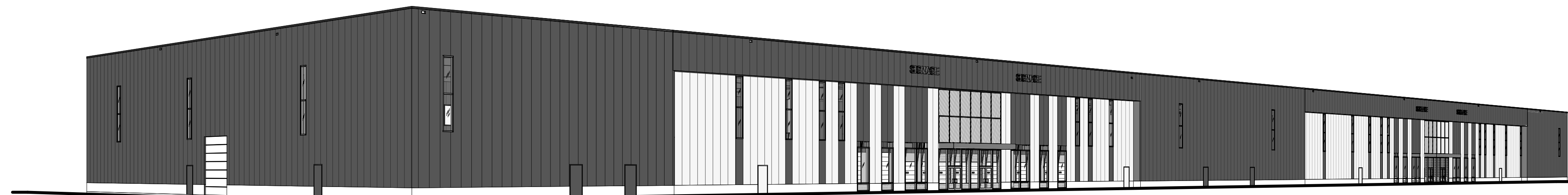


OBC MATRIX

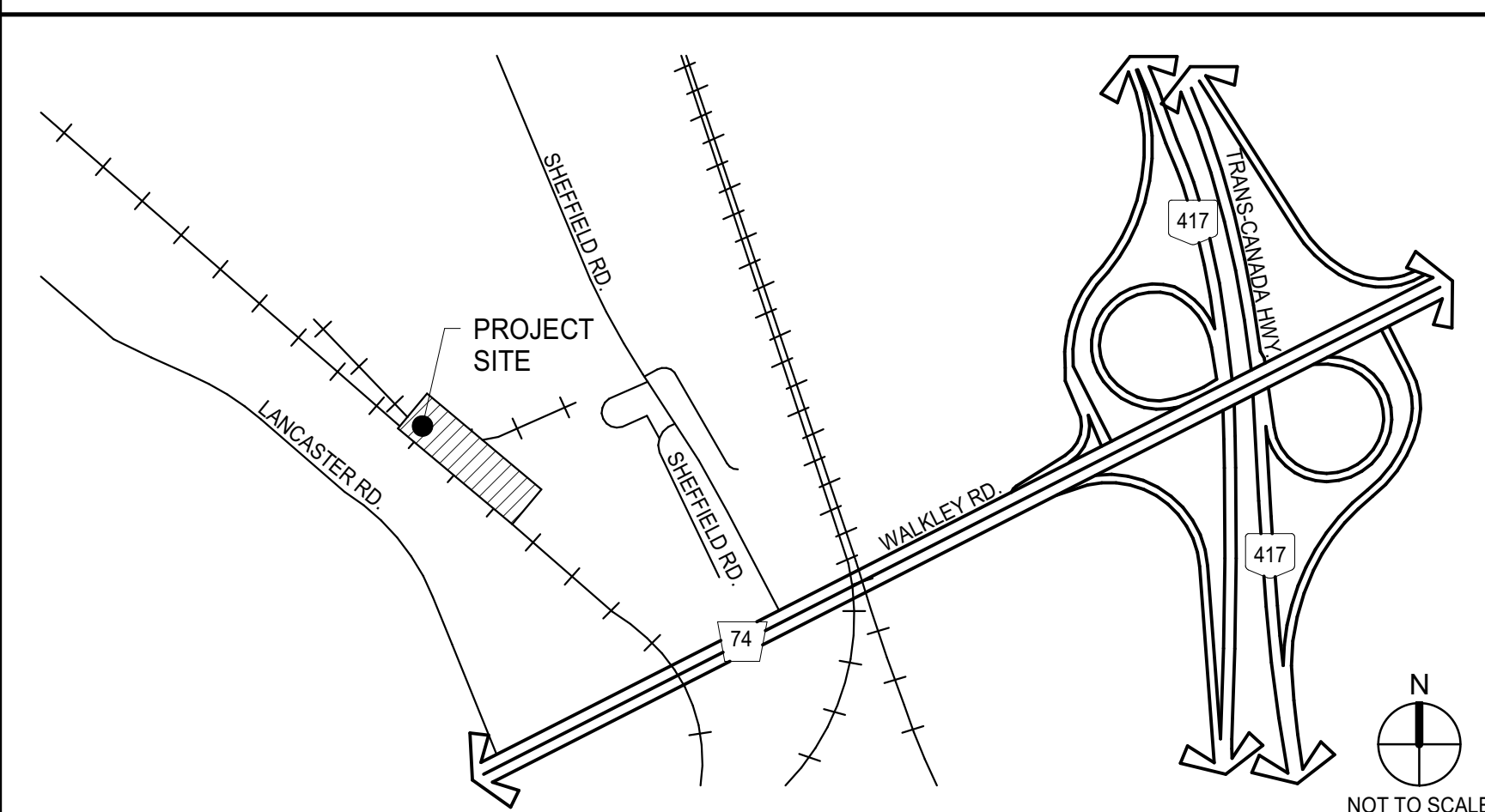
NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.) CERTIFICATE OF PRACTICE NUMBER: 3619 NAME OF PROJECT: 2760-2770 SHEFFIELD ROAD LOCATION: 2760 SHEFFIELD RD. OTTAWA ON K1B 3V9, CANADA.		BUILDING CODE REFERENCE: REFERENCES ARE TO DIVISION B UNLESS NOTED. (A) FOR DIVISION A OR (C) FOR DIVISION C.																																																								
ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 OR 9																																																									
1	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> PART 11 <input type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 INDUSTRIAL SHELL BUILDING <input type="checkbox"/> ADDITION 11.1 TO 11.4 1.1.2 (A) 1.1.2 (A) & 9.10.1.3 <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ALTERATION																																																									
2	MAJOR OCCUPANCY(S) GROUP F, DIVISION 2; GROUP D (SUBSIDIARY)	3.1.2.1.(1)	9.10.2																																																							
3	BUILDING AREA (sq.m.) NEW: 10,564.4 SM TOTAL: 10,564.4 SM	1.4.1.2 (A)	1.4.1.2 (A)																																																							
4	GROSS AREA (sq.m.) NEW: 10,564.4 SM TOTAL: 10,564.4 SM	1.4.1.2 (A)	1.4.1.2 (A)																																																							
5	NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: N/A	1.4.1.2 (A) & 3.2.1.1	1.4.1.2 (A) & 9.10.4																																																							
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS: 3	3.2.2.10 & 3.2.5.5	9.10.20																																																							
7	BUILDING CLASSIFICATION(S) 3.2.2.67 GROUP F, DIV 2, ANY HEIGHT, ANY AREA SPRINKLERED	3.2.2.20-83	9.10.2																																																							
8	SPRINKLER SYSTEM PROPOSED <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2  INDEX																																																							
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9	N/A																																																							
10	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4	9.10.18																																																							
11	WATER SERVICE / SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	3.2.5.7	N/A																																																							
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6	N/A																																																							
13	CONSTRUCTION RESTRICTIONS <input type="checkbox"/> COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.20-83	9.10.6																																																							
14	MEZZANINE(S) AREA m2 N/A	3.2.1.1.(3)-(8)	9.10.4.1																																																							
15	OCCUPANT LOAD BASED ON <input type="checkbox"/> m2 / PERSON <input type="checkbox"/> DESIGN OF BUILDING 1ST FLOOR: OCCUPANCY: F2/D LOAD (PERSONS): <300 2ND FLOOR: XX OCCUPANCY: XX LOAD (PERSONS): XX	3.1.17	9.9.1.3																																																							
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.8	9.5.2																																																							
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19	9.10.1.3 (4)																																																							
18	REQUIRED FIRE RESISTANCE RATING (FRR) HORIZONTAL ASSEMBLIES FRR (HOURS) LISTED DESIGN No. OR DESCRIPTION (SG-2) FLOORS: 2 HOURS ROOF: - HOURS MEZZANINE: 1 HOURS FRR OF SUPPORTING MEMBERS LISTED DESIGN No. OR DESCRIPTION (SG-2) FLOORS: 2 HOURS ROOF: - HOURS MEZZANINE: 1 HOURS	3.2.2.20-83 & 3.2.1.4	9.10.8 9.10.9																																																							
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	3.2.3	9.10.14																																																							
	<table border="1"> <thead> <tr> <th>WALL</th> <th>AREA OF EBF (sq. m.)</th> <th>LD (m)</th> <th>L/H OR H/L</th> <th>PERMITTED MAX. % OF OPENINGS</th> <th>PROPOSED % OF OPENINGS</th> <th>FRR (HOURS)</th> <th>LISTED DESIGN No. OR DESCRIP.</th> <th>COMB. CONSTR.</th> <th>COMB. CONSTR. NONC. CLADDING</th> <th>NON-COMB. CONSTRUCTION</th> </tr> </thead> <tbody> <tr> <td>NORTH</td> <td>2537</td> <td>&gt;15</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>SOUTH</td> <td>2537</td> <td>&gt;15</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>EAST</td> <td>574</td> <td>&gt;15</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>WEST</td> <td>574</td> <td>13.76</td> <td>-</td> <td>89%</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> </tbody> </table>	WALL	AREA OF EBF (sq. m.)	LD (m)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN No. OR DESCRIP.	COMB. CONSTR.	COMB. CONSTR. NONC. CLADDING	NON-COMB. CONSTRUCTION	NORTH	2537	>15	-	-	-	-	-	-	-	-	SOUTH	2537	>15	-	-	-	-	-	-	-	-	EAST	574	>15	-	-	-	-	-	-	-	-	WEST	574	13.76	-	89%	-	-	-	-	-	-		
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WEST	574	13.76	-	89%	-	-	-	-	-	-																																																
20	PLUMBING FIXTURE REQUIREMENTS FEMALE/MALE COUNT AT XX % MALE/ XX % FEMALE UNLESS NOTED OTHERWISE PART 3 PART 9 TBD																																																									
21	OTHERS (DESCRIBE)																																																									

