

BDP. Quadrangle

Quadrangle Architects Limited
The Well, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S8
t 416 598 1240 www.bdpquadrangle.com

265 CATHERINE STREET, OTTAWA

265 Catherine Street, Ottawa

for
Brigil

Project No. 21007
Date 2024-09-16
Issued for Site Plan Approval (Resubmission)
DWG18991 - D07-12-23-0067 SPC / D02-02-23-0042 ZBA / D01-01-23-0008 OPA

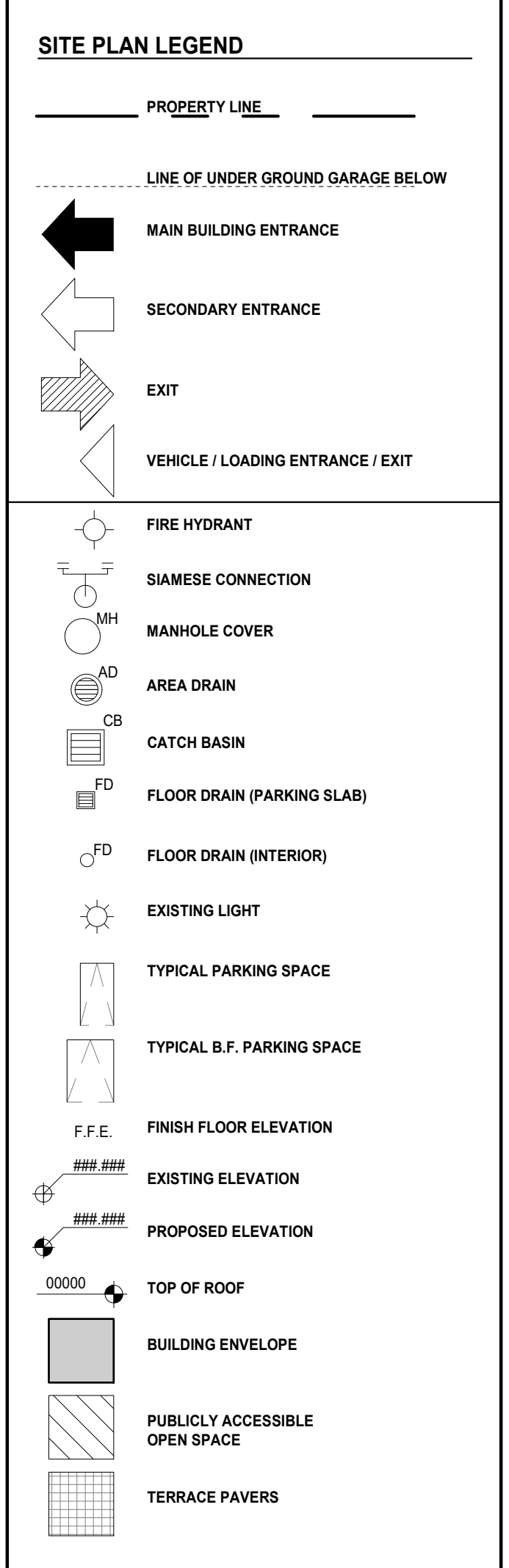
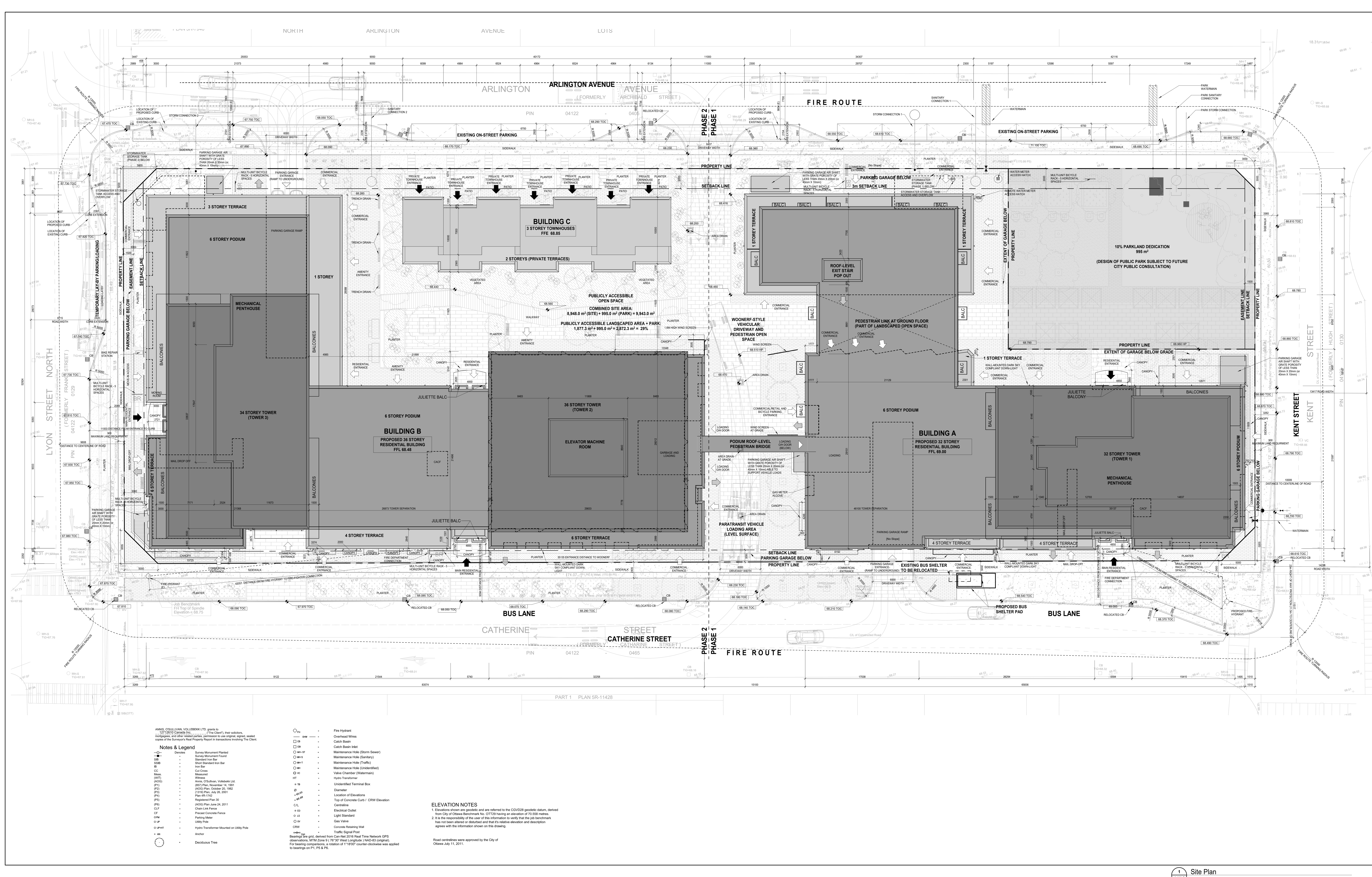


