

Architectural Project Design Brief for:

Marriott Courtyard and Shell Restaurant

Project No.: 22-029

Project Location: 40 Frank Nighbor Place, Kanata, Ontario, Canada

Closest Major Intersection: Silver Seven Road & Palladium Drive

Client: 401 REAL ESTATE TRUST INC

Date of Brief: April 17, 2023

Version: 2.0

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Section 1

1.1 Application submission

- Type of application: Site Plan Control
 - Legal description: Part of Block 2, Registered Plan 4M-1012, City of Ottawa
 - Municipal address: 40 Frank Nighbor Place, Kanata, Ontario, Canada
 - Building Classification per OBC: 3.2.2 Group C & Group A2
 - Purpose of the application: Site Plan Approval
-
- Vision statement and goals: the development aims at introducing a mid-rise hotel with a contemporary look in a suburban area designated to mostly commercial and light industrial uses. It would be located in close proximity to Highway 417, thus making it highly accessible and easily visible from a major transportation route. In addition to providing new job positions in the area, the hotel would cater to the surrounding business park by offering convenient restaurant services to the workers nearby, plus a location for them to organize business events and conferences. Its vicinity to the Canadian Tire Centre would allow for comfortable accommodation near the venue during sport and cultural events.

1.2 Response to City Documents

The development is to be located on a land designated as “Mixed Industrial”, which according to the Official Plan, Policy 6.5, is meant as a transition zone between Industrial areas and Neighbourhoods/Corridors/Hubs. The same Policy also mentions that such designation is to host a broad mix of uses, as long as they do not have a high impact on or disrupt the surrounding neighbourhoods.

The subject of the following design brief is a mid-rise (6 storeys) hotel belonging to a well-known chain, with annexed restaurant and bar. The proposed building therefore conforms to the Official Plan by providing a non-residential service that can accommodate new local employment opportunities plus, according to Policy 6.5.3.1.a), it offers services that cater to both the occupants of the neighbouring residential areas and the employees of the Industrial and Logistics services nearby (“15-minute neighbourhoods” ideal according to future evolution plans of the Suburban Transect). The property falls in the Suburban West Transect, Schedule B5 of the Official Plan.

Furthermore, the property is zoned as IL6[1414] H(30-h), thus according to Part 15 – Urban Exceptions 1401-1500 of the *City of Ottawa Zoning By-Law 2008-250 Consolidation*, hotel and restaurant are both permitted land uses.

The lot does not fall under a Community Design Plan Area. Urban Design and Bird-Safe Design guidelines both apply to the future development illustrated in this brief, as further explained below.

“Development shall minimize conflict between vehicles and pedestrians and improve the attractiveness of the public realm by internalizing all servicing, loading areas, mechanical equipment and utilities into the design of the building, and by accommodating space on the site for trees, where possible. Shared service areas, and accesses should be used to limit interruptions along sidewalks. Where underground parking is not viable, surface parking must be visually screened from the public realm.” [Official Plan – Policy 4.6.5.3]

Response: all mechanical and electrical rooms are located in the basement, whilst the proposed gas meter location is to be screened with landscaping. The loading area is positioned outdoors but, due to the occasional use of such space, it is not anticipated that it will hinder the design quality of the building. There will be only two vehicular accesses to the property to minimize interruptions to municipal curbs and sidewalks. Parking is on grade but will be screened from the public realm by trees.

“Development shall demonstrate universal accessibility, in accordance with the City’s Accessibility Design Standards. Designing universally accessible places ensures that the built environment addresses the needs of diverse users and provides a healthy, equitable and inclusive environment.” [Official Plan – Policy 4.6.5.4]

Response: the building respects accessibility standards. There are 7 barrier-free parking stalls located near the main entrance, with flush curb connections. Tactile plates are placed on curb depressions around the hotel and restaurant entrances and the hotel amenities. The interiors are well equipped with accessible services, washrooms, and guest rooms.

“Mid-rise buildings shall be designed to respond to context, and transect area policies, and should:

- a) Frame the street block and provide mid-block connections to break up large blocks;*
- b) Include a base with active frontages, and a middle portion that relates to the scale and character of the surrounding buildings, or, planned context;*
- c) Be generally proportionate in height to the width of the right of way as illustrated in the Figure below, with additional height permitted in the Downtown Core Transect; and*
- d) Provide sufficient setbacks and step backs to:*
 - i) Provide landscaping and adequate space for tree planting;*
 - ii) Avoid a street canyon effect; and*
 - iii) Minimize microclimate impacts on the public realm and private amenity areas.” [Official Plan – Policy 4.6.6.7]*

Response: the building is adequately set back from the road and well inserted within its surrounding context of mixed-use developments. The volume presents different heights to easily locate the two main functions it hosts (hotel and restaurant), thus avoiding a boxlike look, with an active frontage on the ground floor that includes covered patios and landscaping solutions.