# SHEFFIELD INDUSTRIAL BUILDING

2760-2770 SHEFFIELD RD. OTTAWA ON K1B 3V9, CANADA.



VICINITY MAP



<b>OWNER</b> RICHCRAFT PROPERTIES INC. 2280 ST. LAURENT BLVD. SUITE 201 OTTAWA, ON K1G 4K1 PRIMARY CONTACT: KEVIN YEMM PH: (613) 739-7111 EXT. 132 EMAIL: KYEMM@RICHCRAFT.COM	<b>OWNER'S CONSULTANTS</b> ENVIRONMENTAL CONSULTANT PATERSON GROUP 9 AURIGA DRIVE, OTTAWA, ONTARIO K2E 7T9 PRIMARY CONTACT: MARK S. D'ARCY PH: (613) 226-7381 EXT. 207 EMAIL: mdarcy@patersongroup.ca  GEOTECHNICAL ENGINEER PATERSON GROUP 9 AURIGA DRIVE OTTAWA, ONTARIO K2E 7T9 (613) 226-7381 EXT. 332 PRIMARY CONTACT: SCOTT DENNIS PH: (613) 226-7381 EXT. 332 EMAIL: sdennis@patersongroup.ca	<b>ARCHITECT'S CONSULTANTS</b> LANDSCAPE ARCHITECT NAK DESIGN STRATEGIES 1285 WELLINGTON STREET WEST, OTTAWA, ONTARIO K1Y 3A8 PRIMARY CONTACT: PAT GAUVREAU PH: (613) 237-2345 EXT. 28 EMAIL: pgauvreau@nak-design.com  CIVIL ENGINEER WARE MALCOMB 180 BASS PRO MILLS DR#103, VAUGHAN, ONTARIO L4K 0G9, PRIMARY CONTACT: DAVID NEWSON PH: dnevson@waremalcomb.com EMAIL: (905) 760-1221 EXT. 2128	<b>SHEET INDEX</b> ARCHITECTURAL <table border="1"> <thead> <tr> <th>G010</th> <th>TITLE SHEET</th> </tr> </thead> <tbody> <tr> <td>A100</td> <td>SITE PLAN</td> </tr> <tr> <td>A120</td> <td>FLOOR PLAN</td> </tr> <tr> <td>A190</td> <td>ROOF PLAN</td> </tr> <tr> <td>A210</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A310</td> <td>BUILDING SECTIONS</td> </tr> <tr> <td colspan="2">ARCHITECTURAL SHEET COUNT: 6</td> </tr> </tbody> </table>	G010	TITLE SHEET	A100	SITE PLAN	A120	FLOOR PLAN	A190	ROOF PLAN	A210	EXTERIOR ELEVATIONS	A310	BUILDING SECTIONS	ARCHITECTURAL SHEET COUNT: 6	
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<b>ARCHITECT</b> WARE MALCOMB 1420 BLAIR TOWERS PLACE, SUITE #104, GLOUCESTER, ONTARIO, CANADA K1J 9L8 P 343.633.2977 PRIMARY CONTACT: JOHN HOLLAND PH: (905) 760-1221 EXT. 2134 EMAIL: jholland@waremalcomb.com ALTERNATE CONTACT: HARRISON WERNER PH: (905) 760-1221 EXT. 2145 EMAIL: hwerner@waremalcomb.com																	

**WARE MALCOMB**  
 1420 Blair Towers Place, Suite #104  
 Gloucester, Ontario, Canada K1J 9L8  
 P 343.633.2977  
 ARCHITECTURE CIVIL ENGINEERING  
 PLANNING BRANDING  
 INTERIORS BUILDING MEASUREMENT

ONTARIO ASSOCIATION  
 OF ARCHITECTS  
 JOHN P. HOLLAND  
 LICENCE 8849

**RICHCRAFT**

SHEFFIELD INDUSTRIAL BUILDING  
 2760-2770 SHEFFIELD RD.  
 OTTAWA ON K1B 3V9, CANADA.

