

NEW SITE PLAN GENERAL NOTES:

- A. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- B. DO NOT SCALE THIS DRAWING
- C. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- D. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- E. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- F. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- G. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- H. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- I. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED
- J. PROVIDE TEMPORARY HOARDING AND FACING AROUND CONSTRUCTION SITE FOR PERIOD OF WORK
- K. PROTECT EXISTING TREES FROM DAMAGE FOR PERIOD OF WORK

NEW SITE PLAN KEYNOTES:

- 1 EXISTING HYDRO KIOSK
- 2 EXISTING HYDRO METERS AT WOODEN BOX
- 3 EXISTING BUILDING ABOVE
- 4 EXISTING CURB TO REMAIN
- 5 EXISTING PARKING PAVING TO REMAIN
- 6 EXISTING SIDEWALK TO REMAIN

- 30 NEW CURB
- 31 NEW CANOPY OVERHANG ABOVE (DASHED)
- 32 NEW COLUMN
- 33 NEW BOLLARD LIGHT PER LANDSCAPING
- 34 BENCH
- 35 NEW TRANSFORMER AND SWITCH PER ELECTRICAL
- 36 ADJUSTS UNDERGROUND HYDRO LINES PER ELECTRICAL AFTER HYDRO KIOSK REMOVAL PER ELECTRICAL
- 37 NEW CATCH BASING. ADJUST STORM WATER LINE AS REQUIRED
- 38 FIRE ROUTE
- 39 NEW PARKING
- 40 NEW DROPPED CURB AND SIDEWALK RAMP
- 41 NEW DROPPED CURB AND ACCESSIBLE CURB RAMP C/W COLOUR CONTRASTING TACTILE ATTENTION INDICATOR INTEGRATED IN DETECTABLE WARNING SURFACE AT ENTRY INTO VEHICULAR ROUTE
- 42 NEW BIKE PACKING SPACES
- 43 NEW ASPHALT SIDEWALK
- 44 SNOW STORAGE AREA
- 45 AIR WELL COMPLETED WITH GRATING
- 46 NEW ASPHALT PAVING ALONG NEW CURB
- 47 PROVIDE COMPACTED TRENCH BACKFILL PER GEOTECHNICAL. REINSTATE ASPHALT PAVING AND BASE COURSES. ASPHALT PAVEMENT PER GEOTECHNICAL. PROVIDE GUARDS TO PROTECT AREA OF WORK FROM VEHICULAR AND PUBLIC ACCESS DURING CONSTRUCTION.
- 48 NEW LANDSCAPING WALL
- 49 NEW SWALE PER CIVIL

NEW SITE PLAN LEGEND:

	EXISTING BUILDING
	PROPOSED BUILDING
	NEW ASPHALT PAVING
	EXISTING ASPHALT PAVING
	NEW GRASS
	NEW CONCRETE SIDEWALK
	NEW CONCRETE PAD
	NEW PAVER TYPE 1
	NEW PAVER TYPE 2
	EXISTING CEDAR HEDGE
	SNOW STORAGE AREA
	EMERGENCY EXIT
	SERVICE DOORS
	BUILDING MAIN ENTRANCE
	PROPERTY LINE
	PARCEL MAIN BOUNDARY LINE
	PARCEL STANDARD BOUNDARY LINE
	SET BACK LINE
	NEW FENCE PER LANDSCAPE
	EXISTING CHAIN LINK FENCE
	EXISTING BOARD FENCE
	EXISTING WATER
	NEW WATER
	EXISTING SANITARY
	NEW SANITARY
	EXISTING STORM
	NEW STORM
	EXISTING ELECTRICAL SERVICE (BELOW GRADE)
	NEW ELECTRICAL SERVICE (BELOW GRADE)
	EXISTING BELL SERVICE (BELOW GRADE)
	EXISTING GAS
	NEW GAS
	CATCH BASIN
	CATCH BASIN EXISTING
	LIGHT STANDARD
	LIGHT STANDARD EXISTING
	FIRE HYDRANT
	FIRE HYDRANT EXISTING
	MANHOLE
	MANHOLE EXISTING
	UTILITY POLE
	UTILITY POLE EXISTING
	WATER VALVE CHAMBER EXISTING
	WATER VALVE EXISTING
	WATER VALVE
	GAS VALVE EXISTING
	NEW LANDSCAPE CATCH BASIN
	NEW CURB INTAKE CATCH BASIN
	SIAMESE CONNECTION
	EXISTING SIGN TO REMAIN
	NEW SIGN
	DROPPED CURB
	NEW TREE PER LANDSCAPING
	NEW SHRUB PER LANDSCAPING
	EXISTING TREE

