% OF ALL GLAZING FROM GRADE LEVEL TO 18M ABOVE GRADE TO RECEIVE 4mm VISUAL MARKERS APPLIED TO FIRST SURFACE OF THE GLASS WITH A MAXIMUM SPACING OF 50mm X 50mm AS PER OTTAWA BIRD SAFE DESIGN GUIDELINES, GUIDELINE 2.
- ALL EXTERIOR BUILDING LIGHTING TO BE:
  - DARK SKY COMPLIANT, FULL-CUTOFF
  - CONNECTED TO MOTION DETECTORS OR OTHER AUTOMATIC LIGHTING CONTROLS TO EXTINGUISH NON-ESSENTIAL LIGHTING BETWEEN 11PM AND 6AM
  - MINIMUM WATTAGE REQUIRED TO MEET ONTARIO BUILDING CODE
  - PER OTTAWA BIRD SAFE DESIGN GUIDELINES, GUIDELINE 6

**EXTERIOR ELEVATION LEGEND**

101	ALUMINIUM COMPOSITE MATERIAL (ACM) (COLOUR: GREY)
102	FIELD APPLIED EXTERIOR INSULATED FINISH SYSTEM (EIFS) WITH GROOVES (COLOUR: WHITE)
109	PREFINISHED METAL CAP FLASHING   FINISH: SEMI-GLOSS
110	EIFS (COLOUR: GREEN)
113	PREFINISHED ALUMINIUM PANELS

No.	By	Description	Date
2	MA	ISSUED FOR SPA I	23-04-14
1	MA	CLIENT REVIEW & APPROVAL	23-02-22

**ISSUANCE SCHEDULE**

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

**DEVELOPMENT CONSULTANT:**

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**ARCHITECT:**

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TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995

**CLIENT:**

401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7

PROFESSIONAL CERTIFICATION

PROJECT  
**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON

Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE  
**ELEVATION II - SOUTH & WEST**

BY: Author: ISSUED FOR SPA I

PROJECT NO.: S22-029 SHEET NO.:

SCALE: As indicated

ISSUE DATE: 23-04-14

**A302** 2 SHEET ISSUE No.

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PLOT DATE: 2023-04-13 4:15:39 PM



1 ISO 01  
A305



2 ISO 02  
A305



4 ISO 04  
A305



3 ISO 03  
A305

No.	By	Description	Date YY-MM-DD
2	MA	ISSUED FOR SPA I	23-04-14
1	MA	CLIENT REVIEW & APPROVAL	23-02-22

ISSUANCE SCHEDULE

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:

API CONSULTANTS INC.  
1484 CORNWALL ROAD, UNIT 7  
OAKVILLE, ONTARIO L6J 7W5  
P: 905.337.7249



ARCHITECT:

SAPLYS ARCHITECTS INC.  
55 ST. CLAIR AVE. W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995



CLIENT:

401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
Cambridge, ON  
N3H 4R7

PROFESSIONAL CERTIFICATION

PROJECT  
**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON

Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE  
**ISOMETRIC VIEWS**

BY: [ ] CHECK [ ] ISSUED FOR

Author Check ISSUED FOR SPA I

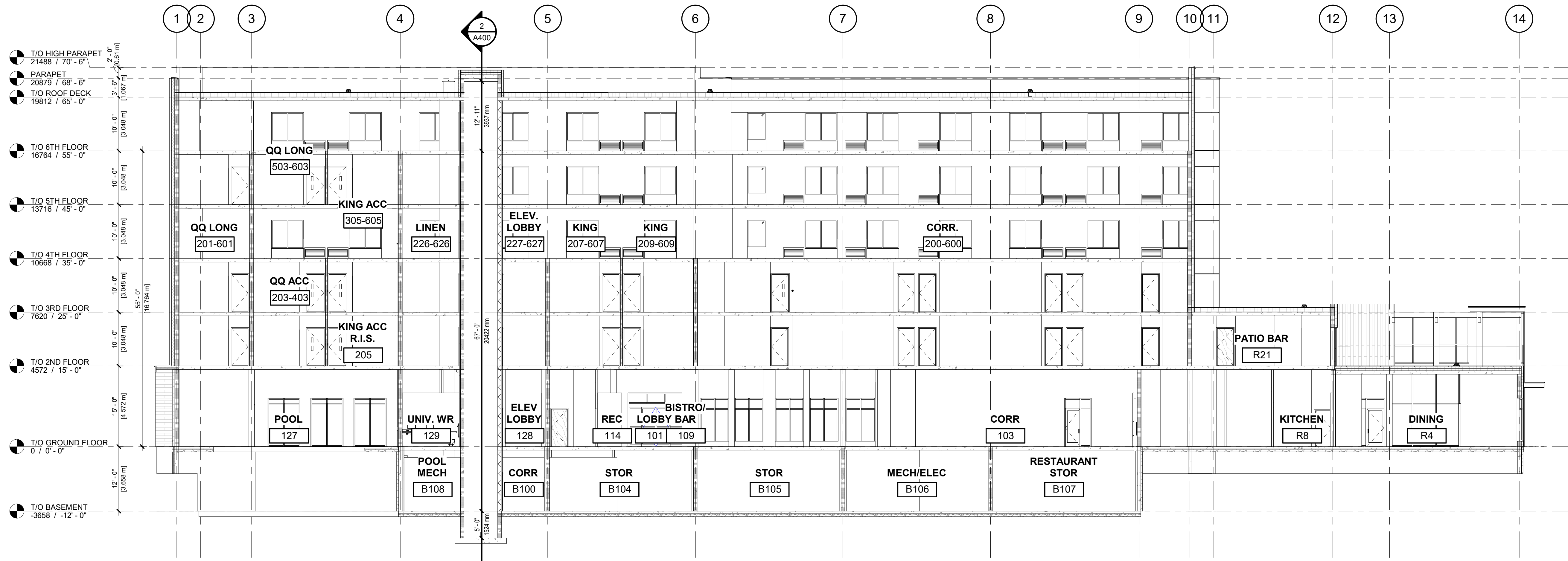
PROJECT NO.: S22-029 SHEET NO.:

SCALE:

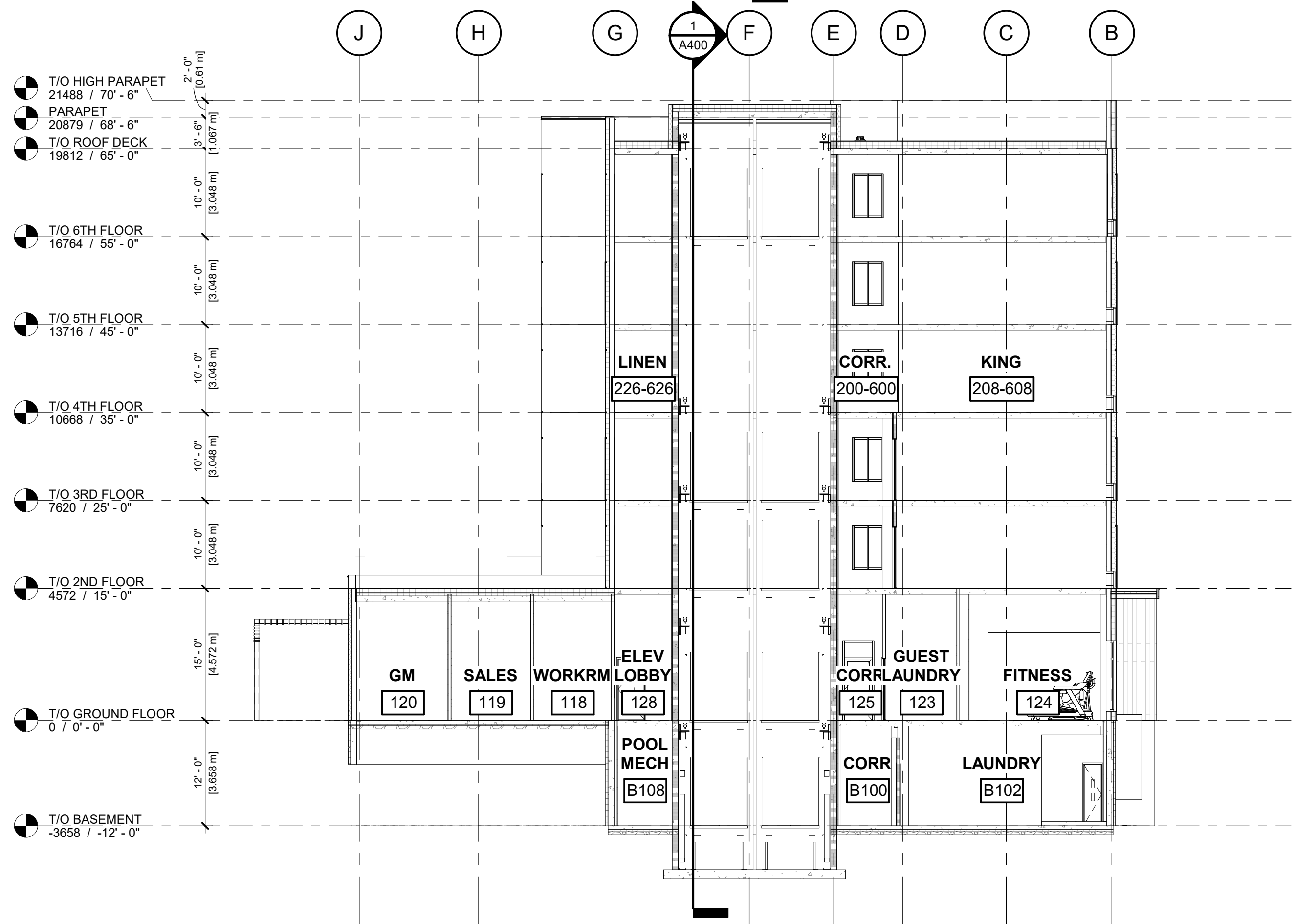
ISSUE DATE:

23-04-14

**A305** | 2  
SHEET  
ISSUE No.



**1 BUILDING SECTION 1**  
A400 3/32" = 1'-0"



**2 BUILDING SECTION 2**  
A400 3/32" = 1'-0"

No.	MA	ISSUED FOR SPA I	Date
1	MA	ISSUED FOR SPA I	23-04-14

**ISSUANCE SCHEDULE**

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**DEVELOPMENT CONSULTANT:**

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OAKVILLE, ONTARIO L6J 7W5  
P: 905.337.7249

**ARCHITECT:**

SAPLYS ARCHITECTS INC.  
55 ST. CLAIR AVE W., SUITE 205  
TORONTO, ONTARIO M4V 2Y7  
P: 905.510.0995

**CLIENT:**

401 REAL ESTATE TRUST INC  
2225 Eagle Street N  
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N3H 4R7

PROFESSIONAL CERTIFICATION

PROJECT  
**COURTYARD**  
BY MARRIOTT

KANATA - MARRIOTT COURTYARD & RESTAURANT (SHELL ONLY)

40 FRANK NICHBOR PLACE  
Kanata, ON  
Closest Major Intersection: Silver Seven Rd & Palladium Dr.

DRAWING TITLE  
**BUILDING SECTIONS**

BY: [ ] CHECK [ ] ISSUED FOR  
Author Check ISSUED FOR SPA I

PROJECT NO.: S22-029 SHEET NO.:

SCALE:  
3/32" = 1'-0"

ISSUE DATE:  
23-04-14

**A400** 1  
SHEET  
ISSUE No.

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