TITLE SHEET

DATE	REMARKS
2023-05-17 <td>ISSUED FOR SPA</td>	ISSUED FOR SPA

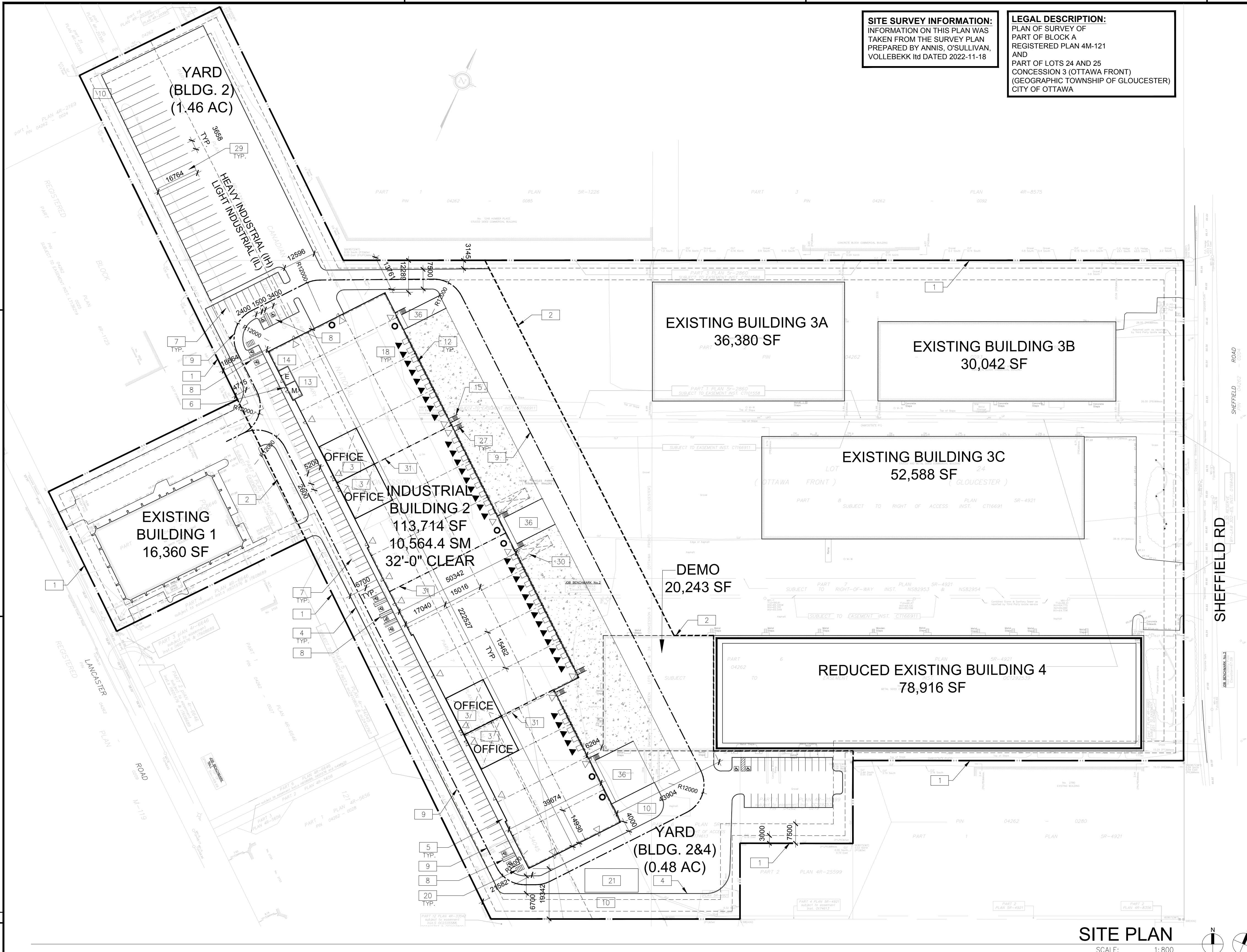
PA/PM:	J. HOLLAND
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW21-0002-00

SHEET  
**G010**

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**SITE SURVEY INFORMATION:**  
 INFORMATION ON THIS PLAN WAS  
 TAKEN FROM THE SURVEY PLAN  
 PREPARED BY ANNIS, O'SULLIVAN,  
 VOLLEBEKK Ltd DATED 2022-11-18

**LEGAL DESCRIPTION:**  
 PLAN OF SURVEY OF  
 PART OF BLOCK A  
 REGISTERED PLAN 4M-121  
 AND  
 PART OF LOTS 24 AND 25  
 CONCESSION 3 (OTTAWA FRONT)  
 (GEOGRAPHIC TOWNSHIP OF GLOUCESTER)  
 CITY OF OTTAWA



**SITE PLAN**  
 SCALE: 1:800  
 CONSTRUCTION NORTH TRUE NORTH

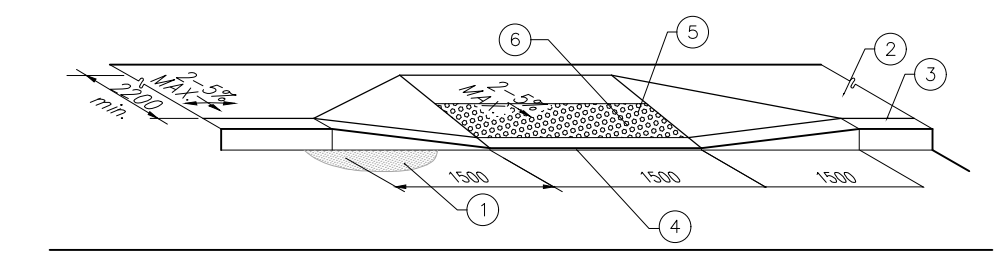
**SITE PLAN NOTES**

- 1 PROPERTY LINE
- 2 PROJECT LIMIT LINE
- 3 PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 4 150mm WIDE CURB TYPICAL
- 5 SIDEWALK - SEE LANDSCAPE DWGS FOR CONSTRUCTION DETAILS
- 6 FIRE DEPARTMENT/SIAMESE CONNECTION
- 7 2600x5200mm PARKING STALL, PAINTED PARKING STRIPING PER CITY OF OTTAWA ZONING BY-LAW NO. 2008-250
- 8 TYPICAL ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER BY-LAW OTTAWA ZONING BY-LAW NO. 2008-250. EACH PAIR OF SHARED STALLS TO HAVE TYPE A: 3.4m X 5.2m AND TYPE B: 2.4m X 5.2m WITH 1.5m WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
- 9 FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS (---)
- 10 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- 11 GUARDRAIL SET INTO RETAINING WALL. REFER TO CIVIL DRAWINGS FOR EXTENT AND DETAILS.
- 12 12.0mX3.5m TRUCK LOADING SPACE (TYP.)
- 13 PROPOSED LOCATION OF MECHANICAL RM
- 14 PROPOSED LOCATION OF ELECTRICAL RM
- 15 GALVANIZED STEEL GUARDRAIL WITH HANDRAIL
- 16 EMPLOYMENT AMENITY SPACE - REFER TO LANDSCAPE DRAWINGS
- 17 SHADED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE OR TRACTOR TRUCK ACCESS.
- 18 TRUCK LOADING DOCK (TYP.)
- 19 STEEL BOLLARD
- 20 GALV. BICYCLE RACKS - SEE LANDSCAPE DRAWINGS
- 21 SNOW STORAGE AREA
- 22 EXISTING FIRE HYDRANT
- 23 PROPOSED LIGHT POLE. REFER TO ELECTRICAL DRAWINGS
- 24 FIRE ROUTE SIGNAGE PER CITY OF OTTAWA STANDARDS. REFER TO FIRE ROUTE BY-LAW NO. 2003-499 FOR SIGN REQUIREMENTS. SIGNS TO BE SPACED NO MORE THAN 25m APART
- 25 TACTILE WALKING SURFACE INDICATOR STRIP
- 26 IN GROUND EARTH-BIN GARBAGE RECEPTACLES WITH VEGETATION SCRIB
- 27 EXTERIOR GALV. STEEL STAIRS W/ TUBE STEEL GUARDRAIL, ON CONC. PAD, TYP.
- 28 EV PARKING STALLS (X PROPOSED; X FUTURE)
- 29 TRUCK TRAILER PARKING
- 30 13mX4.3m OVERSIZED TRUCK LOADING SPACE
- 31 FUTURE TENANT DEMISING WALL. SUBJECT TO TENANT FIT UP
- 32 CONCRETE APRON
- 33 PAINTED LINES PEDESTRIAN CROSSING
- 34 PYLON SIGNAGE
- 35 DIMENSION FROM FIRE DEPARTMENT CONNECTION TO HYDRANT.
- 36 DRIVE-IN RAMP BOUNDED BY RETAINING WALLS WITH GUARDRAILS WHERE GRADE CHANGE IS MORE THAN 600mm - REFER TO CIVIL DWGS