1 PROPOSED SITE PLAN
A100 1:200

LEGAL DESCRIPTION 1. ALL OF BLOCKS N, O, & P AND PART OF BLOCK Q REGISTERED PLAN 4M-153 AND PART OF LOT 5 CONCESSION 2 (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA 2. TOPOGRAPHIC SKETCH OF PART OF BLOCK O REGISTERED PLAN 4M-153 CITY OF OTTAWA	SITE AREA BUILDING AREA GROSS FLOOR AREA BUILDING HEIGHT ZONE SCHEDULE 1 SCHEDULE 2	16 946m ² (TBC) 825m ² 4926m ² 18m / 6 STOREYS R5B (H18) AREA C N/A	ZONING PROVISION MIN. LOT WIDTH MIN. LOT AREA MIN. FRONT YARD SETBACK MIN. CORNER YARD SETBACK MIN. REAR YARD SETBACK MIN. INTERIOR YARD SETBACK MAX. HEIGHT AMENITY AREA LANDSCAPED AREA MINIMUM SETBACK OF WALL OF RESIDENTIAL BUILDING TO PRIVATE WAY MINIMUM SEPARATION AREA BETWEEN BUILDINGS IN A PLANNED UNIT DEVELOPMENT	REQUIRED N/A 1400m ² 3.0m N/A 7.5m 7.5m 18m 270m ² + TBD 762.3m ² 1.8m 3.0m	PROVIDED 34.5m 2541m ² N/A N/A 7.6m 7.6m 18m 79.3m ² Interior 191m ² Exterior 1302m ² 1.8m 4.0m	PARKING QUEING + LOADING RESIDENTIAL SPACES VISITOR SPACES ACCESSIBLE PARKING BICYCLE PARKING GARBAGE COLLECTION: • GARBAGE 11yard: 3x4 Yd. bins • GMP 0.81 yds • FIBER 2.8 yds • COMPOST 1x240L Cart	REQUIRED 54 9 45 54 77	PROVIDED 54 9 2 77
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MUNICIPAL ADDRESS:
1 FINCH PRIVATE, OTTAWA, ON

DEVELOPMENT #007-12-23-0063
PLAN #18989

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QUASAR CONSULTING GROUP
1025-130 SLATER STREET
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STAMP