The development, though located in an Urban Area, is fairly close to an Urban Natural Feature, more specifically the Carp River (Schedule C-11A, Natural Heritage System West, Official Plan), thus potentially close to migratory patterns or natural habitats of bird species.

Response: it is important to minimize the impact of the new development by consulting and implementing Bird-Safe Design Guidelines. Below are the measures considered in the design of the building:

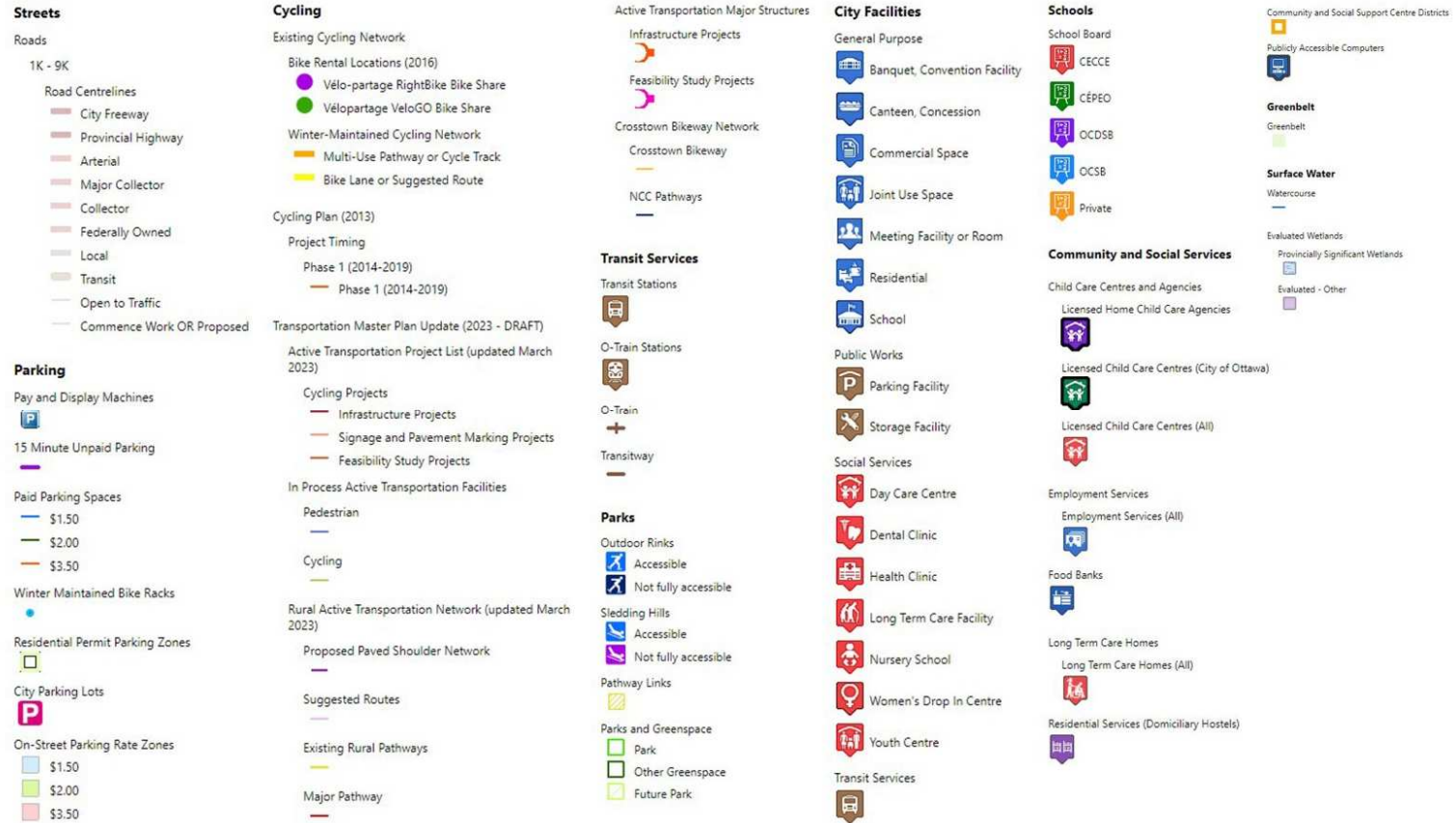
- Main axis runs East-West, thus major facades are oriented North and South, decreasing possibly harmful reflections on glazed surfaces during sunrise and sunset when the sun is lower on the horizon line.
- Structure makes minimal use of window walls in favour of regular windows, thus avoiding major stretches of glazed surfaces.