**SITE LEGEND**

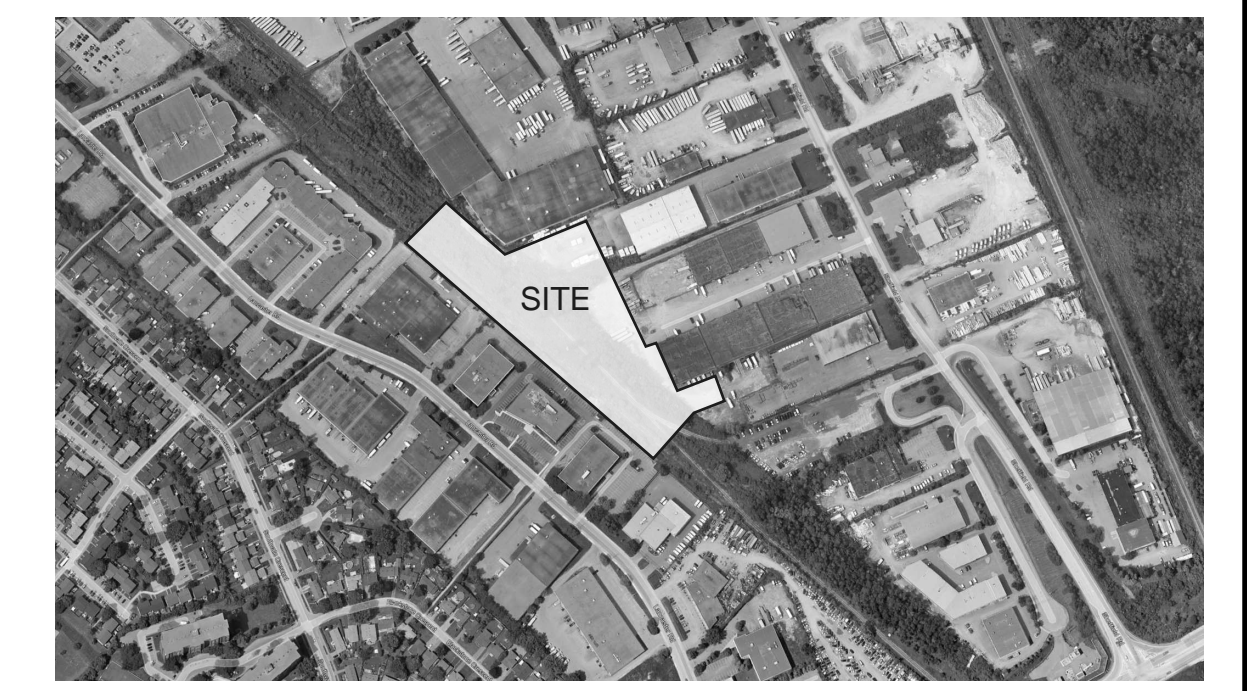
- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- NEW RIVER STONE AREA (HATCHED)
- PAINTED DIAGONAL LINES WHERE INDICATED
- FUTURE EV PARKING STALLS
- PROPERTY LINE
- SITE BOUNDARY LINE
- GAS METER LOCATION.
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT
- LIGHT POLE
- WALL MOUNTED LIGHT
- MH DENOTES MANHOLE
- PROPOSED CATCHBASIN
- TACTILE INDICATORS AT DEPRESSED CURB
- BICYCLE RACK (1800 x 600 PER BIKE)
- MAN DOOR
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE ROUTE SIGNS
- PYLON SIGNAGE
- CONCRETE SIDEWALK
- ASPHALT PATHWAY
- STONE DUST PATHWAY

OTW21-0002-00		
SITE STATISTICS		
ZONING	IH/IL	
GROSS SITE AREA	84,452 SM	
PROJECT LIMIT AREA	37,191 SM	
Zone Permitted Use (OTTAWA ZONING BY-LAW NO. 2008-250)		
Proposed Use	Warehouse	
Regulations (Part 11: Industrial Zones)		
	Proposed	Required IH (IL)
Min. Front Yard Building Setback (m)	18.66 m	7.5 m
Min. Interior Side Yard Building Set back (m)	12.29 m	7.5 m
Min.Rear Yard Building Setback (m)	N/A	7.5 m
Min.Landscape Front Yard Setback (m)	4.72 m	3 m
Min.Landscape Side Yard Setback (m)	3.15 m	3 m
Min.Landscape Rear Yard Setback (m)	N/A	3 m
Max. Floor Space Index	0.12	2
Max. Building Height	12 m	22 m (18m)
BUILDING FLOOR AREA		
Building 2		
Warehouse Area	9,684.40m <sup>2</sup>	
Office Area	880.00m <sup>2</sup>	
<b>TOTAL BUILDING GFA</b>	<b>10,564.40m<sup>2</sup></b>	
PARKING REQUIREMENT		
	PROPOSED	REQUIRED
Warehouse GFA @ 0.8 Spaces per 100m <sup>2</sup> , first 5000m <sup>2</sup>	126	63
Warehouse GFA @ 0.4 Spaces per 100m <sup>2</sup> , above 5000m <sup>2</sup>		
<b>Total No. of Parking Spaces</b>	<b>126</b>	<b>63</b>
Barrier Free Parking Spaces	12	5
Parking Stall Dimensions	2.6 m X 5.2 m	
Barrier Free Parking Stall Type A	3.4m X 5.2m	
Barrier Free Parking Stall Type B	2.4m X 5.2m	
Bicycle Parking Space Dimensions	1.8m X 0.6m	
No. Of Bicycle Parking (Warehouse: 1 per 2000m <sup>2</sup> , Office 1 per 250m <sup>2</sup> )	10	9
Loading Space Dimensions	3.5m X 9.0m	
Oversized Loading Space Dimensions	4.3m X 13.0m	
No. Of Loading Spaces	35	2
No. Of Oversized Loading Spaces	2	2
Trailer Parking	26	N/A
DOCK STATISTICS		
Proposed		
DOCK-HIGH DOORS	35	
OVER-HEAD DOORS	6	



- 1 PAVEMENT
- 2 ACCESSIBLE ROUTE OF PEDESTRIAN TRAVEL 2200mm MIN. (UNLESS OTHERWISE NOTED ON PLANS)
- 3 TOP FACE OF CURB
- 4 DEPRESSED CURB
- 5 TRUNCATED DOMES WITH A HEIGHT OF 4.5-5.5mm, BASE DIAMETER OF 21-25mm. REGULAR SPACING PATTERN AT 55-60mm ON CENTRE
- 6 A MINIMUM 600mm WIDE SECTION DETECTABLE WARNING SURFACE SHALL BE PROVIDED WHEN FLAT TRAVEL SURFACE ADJACENT TO A VEHICULAR WAY (0mm CURB FACE)