3	2023/10/12	ISSEUD FOR SPC RESUBMISSION
1	2023/05/11	ISSUED FOR SPCA
REV DATE	ISSUE	

NOTES

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CLIENT

OTTAWA COMMUNITY HOUSING
OTTAWA
ONTARIO, CANADA

PROJECT

OCH SHEARWATER APARTMENTS

1 FINCH PRIVATE, OTTAWA, ON

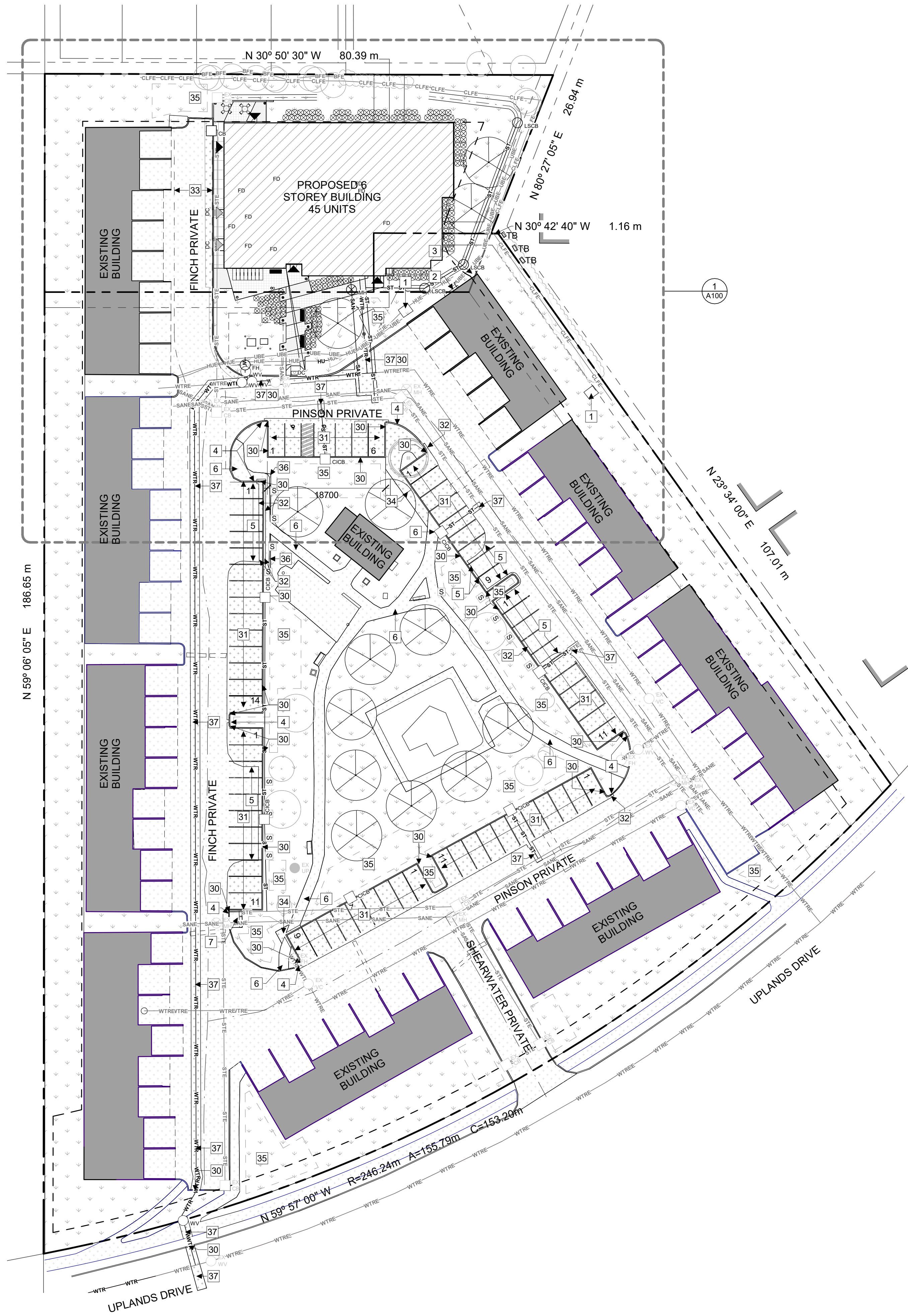
TITLE

PROPOSED SITE PLAN

PROJECT NO: 2022-1430
DRAWN: AL / LCB / IK
APPROVED: JS
SCALE: 1 : 200
DATE PRINTED: 10/12/2023 4:07:51 PM

REV DRAWING NO.

3 A100



1 PROPOSED OVERALL SITE PLAN
A101 | 1:400

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- 4 EXISTING CURB TO REMAIN
- 5 EXISTING PARKING PAVING TO REMAIN
- 6 EXISTING SIDEWALK TO REMAIN
- 7 EXISTING MAIL BOXES AND PAVING TO REMAIN

- 30 NEW CURB
- 31 NEW PARKING
- 32 REINSTATE ASPHALT PAVING AFTER CURB CONSTRUCTION. MATCH EXISTING ADJACENT ASSEMBLY AND LEVEL.
- 33 FIRE ROUTE
- 34 NEW ASPHALT SIDEWALK
- 35 SNOW STORAGE AREA
- 36 NEW SIDEWALK ASPHALT PAVING WIDENING TO ACHIEVE 1100mm SIDEWALK MINIMUM. EXCAVATE AS REQUIRE. PROVIDE COMPACTED GRANULAR SUB BASE AS REQUIRED. MATCH EXISTING ADJACENT ASSEMBLY
- 37 PROVIDE COMPACTED TRENCH BACKFILL PER GEOTECHNICAL. REINSTATE ASPHALT PAVING AND BASE COURSES. ASPHALT PAVEMENT PER GEOTECHNICAL. PROVIDE GUARDS TO PROTECT AREA OF WORK FROM VEHICULAR AND PUBLIC ACCESS DURING CONSTRUCTION

DEMOLITION SITE PLAN LEGEND:

- EXISTING BUILDING TO REMAIN
- REMOVE EXISTING BUILDING
- NEW ASPHALT PAVING
- EXISTING ASPHALT PAVING TO REMAIN
- NEW GRASS
- NEW CONCRETE SIDEWALK
- NEW CONCRETE PAD
- NEW PAVER TYPE 1
- NEW PAVER TYPE 1
- EXISTING CEDAR HEDGE
- SNOW STORAGE AREA

- EMERGENCY EXIT
- SERVICE DOORS
- MAIN ENTRANCE
- PROPERTY LINE
- PARCEL MAIN BOUNDARY LINE
- PARCEL STANDARD BOUNDARY LINE
- SET BACK LINE
- NEW FENCE PER LANDSCAPING
- EXISTING CHAIN LINK FENCE
- EXISTING BOARD FENCE
- EXISTING WATER
- NEW WATER
- EXISTING SANITARY
- NEW SANITARY
- EXISTING STORM
- NEW STORM
- EXISTING ELECTRICAL SERVICE (BELOW GRADE)
- NEW ELECTRICAL SERVICE (BELOW GRADE)
- EXISTING BELL SERVICE (BELOW GRADE)
- EXISTING GAS
- NEW GAS