- Pergolas and shading solutions are applied over patios, effectively mitigating the impact of glazed surfaces that open up to such spaces.
- Minimum 90% of all glazing from grade level to 18m above grade will receive 4mm visual markers applied to first surface of the glass with a maximum spacing of 50mm x 50mm as per the *Ottawa Bird-Safe Design Guidelines* (Guideline 2).
- All exterior building lighting should be:
 - Dark sky-compliant, full cut-off;
 - Connected to motion detectors or other automatic lighting controls to extinguish non-essential lighting between 11pm and 6am;
 - Minimum wattage required to meet OBC standards;
 - Per Ottawa Bird Safe Design Guidelines (Guideline 6).

1.2 Context Plan

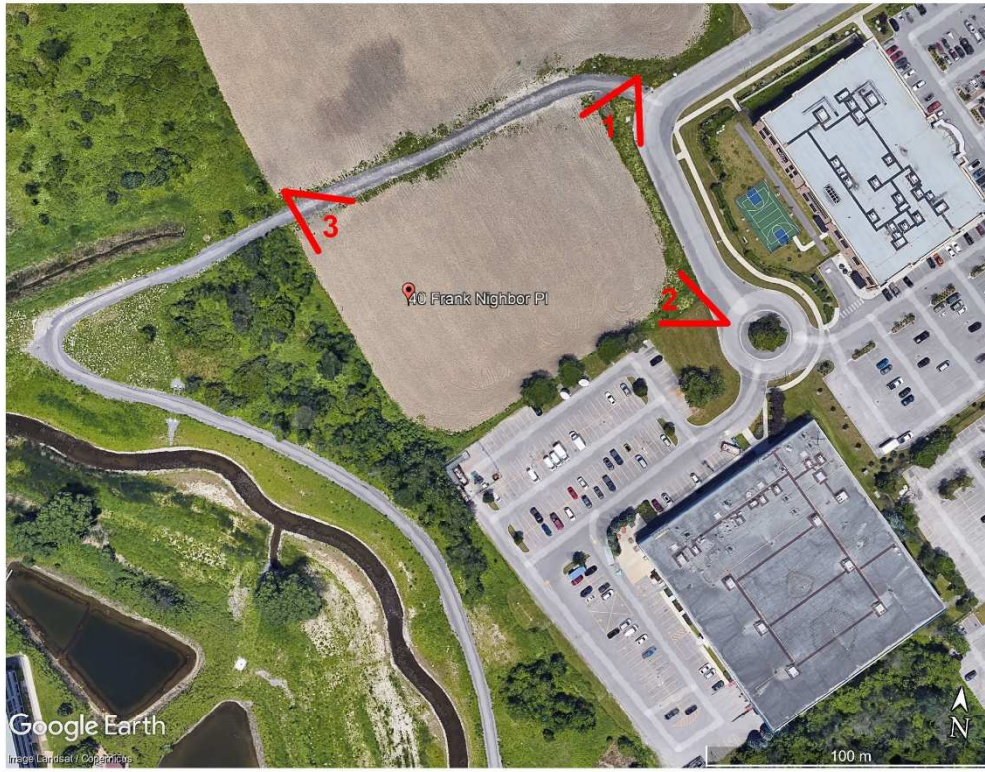


1 Contextual analysis within a 300m radius. Source: <https://maps.ottawa.ca/geottawa/>



2 Contextual analysis legend. Source: <https://maps.ottawa.ca/geottawa/>

Through the analysis of the above images, it is understood that the immediately surrounding areas within a 300m radius are mainly of commercial and light industrial use and do not offer much in terms of key destinations or focal points. Worth mentioning are Highway 417, north of the property, and the Carp River located west. Outside of the marked radius is where the residential areas and most of the public services are found. Walter Baker Park is located south-east of the property and offers a place to practice a variety of sports. A couple of schools and a daycare centre are also fairly close to the property, albeit over one kilometer away. Southwest of the prospective hotel, at just under 1.5 km distance, the Canadian Tire Centre hosts Ottawa Senators games, concerts, and various sporting events.