**ACCESSIBLE CURB RAMP**  
 SCALE: N.T.S



**KEY PLAN**  
 SCALE: N.T.S

**WARE MALCOMB**  
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 P 343.633.2977

ARCHITECTURE  
 PLANNING  
 INTERIORS

CIVIL ENGINEERING  
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ONTARIO ASSOCIATION  
 OF  
**ARCHITECTS**  
 JOHN P. HOLLAND  
 LICENCE  
 8649

**RICHCRAFT**

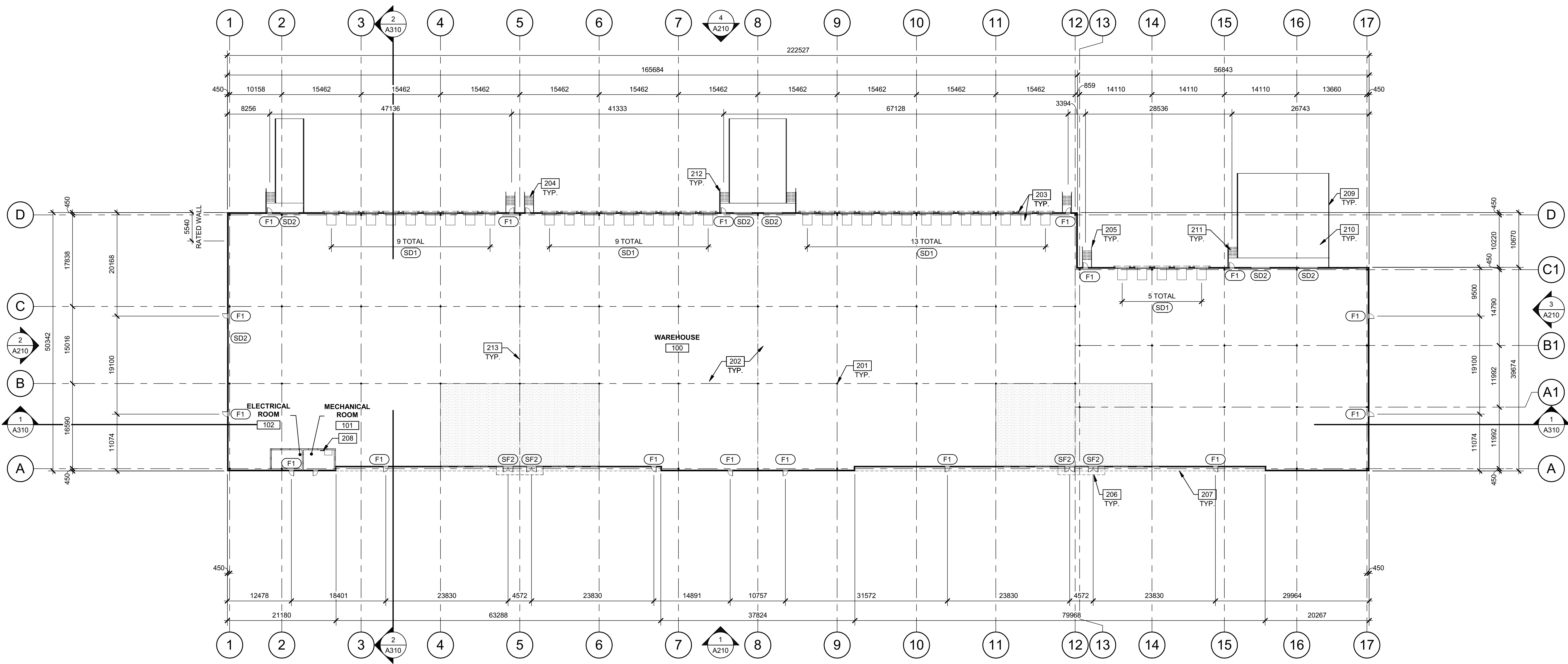
**SHEFFIELD INDUSTRIAL BUILDING**  
 2760-2770 SHEFFIELD RD.  
 OTTAWA  
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**SITE PLAN**

DATE	ISSUED FOR SPA	REMARKS
2023-05-17		

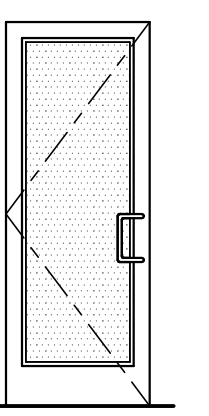
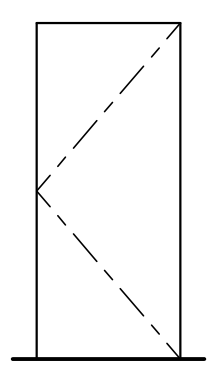
PA/PM:	J. HOLLAND
DRAWN BY.:	
JOB NO.:	OTW21-0002-00

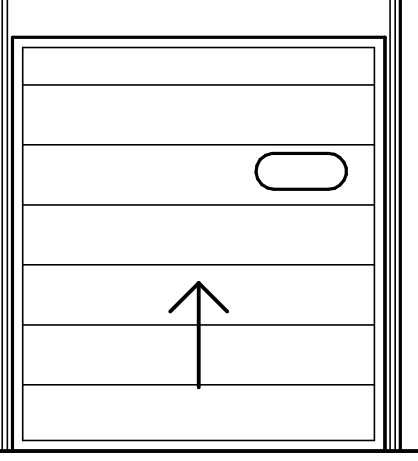
SHEET  
**A100**



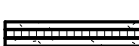

1:400  
0 5m 10m 20m 40m  
FLOOR PLAN  
SCALE: 1 : 400

**DOOR TYPES**

<p><b>(SF2)</b> ALUMINUM STOREFRONT</p> 	<p><b>(SF2)</b> 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE) FRAME: MANUFACTURER</p> <p><b>HARDWARE:</b> 2 SETS PIVOT SET 2 SETS INTER PIVOT 1 EA EXIT DEVICE 1 EA MORTISE CYLINDER 2 SETS OFFSET PULL 2 EA OH CLOSER 1 EA THRESHOLD 1 EA DECAL</p> <p>NOTE: WEATHERSEAL BY DOOR MANUFACTURER</p>	<p><b>(F1)</b> HOLLOW METAL</p> 	<p><b>(F1)</b> 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR FRAME: PAINTED HOLLOW METAL</p> <p><b>HARDWARE:</b> 3 EA HINGES 1 EA EXIT DEVICE 1 EA CYLINDER 1 EA CLOSER 1 EA PERIMETER SEAL 1 EA BOTTOM DRIP 1 EA THRESHOLD 1 EA LOCK GUARD 1 EA HVY DUTY FLOOR STOP</p>
---	---	---	---

<p><b>(SD1)</b> SECTIONAL O.H. DOOR</p> 	<p><b>(SD1)</b> 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.</p> <p><b>(SD2)</b> 3660mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH</p> <p><b>HARDWARE:</b> 1 EA SLIDE BOLT 1 EA PAD LOCK</p>
---	--

**WALL LEGEND**

-  ARCHITECTURAL PRECAST PANEL.
-  INSULATED METAL PANEL SYSTEM.

**LEGEND**

-  PROPOSED FUTURE OFFICE AREA

**KEYNOTES**

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 DOCK LEVELER AND DOCK SHELTER.
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 206 OUTLINE OF CANOPY ABOVE.
- 207 OUTLINE OF WALL ABOVE.
- 208 ROOF ACCESS LADDER.
- 209 CONCRETE RETAINING WALL.
- 210 CONCRETE RAMPS.
- 211 CONCRETE STAIR.
- 212 1070MM TOTAL HEIGHT PAINTED METAL GUARDRAIL.
- 213 FUTURE TENANT LINE.