- CATCH BASIN
- CATCH BASIN EXISTING
- LIGHT STANDARD
- LIGHT STANDARD EXISTING
- FIRE HYDRANT
- FIRE HYDRANT EXISTING
- MANHOLE TO
- MANHOLE EXISTING
- UTILITY POLE
- UTILITY POLE EXISTING
- WATER VALVE CHAMBER EXISTING
- WATER VALVE EXISTING
- WATER VALVE
- GAS VALVE EXISTING
- NEW LANDSCAPE CATCH BASIN
- NEW CURB INTAKE CATCH BASIN
- SIAMESE CONNECTION
- DROPPED CURB
- EXISTING SIGN TO REMAIN
- NEW SIGN
- NEW TREE PER LANDSCAPING
- NEW SHRUB
- EXISTING TREE

STAMP

REV DATE	ISSUE
3	2023/10/12 ISSEUD FOR SPC RESUBMISSION
1	2023/05/11 ISSUED FOR SPCA

NOTES

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CLIENT

OTTAWA COMMUNITY HOUSING
OTTAWA
ONTARIO, CANADA

PROJECT

OCH SHEARWATER APARTMENTS
1 FINCH PRIVATE, OTTAWA, ON

TITLE

PROPOSED OVERALL SITE PLAN

PROJECT NO: 2022-1430
DRAWN: AL / LCB / IK
APPROVED: JS
SCALE: 1:400
DATE PRINTED: 10/12/2023 4:08:12 PM

REV 3 DRAWING NO. A101



GENERAL REFERENCE PLAN NOTES:

- A. ALL WINDOWS ARE DIMENSIONED TO CENTERLINE OF WINDOW OPENING, UNLESS OTHERWISE NOTED.
- B. ALL DOORS ARE DIMENSIONED TO CENTERLINE OF DOOR OPENING, INCLUDING SIDELIGHT FRAMING, UNLESS OTHERWISE NOTED.
- C. ALL EXTERIOR WALLS ARE DIMENSIONED TO EXTERIOR FACE OF CLADDING, UNLESS OTHERWISE NOTED.
- D. ALL INTERIOR DIMENSIONS ARE DIMENSIONED FROM INTERIOR FINISHED FACES OF EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
- E. ALL INTERIOR WALLS ARE DIMENSIONED TO CENTERLINE OF PARTITION, UNLESS OTHERWISE NOTED. CONSIDER OFFSET FROM PARTITION CENTERLINE TO STUD FRAMING CENTER BASED ON WALL ASSEMBLY.
- F. MOVABLE FURNITURE BY OTHERS

REFERENCE PLAN KEYNOTES:

- 1 COLUMN PER STRUCTURAL
- 2 CANOPY ABOVE

STAMP

REV DATE	ISSUE
3 2023/10/12	ISSEUD FOR SPC RESUBMISSION
2 2023/09/12	ISSUED FOR 33%



NOTES

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CLIENT

OTTAWA COMMUNITY HOUSING
OTTAWA
ONTARIO, CANADA

PROJECT

OCH SHEARWATER APARTMENTS

1 FINCH PRIVATE, OTTAWA, ON

TITLE

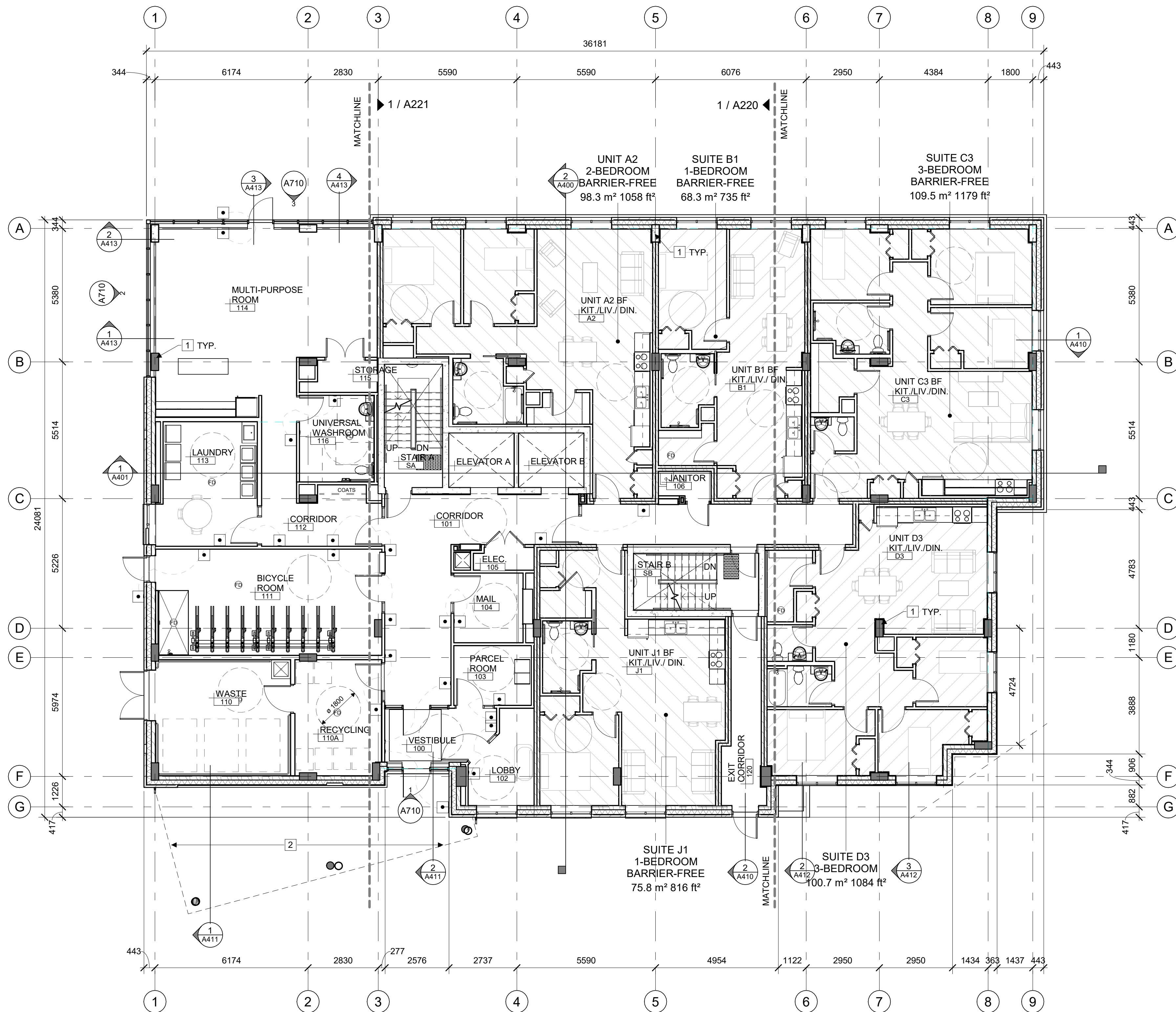
GROUND FLOOR REFERENCE PLAN

PROJECT NO: 2022-1430
DRAWN: AL / LCB / IK
APPROVED: JS
SCALE: 1 : 100
DATE PRINTED: 10/12/2023 4:08:20 PM

REV DRAWING NO.

3 **A202**

#D07-12-23-0063
#18989



1 GROUND FLOOR REFERENCE PLAN
A202 1:100

REFERENCE PLAN LEGEND:

- STRUCTURAL ELEMENTS
- DOOR ACTUATOR BUTTON
- DOOR ACTUATOR OPERABLE DOOR
- BARRIER-FREE CLEARANCE



STAMP

REV	DATE	ISSUE
3	2023/10/12	ISSEUD FOR SPC RESUBMISSION
1	2023/05/11	ISSUED FOR SPCA

NOTES
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CLIENT
OTTAWA COMMUNITY HOUSING
OTTAWA
ONTARIO, CANADA

PROJECT
OCH SHEARWATER APARTMENTS

1 FINCH PRIVATE, OTTAWA, ON

TITLE
DEMOLITION SITE PLAN

PROJECT NO: 2022-1430
DRAWN: IK / LB
APPROVED: JS
SCALE: 1 : 200
DATE PRINTED: 10/12/2023 4:08:23 PM

REV DRAWING NO.

3 **D100**

#18989

DEMOLITION SITE PLAN GENERAL NOTES:

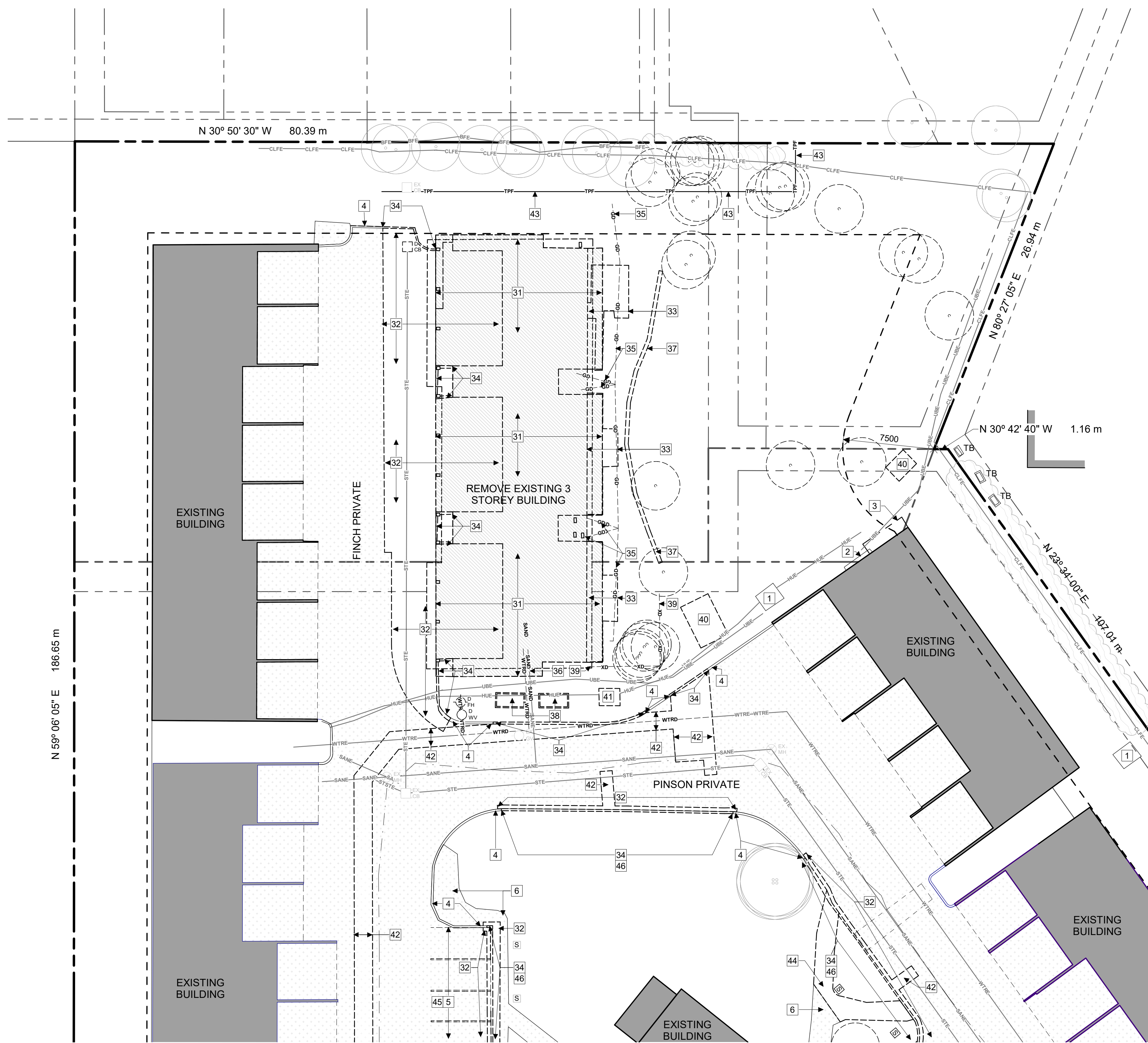
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- PROTECT EXISTING TREES FROM DAMAGE FOR PERIOD OF WORK

DEMOLITION SITE PLAN KEYNOTES:

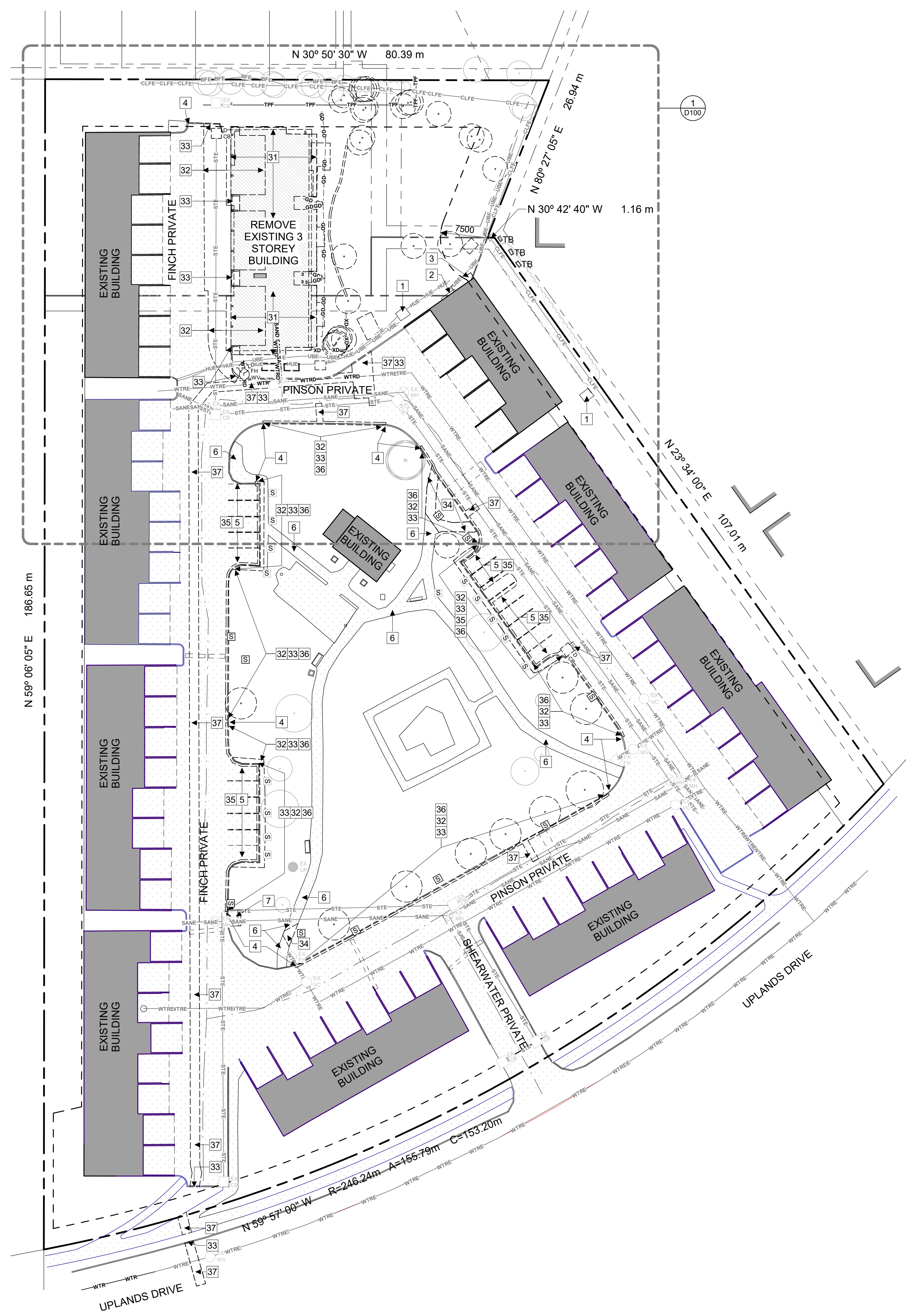
- EXISTING HYDRO KIOSK
- EXISTING HYDRO METERS AT WOODEN BOX
- EXISTING BUILDING ABOVE
- EXISTING CURB TO REMAIN
- EXISTING PARKING PAVING TO REMAIN
- EXISTING SIDEWALK TO REMAIN
- REMOVE EXISTING 3 STOREY DWELLING UNITS BUILDING C/W VINYL AND WOOD SIDING, FOUNDATIONS, BALCONIES AND OVERHANGS. PROTECT ACCESS TO THE ADJACENT PROPERTIES AND HOUSING DURING DEMOLITION AND CONSTRUCTION.
- REMOVE PORTION OF EXISTING ASPHALT PAVING
- REMOVE EXISTING PATIO
- REMOVE EXISTING CURB
- REMOVE EXISTING GAS LINE AND ASSOCIATED EQUIPMENT
- REMOVE PORTION OF EXISTING SANITARY SEWAGE
- REMOVE EXISTING RETAINING WALL
- REMOVE EXISTING PLANTER
- REMOVE EXISTING BOARD FENCE
- REMOVE EXISTING SHED
- REMOVE EXISTING HYDRO KIOSK
- REMOVE EXISTING ASPHALT PAVING AND BASE COURSES, AND EXCAVATE AS REQUIRED FOR NEW SERVICE TRENCHES. CUT EXISTING ASPHALT PAVING IN STRAIGHT LINES FOR REMOVAL. PROTECT EXISTING ASPHALT ASSEMBLIES. PROVIDE GUARDS TO PROTECT AREA OF WORK FROM VEHICULAR AND PUBLIC ACCESS DURING DEMOLITION AND CONSTRUCTION.
- PROVIDE TREE PROTECTION FENCE FOR TIME OF DEMOLITION AND NEW CONSTRUCTION
- REMOVE PORTION OF EXISTING SIDEWALK AS REQUIRED FOR NEW CONSTRUCTION
- REMOVE EXISTING PARKING SPOT LAYOUT PAINTING
- EXCAVATE AS REQUIRED FOR NEW PARKING CONSTRUCTION. PROTECT AND REINSTATE TOP SOIL AND VEGETATION AT ADJACENT AREAS.