3 Site photos.
Source: Google
Maps. Annotated
to show
viewpoints.

VIEW FROM NORTH WEST, SHOWING EMPTY LOT AND PART OF TRAIL. A COMMERCIAL BUILDING IS VISIBLE IN THE BACKGROUND.



1 VIEW FROM NORTH EAST, SHOWING EMPTY LOT AND PART OF FRANK NIGHBOR PLACE



2 VIEW FROM SOUTH EAST, SHOWING EMPTY LOT AND PART OF FRANK NIGHBOR PLACE. A COMMERCIAL BUILDING IS VISIBLE IN THE BACKGROUND.

Section 2

2.1 Massing and scale

Below are all four elevations shown within context. The surroundings are currently not very developed. A few one-storey commercial buildings with extensive on grade parking occupy the neighbouring lots.



4 West elevation.



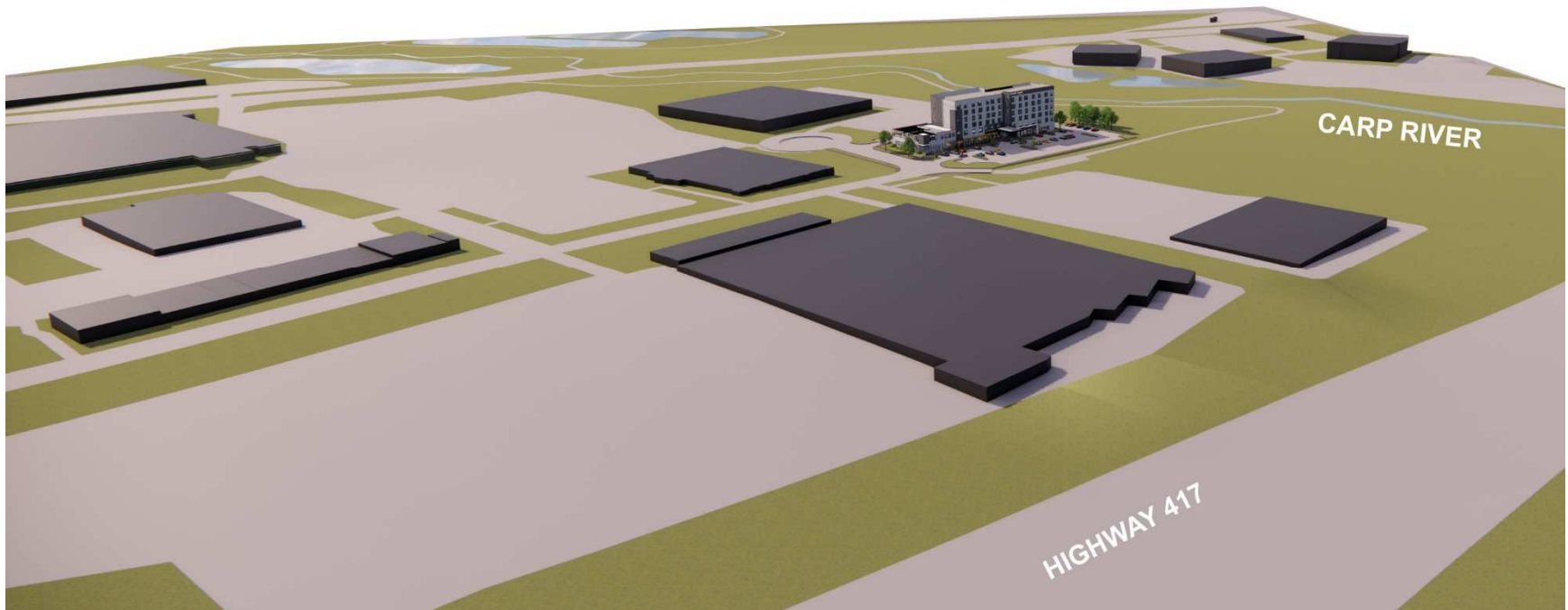
5 North elevation.