**WARE MALCOMB**  
ARCHITECTURE CIVIL ENGINEERING PLANNING INTERIORS BUILDING MEASUREMENT  
1420 Blair Towers Place, Suite #104 Gloucester, Ontario, Canada K1J 9L8 P 343.633.2977

ONTARIO ASSOCIATION OF ARCHITECTS  
JOHN P. HOLLAND LICENCE 8649

**RICHCRAFT**

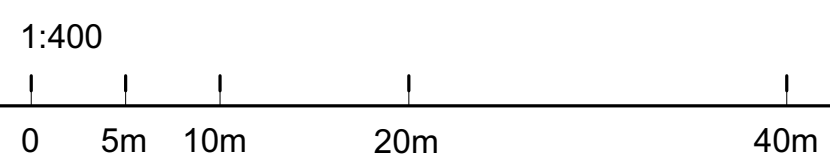
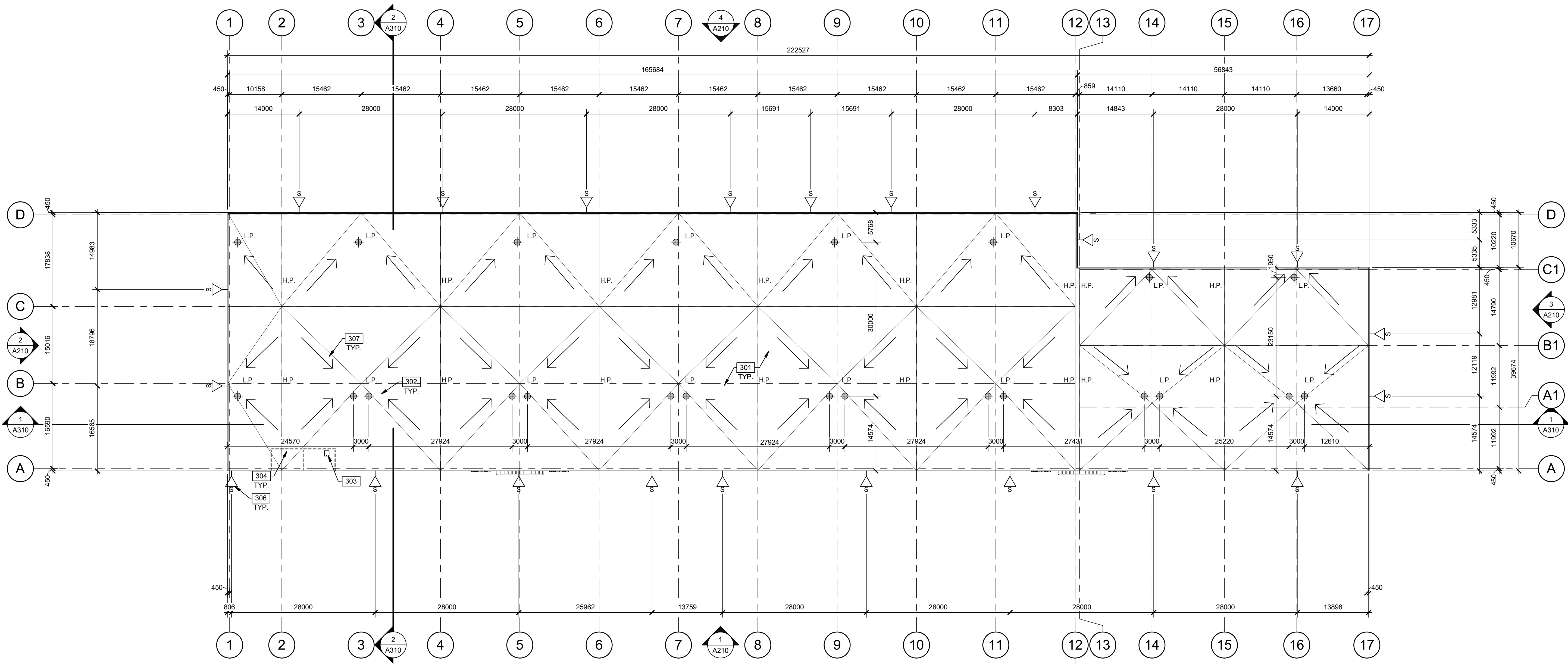
**SHEFFIELD INDUSTRIAL BUILDING**  
2760-2770 SHEFFIELD RD.  
OTTAWA  
ON K1B 3V9, CANADA.

FLOOR PLAN		REMARKS
DATE	ISSUED FOR SPA	
2023-05-17		

PA/PM:	J. HOLLAND
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW21-0002-00

SHEET  
**A120**

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ROOF PLAN  
SCALE: 1 : 400

**LEGEND**

- FLOW LINE TO DRAIN.
- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- ROOF EXPANSION JOINT.
- OUTLINE OF WALL BELOW.

**KEYNOTES**

- 301 2-PLY MEMBRANE ON 6" POLYISO INSULATION.
- 302 ROOF DRAINS.
- 303 ROOF HATCH.
- 304 LINE OF WALL BELOW.
- 306 OVERFLOW SCUPPER.
- 307 FLOW LINE TO DRAIN.