DEMOLITION SITE PLAN LEGEND:

- EXISTING BUILDING TO REMAIN
- REMOVE EXISTING BUILDING
- DEMOLISHED OBJECTS
- EXISTING ASPHALT PAVING TO REMAIN
- EXISTING CEDAR HEDGE
- PROPERTY LINE
- PARCEL MAIN BOUNDARY LINE
- PARCEL STANDARD BOUNDARY LINE
- SET BACK LINE
- EXISTING CHAIN LINK FENCE
- EXISTING BOARD FENCE
- FENCE TO DEMOLISH
- TREE PROTECTION FENCE
- EXISTING WATER
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- FIRE HYDRANT EXISTING
- MANHOLE TO DEMOLISH
- MANHOLE EXISTING
- UTILITY POLE TO DEMOLISH
- UTILITY POLE EXISTING
- WATER VALVE CHAMBER EXISTING
- WATER VALVE EXISTING
- WATER VALVE TO DEMOLISH
- EXISTING SIGN TO REMAIN
- EXISTING SIGN TO REMOVE
- TREE TO DEMOLISH
- EXISTING SHRUB
- EXISTING TREE



1 DEMOLITION SITE PLAN
D100 1:200



1 OVERALL DEMOLITION SITE PLAN
D101 1:400

DEMOLITION SITE PLAN GENERAL NOTES:

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- 5 EXISTING PARKING PAVING TO REMAIN.
- 6 EXISTING SIDEWALK TO REMAIN.
- 7 EXISTING MAIL BOXES AND PAVING TO REMAIN

- 31 REMOVE EXISTING 3 STOREY DWELLING UNITS BUILDING CWV VINYL AND WOOD SIDING, FOUNDATIONS, BALCONIES AND OVERHANGS. PROTECT ACCESS TO THE ADJACENT PROPERTIES AND HOUSING DURING DEMOLITION AND CONSTRUCTION.
- 32 REMOVE PORTION OF EXISTING ASPHALT PAVING
- 33 REMOVE EXISTING CURB
- 34 REMOVE PORTION OF EXISTING SIDEWALK AS REQUIRED FOR NEW CONSTRUCTION
- 35 REMOVE EXISTING PARKING SPOT LAYOUT PAINTING
- 36 REMOVE EXISTING CONCRETE SIDEWALK
- 36 EXCAVATE AS REQUIRED FOR NEW PARKING CONSTRUCTION. PROTECT AND REINSTATE TOP SOIL AND VEGETATION AT ADJACENT AREAS.
- 37 REMOVE EXISTING ASPHALT PAVING AND BASE COURSES, AND EXCAVATE AS REQUIRED FOR NEW SERVICE TRENCHES. CUT EXISTING ASPHALT PAVING IN STRAIGHT LINES FOR REMOVAL. PROTECT EXISTING ASPHALT ASSEMBLIES. PROVIDE GUARDS TO PROTECT AREA OF WORK FROM VEHICULAR AND PUBLIC ACCESS DURING DEMOLITION AND CONSTRUCTION.

DEMOLITION SITE PLAN LEGEND:

- EXISTING BUILDING TO REMAIN
- REMOVE EXISTING BUILDING
- DEMOLISHED OBJECTS
- EXISTING ASPHALT PAVING TO REMAIN
- EXISTING CEDAR HEDGE
- PROPERTY LINE
- PARCEL MAIN BOUNDARY LINE
- PARCEL STANDARD BOUNDARY LINE
- SET BACK LINE
- EXISTING CHAIN LINK FENCE
- EXISTING BOARD FENCE
- FENCE TO DEMOLISH
- TREE PROTECTION FENCE
- EXISTING WATER
- EXISTING SANITARY
- SANITARY TO DEMOLISH
- EXISTING STORM
- EXISTING ELECTRICAL SERVICE (BELOW GRADE)
- EXISTING BELL SERVICE (BELOW GRADE)
- EXISTING GAS
- GAS TO DEMOLISH
- CATCH BASIN TO DEMOLISH
- CATCH BASIN EXISTING
- LIGHT STANDARD TO DEMOLISH
- LIGHT STANDARD EXISTING
- FIRE HYDRANT TO DEMOLISH
- FIRE HYDRANT EXISTING
- MANHOLE TO DEMOLISH
- MANHOLE EXISTING
- UTILITY POLE TO DEMOLISH
- UTILITY POLE EXISTING
- WATER VALVE CHAMBER EXISTING
- WATER VALVE EXISTING
- GAS VALVE EXISTING
- EXISTING SIGN TO REMAIN
- EXISTING SIGN TO REMOVE
- TREE TO DEMOLISH
- EXISTING SHRUB
- EXISTING TREE

STAMP

REV	DATE	ISSUE
3	2023/10/12	ISSEUD FOR SPC RESUBMISSION
1	2023/05/11	ISSUED FOR SPCA

NOTES

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- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

OTTAWA COMMUNITY HOUSING
OTTAWA
ONTARIO, CANADA

PROJECT

OCH SHEARWATER APARTMENTS

1 FINCH PRIVATE, OTTAWA, ON

TITLE

OVERALL SITE PLAN DEMOLITION

PROJECT NO: 2022-1430
DRAWN: IK
APPROVED: JS
SCALE: 1:400
DATE PRINTED: 10/12/2023 4:08:26 PM

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3 D101