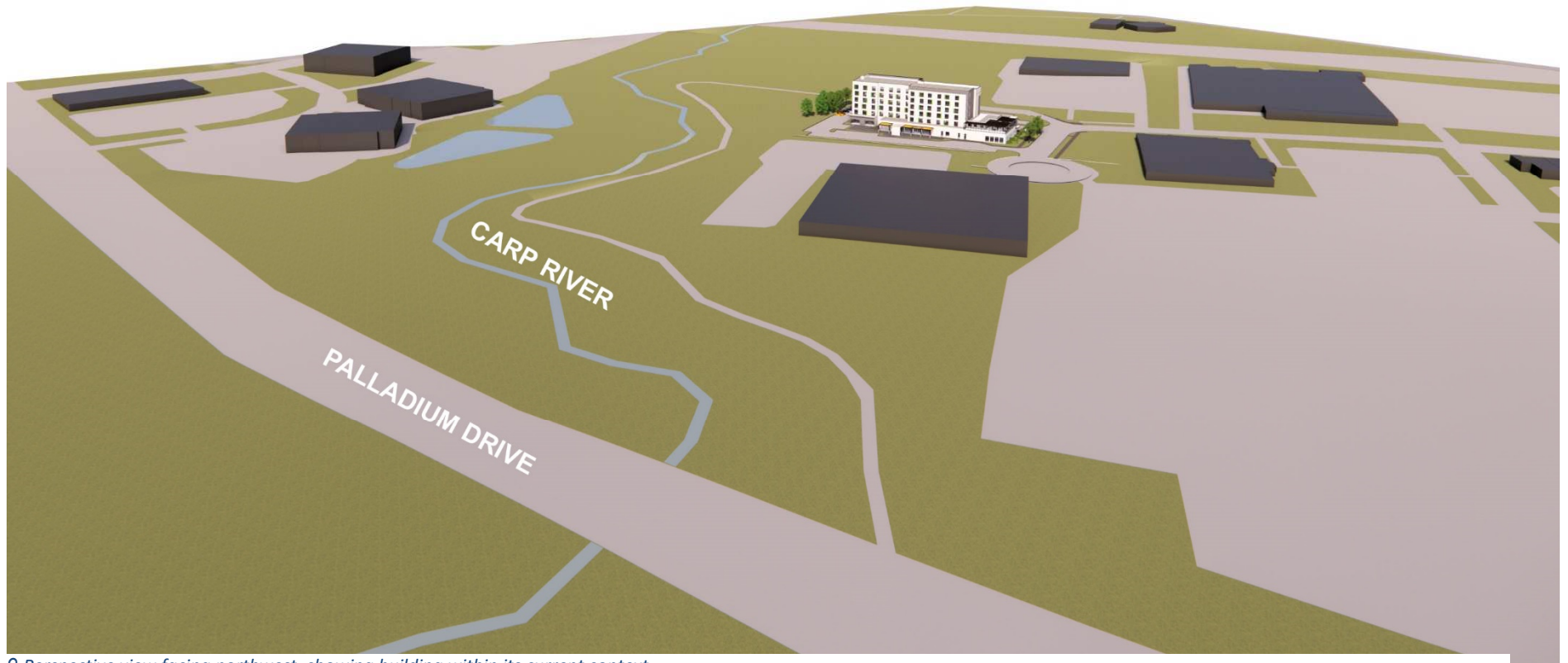
6 South elevation.



7 East elevation.



8 Perspective view facing southeast, showing building within its current context.



9 Perspective view facing northwest, showing building within its current context.

Grading: the property site is fairly flat, therefore grades are currently not an issue for the development.

Alternative building massing: the design has not undergone significant changes from its first conceptual massing due to the clear direction of the Brand requirements, which were taken into consideration from the start along with design quality necessities that are shared in most of the Province (e.g. Bird-safety concerns...).