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**RICHCRAFT**

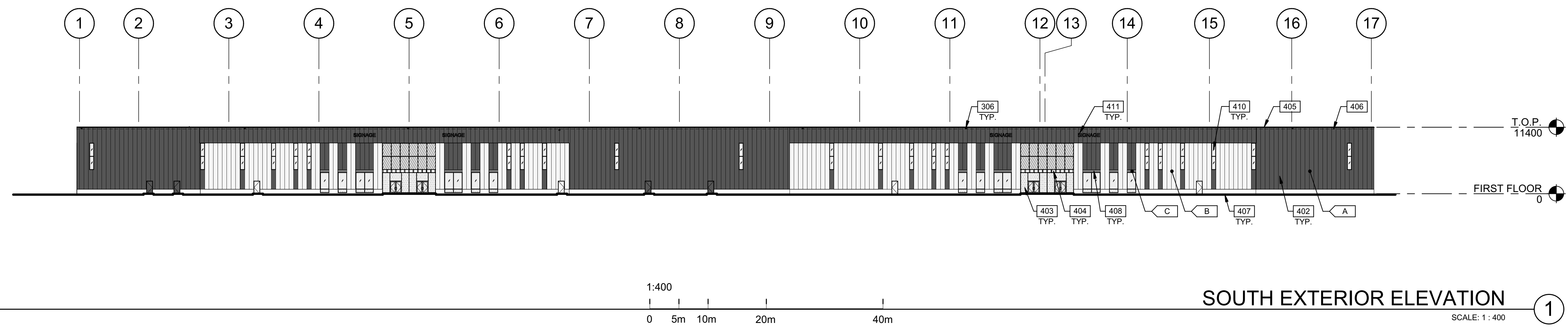
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ROOF PLAN		REMARKS
DATE	ISSUED FOR SPA	
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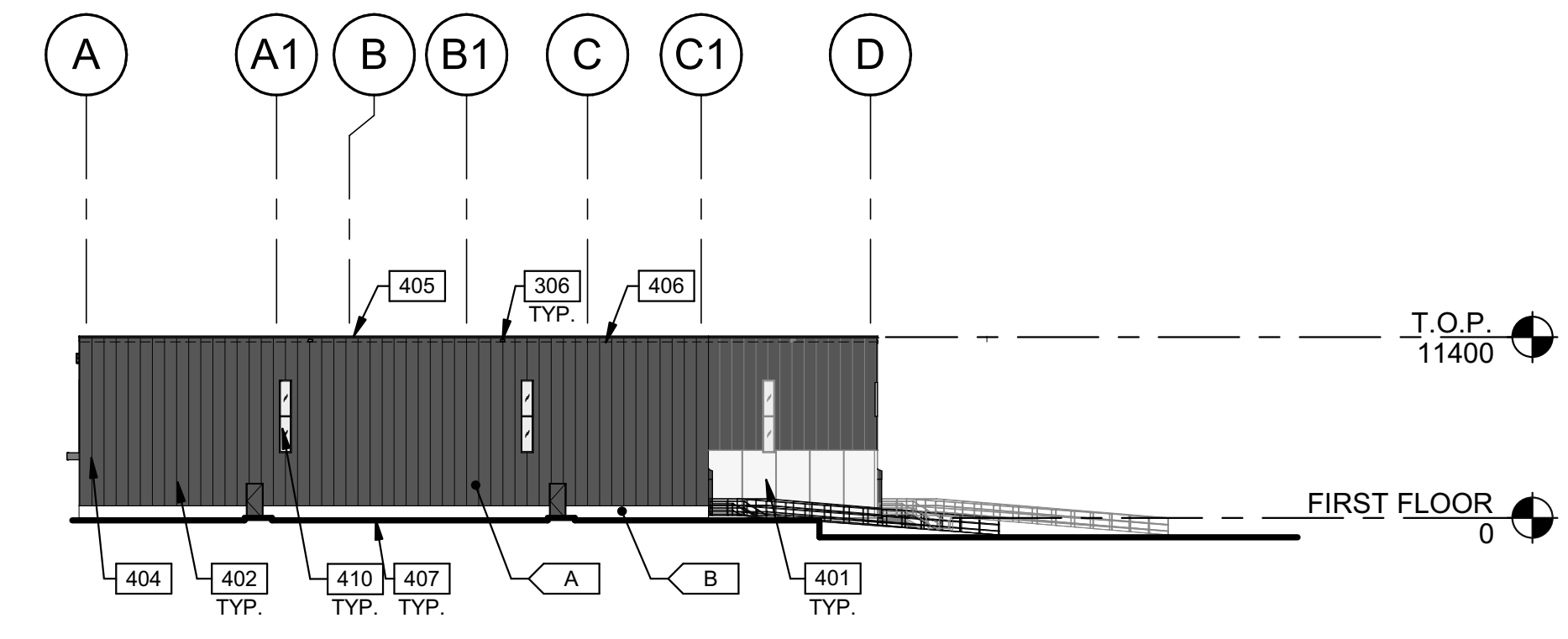


1:400  
0 5m 10m 20m 40m

**SOUTH EXTERIOR ELEVATION**

SCALE: 1 : 400

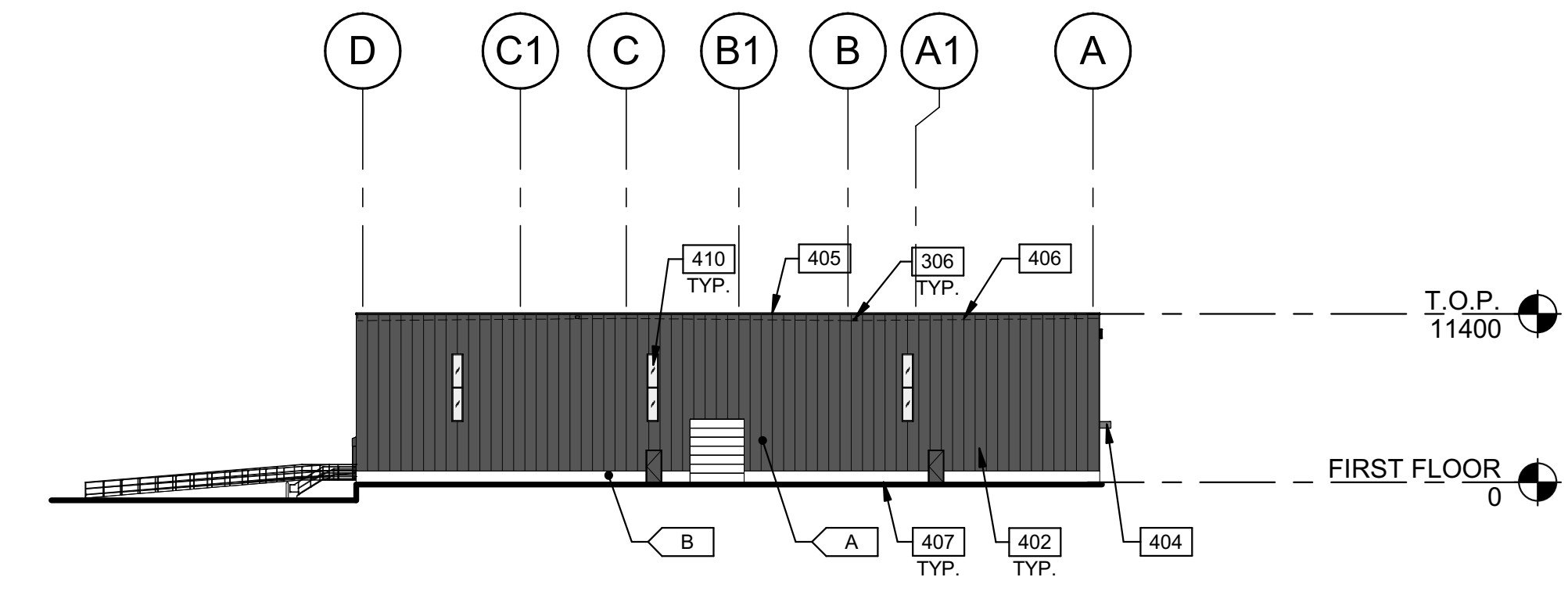
1



**EAST EXTERIOR ELEVATION**

SCALE: 1 : 400

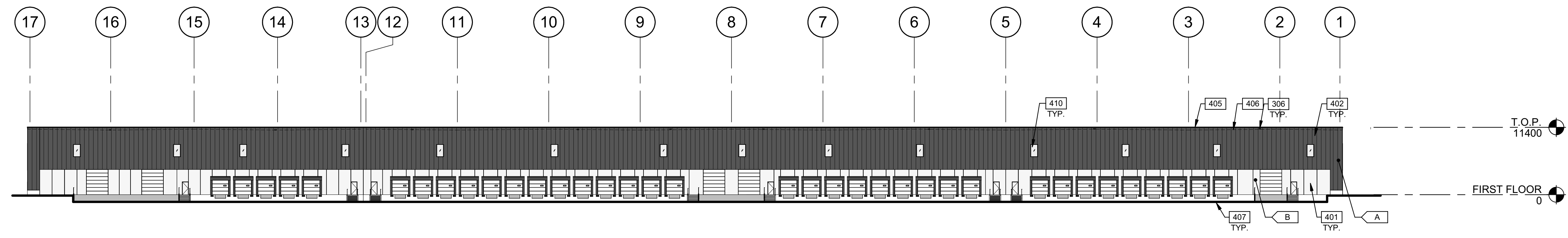
3



**WEST EXTERIOR ELEVATION**

SCALE: 1 : 400

2



**NORTH EXTERIOR ELEVATION**

SCALE: 1 : 400

4

**LEGENDS**

- GLASS:**
- VISION GLASS
  - SPANDREL GLASS
  - TEMPERED GLASS

- COLOURS:**
- PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- A** BASE COLOUR: BLACK
  - B** SECONDARY COLOUR: WHITE
  - C** ACCENT COLOUR: BRONZE

**KEYNOTES**

- 306 OVERFLOW SCUPPER.
- 401 PRECAST INSULATED CONCRETE WALL PANEL SYSTEM.
- 402 INSULATED METAL PANEL.
- 403 CURTAIN WALL GLAZING SYSTEM.
- 404 CANOPY WITH HSS PROFILE.
- 405 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
- 406 ROOF LINE BEYOND.
- 407 GRADE LINE VARIES.
- 408 ALUMINUM COMPOSITE METAL PANEL.
- 410 CLERESTORY WINDOW.
- 411 TENANT SIGNAGE.

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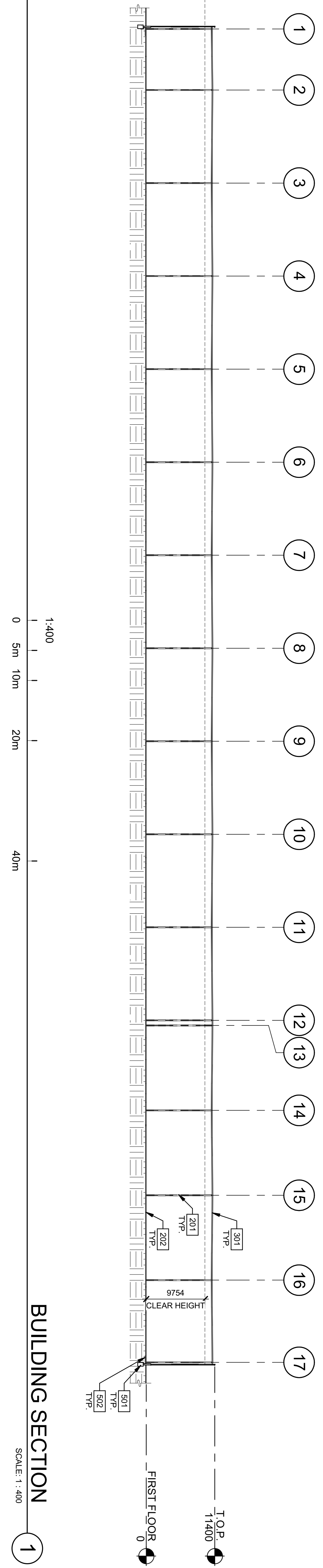
**RICH CRAFT**

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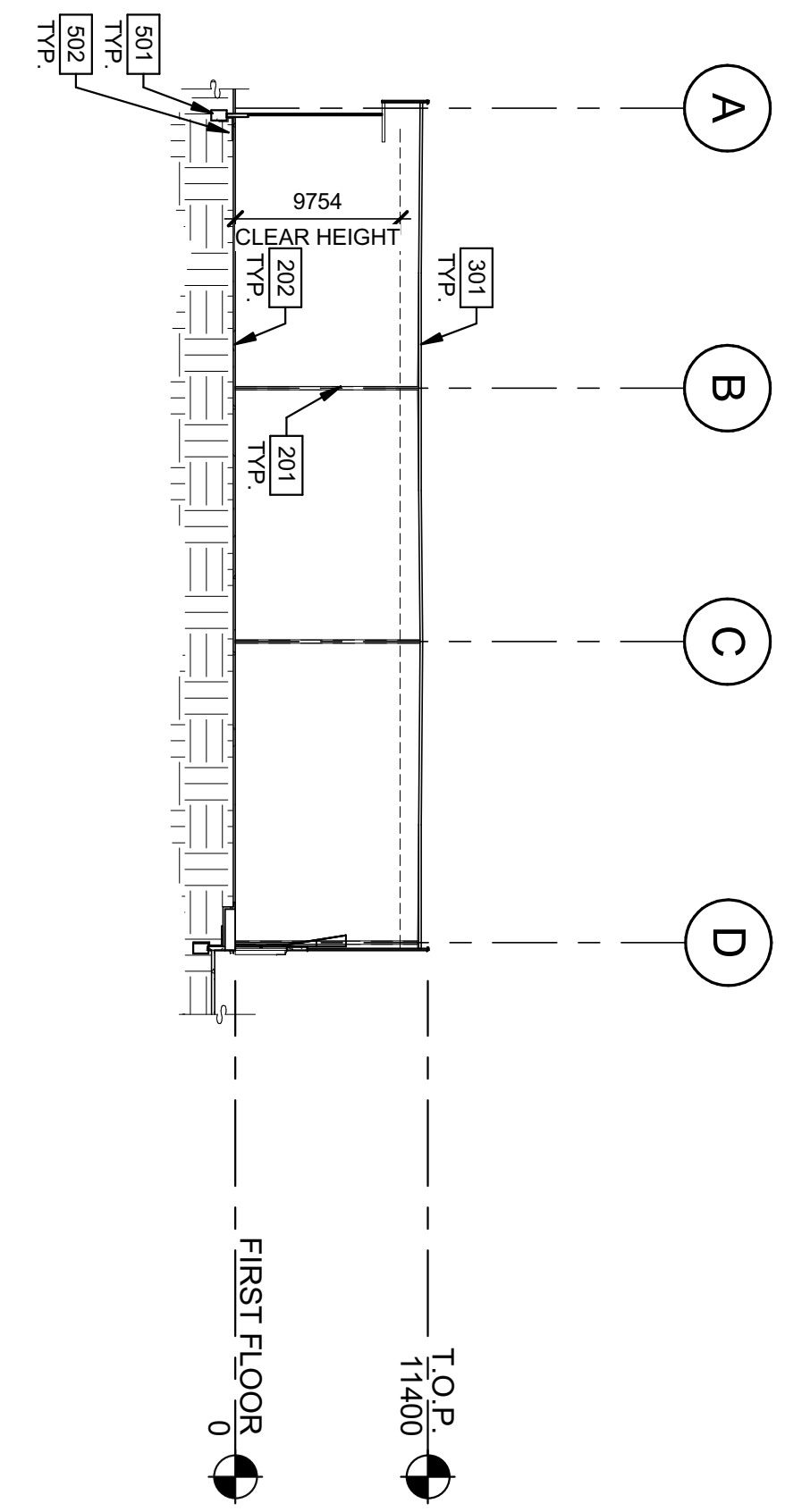
EXTERIOR ELEVATIONS		REMARKS
DATE	ISSUED FOR SPA	
1	2023-05-17	

PA/PM:	J. HOLLAND
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW21-0002-00

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**A210**



**BUILDING SECTION 1**  
SCALE: 1:400



**BUILDING SECTION 2**  
SCALE: 1:400

- KEYNOTES**
- 201 STRUCTURAL STEEL COLUMN.
  - 202 CONCRETE SLAB.
  - 301 2-PLY MEMBRANE ON 6" POLYISO INSULATION.
  - 501 CONCRETE FOOTING.
  - 502 PROVIDE RIGID INSULATION AT FOOTINGS AND WALL PANELS BELOW SLAB.

**BUILDING SECTIONS**

DATE	REMARKS
1 2023-05-17	ISSUED FOR SPA

PAP/PM:	J. HOLLAND
DRAWN BY:	D.P.J. E.C.
JOB NO.:	OTW/21-0002-00

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**A310**  
SHEET