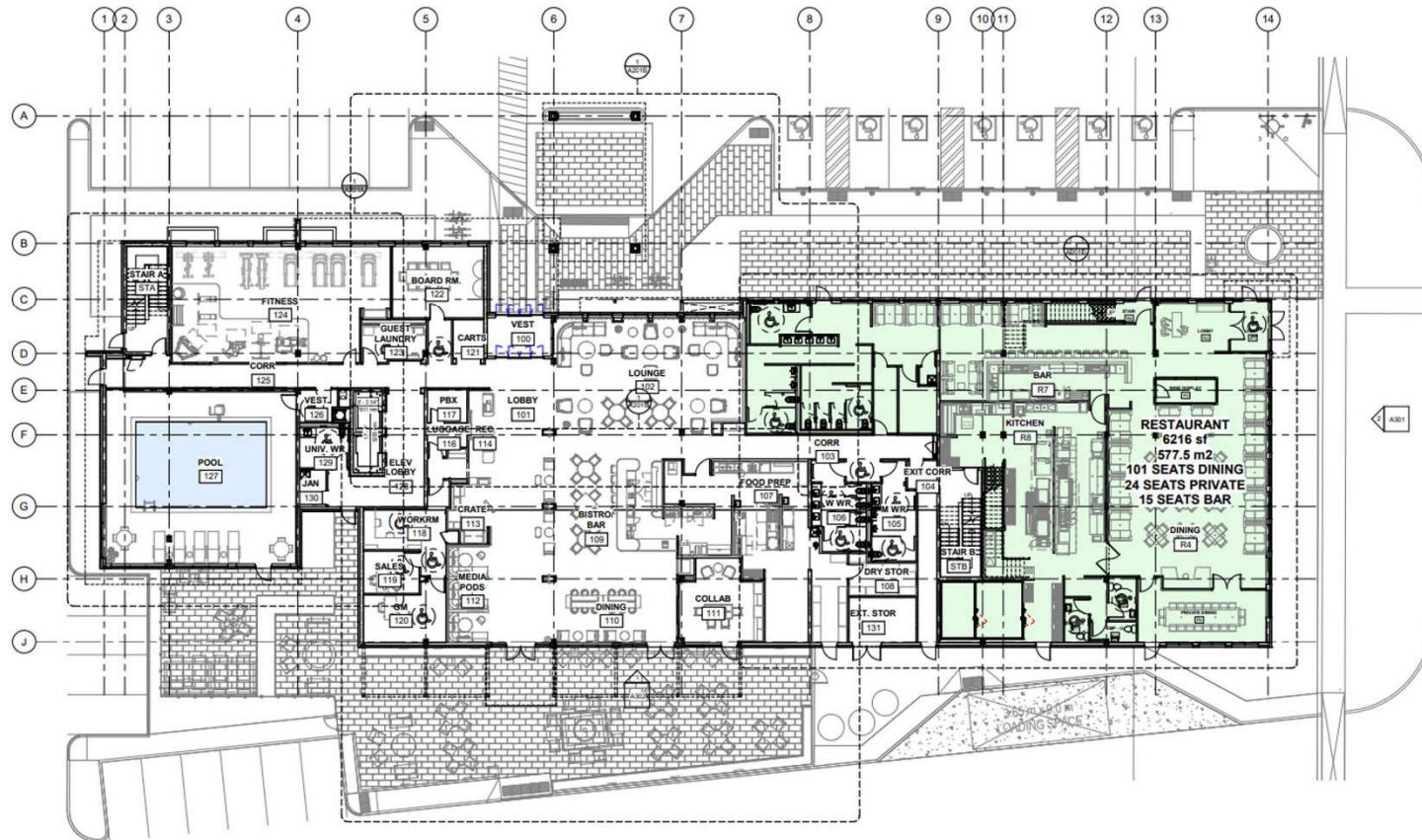
2.2 Public Realm

Streetscape: refer to attached street sections by Novatech.

Relationship to the public realm: below is an image illustrating the ground floor plan. The green hatch shows the area dedicated to the restaurant. Both main entrances (hotel and restaurant) are facing North, with decorative paving emphasizing the outdoor area related to each one.

The hotel amenities on the other hand are South facing. The curb gets larger towards southwest, following the shape of the site, thus making it possible to fit a covered patio to host the amenities.

Due to the nature of the nearby area, which hosts low-rise light industrial and commercial buildings, fairly distant from each other, there is currently no actual pedestrian focused realm in the vicinity. The area is more vehicle friendly and not designed to create a direct relationship with its users and between the buildings. Due to these factors, the development does not have specific elements it can relate to, and it aims at creating an autonomous environment within its own property boundaries.



10 Ground floor plan.

2.3 Building Design

Please refer to the attached architectural package for the visuals of this section.

As previously mentioned, the proposed building will accommodate a hotel and a restaurant in a single structure. The restaurant portion will rise to a height of just two storeys, with the top one hosting a covered patio which will enhance the aesthetic of the building as a whole. The part dedicated to the hotel and its amenities will be six storeys tall. Having this clear distinction in heights avoids giving the building a heavy boxlike look and makes it easier to identify the separate functions.

The exterior elevations follow the look imposed by Brand standards, which aim at a fresh and modern appearance for the contemporary traveller. Field applied white EIFS with grooves is alternated to green EIFS (the accent colour framing a few of the guest room windows). A grey aluminum composite material frames the facades with sleek patterns and linear light fixtures are applied to the East elevation (directed towards the vehicular accesses) to give it more visibility from the street.

The rear patio for the hotel amenities additionally provides movement to the structure and appealing features that create a smooth transition between indoor and outdoor spaces.

Below is additional information regarding the design and technical aspects of the development.

- Hotel Building with 115 units comprised of a mix of QQ Suites & King Suites.
- Of the suites, 10% will be barrier free per 2012 OBC 3.8.2.4.(1).
- There will be 2 MRL elevators serving all suite floors and sized to fit a stretcher. One elevator will be two-sided, serving the elevator lobby from the front on all levels and a Laundry Room on the Basement.
- Typical floors consist of the room mixes as noted in attached drawings/site plan.

Building Code and Zoning Considerations:

- The hotel will be built using non-combustible materials and comply with the most current version of the Ontario Building Code (with all applicable amendments to date) at time of building permit application submission.
- Elevators will comply with the Ontario Building Code and Ontario's TSSA requirements.

Envelope & Roofing (Thermal and Moisture Protection):

- Exterior envelope to meet current 2012 Ontario Building Code SB-10 Division 3; for electric space heating: 1.1.5.(1) Table SB 5.5-7-2017 for Climatic Zone No. 7, Group C - Residential, min. R-Values:
 - Walls Above Grade – Mass: R-20 ci
 - Walls Above Grade – Steel Framed: Min R-13 + R-20 ci;
 - Roofs with insulation entirely above deck: Min R-40 ci;
 - Floors: unheated slab-on-grade: R-10 full slab.
- Cavity insulation: spray polyurethane foam insulation/air barrier: medium density closed cell having an R value of 11.24 per 2 inches.
- Argon filled double glazing with low E-coating on all guestroom windows.
- Drainage mat - Delta Drain system for below grade foundation walls, and beneath slab on grade or as recommended by the Geotechnical report.
- Panelized EIFS for exterior façade.
- Stone veneer or ACM material accent panels where noted on elevations.
- Roofing – Single-ply membrane (white).
- Store-front glazing system around Ground Floor where noted on the elevations. Punched windows elsewhere.

Structural System:

- Geotechnical Report to be prepared.
- Foundation System – as per future geotechnical report requirements, but minimum footings designed to an SLS bearing pressure of 300 kPa (450 kPa ULS) with all exterior footings or footings in unheated areas should be located at least 1.2m below finished grade for frost protection.
- Precast load bearing walls with PC concrete floor slabs.
- Concrete slab-on-grade with rigid insulation underneath as per OBC SB-10.

Mechanical and Electrical Systems:

- Pad mounted transformer sized to support the Hotel per brand requirements.
- Hotel to use PTAC (through wall units) integrated with glazing for all guest rooms.
- MUA units (rooftop mounted) will provide fresh air to corridors on all floors for hotel component (excluding ground floor).
- Ground floor to use a split system heating/cooling – natural gas fired.
- Complex is completely sprinklered.
- Plumbing fixtures- Kohler trim; Moen throughout.

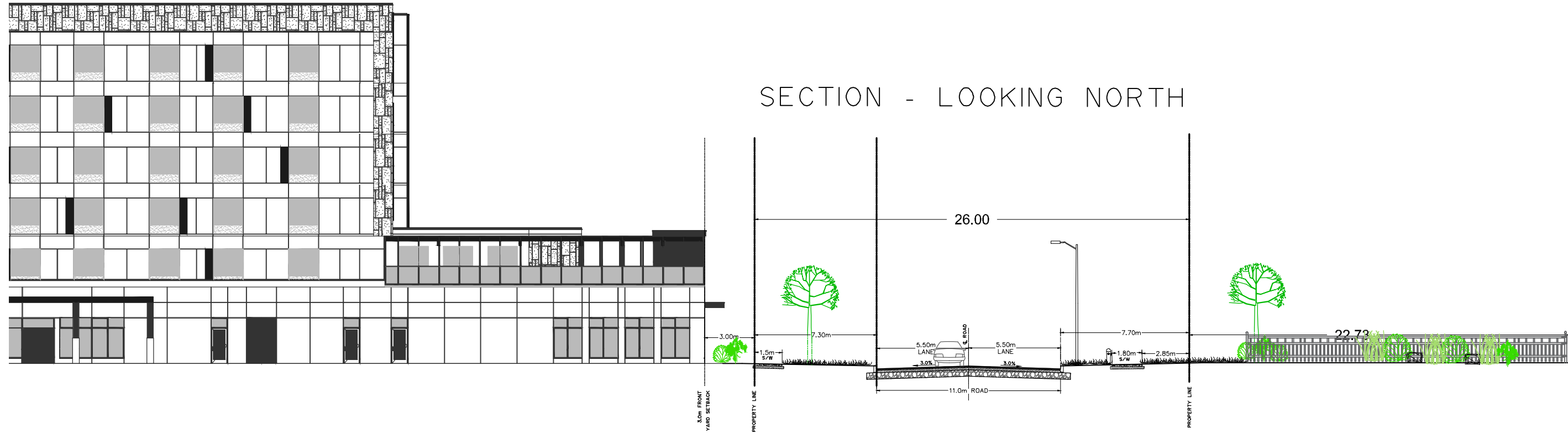
2.4 Sustainability

The site is equipped with 5 electric vehicles charging stations, to serve a total of 10 parking stalls. Garbage is stored in deep well garbage units (Molok type – see image below) outdoor, at rear of the building.

Basic Container



11 Source: <https://www.marinelittersolutions.com/wp-content/uploads/2016/02/molok.jpg>



SECTION - LOOKING NORTH

Frank Nighbor Place (26.0m ROW)

Existing
Movati
Athletic

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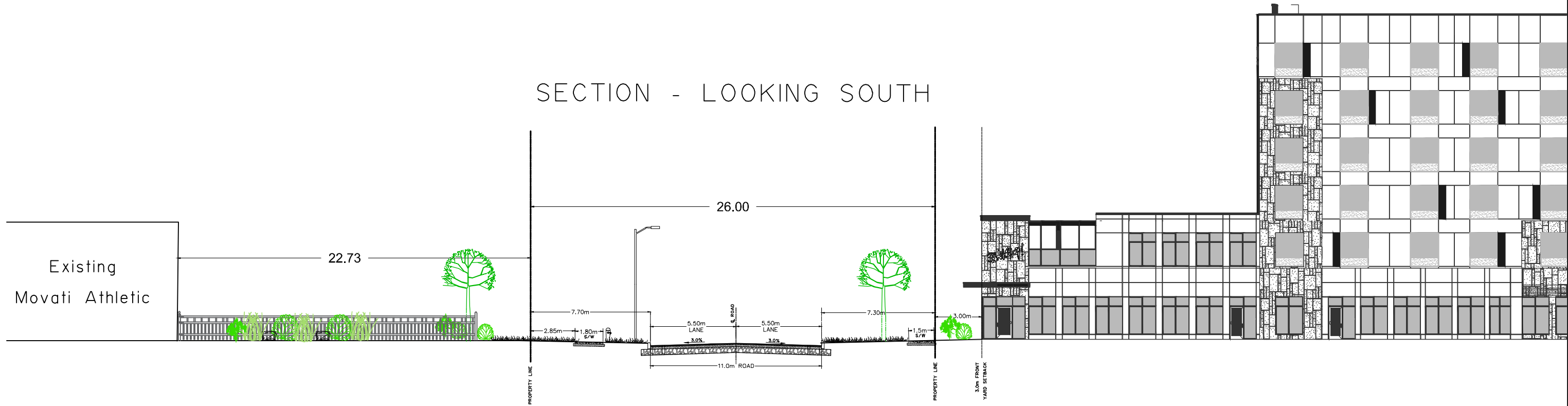
COURTYARD by MARRIOTT
40 FRANK NIGHBOR PLACE

CROSS-SECTION
LOOKING NORTH

SCALE 1 : 250

DATE APR, 2023 JOB 123002 FIGURE 123002-Figure

SECTION - LOOKING SOUTH



Frank Nighbor Place (26.0m ROW)

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COURTYARD by MARRIOTT
40 FRANK NIGHBOR PLACE

CROSS-SECTION
LOOKING SOUTH

SCALE 1 : 250

DATE APR, 2023 JOB 123002 FIGURE 123002-Figure