ARCHITECTURAL DRAWINGS

A000.S	Cover Page
A101.S	Project Statistics, Content and Pricing Plans Legend
A102.S	Site Plan
A103.S	P1 Underground Floor Plan
A104.S	P2 Underground Floor Plan
A105.S	P3 Underground Floor Plan
A200.S	Ground Floor Plan
A201.S	Second Floor Plan
A202.S	Third Floor Plan
A203.S	Fourth Floor Plan
A204.S	Fifth Floor Plan
A205.S	Sixth Floor Plan
A206.S	Seventh Floor Plan
A207.S	Typical Tower Floor Plan
A208.S	Porchouse Floor Plan
A209.S	Mechanical Penthouse Floor Plan
A210.S	Road Plan
A301.S	South Elevation
A302.S	Building Elevation
A303.S	Building Elevation 2
A304.S	Building Elevation
A305.S	North Elevation
A306.S	North Elevation - No Transtoms
A401.S	Building Section
A402.S	Building Section
A403.S	Building Section
A404.S	3D View

LANDSCAPE ARCHITECT

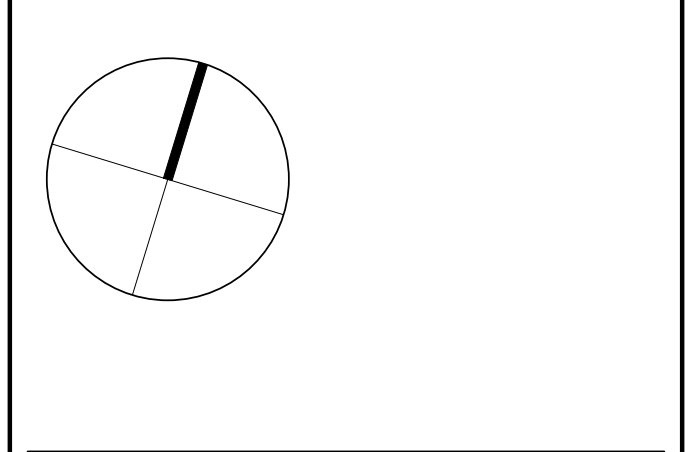
NAK Design Strategies
1285 Wellington Street,
Ottawa On K1Y 3A8
613 237 2345



Date	No.	Description
2024-03-15	No. 1	Site Plan Approval (Resubmission)
2024-03-15	No. 2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	No. 3	Zoning By-Law Amendment & Site Plan Approval

REVISION RECORD

Date	No.	Description
2024-09-16	No. 4	Site Plan Approval (Resubmission)
2024-03-15	No. 5	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	No. 6	Zoning By-Law Amendment & Site Plan Approval



BDP. Quadrangle

Quadrangle Architects Limited
The West 3 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S8
416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
OTTAWA
285 Catherine Street, Ottawa

for
Brigil
DWG 18991 - 001-12-23-0087 SPC / 002-02-23-0042 ZBA / 001-01-23-0008 OPR

21007 AS Indicated R/L
PROJECT SCALE DRAWN REVIEWED

Site Plan

A102.S

Note: This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking all existing conditions and shall report all discrepancies to the Architect and shall maintain the site during construction.

2024-09-16 09:53:39 AM

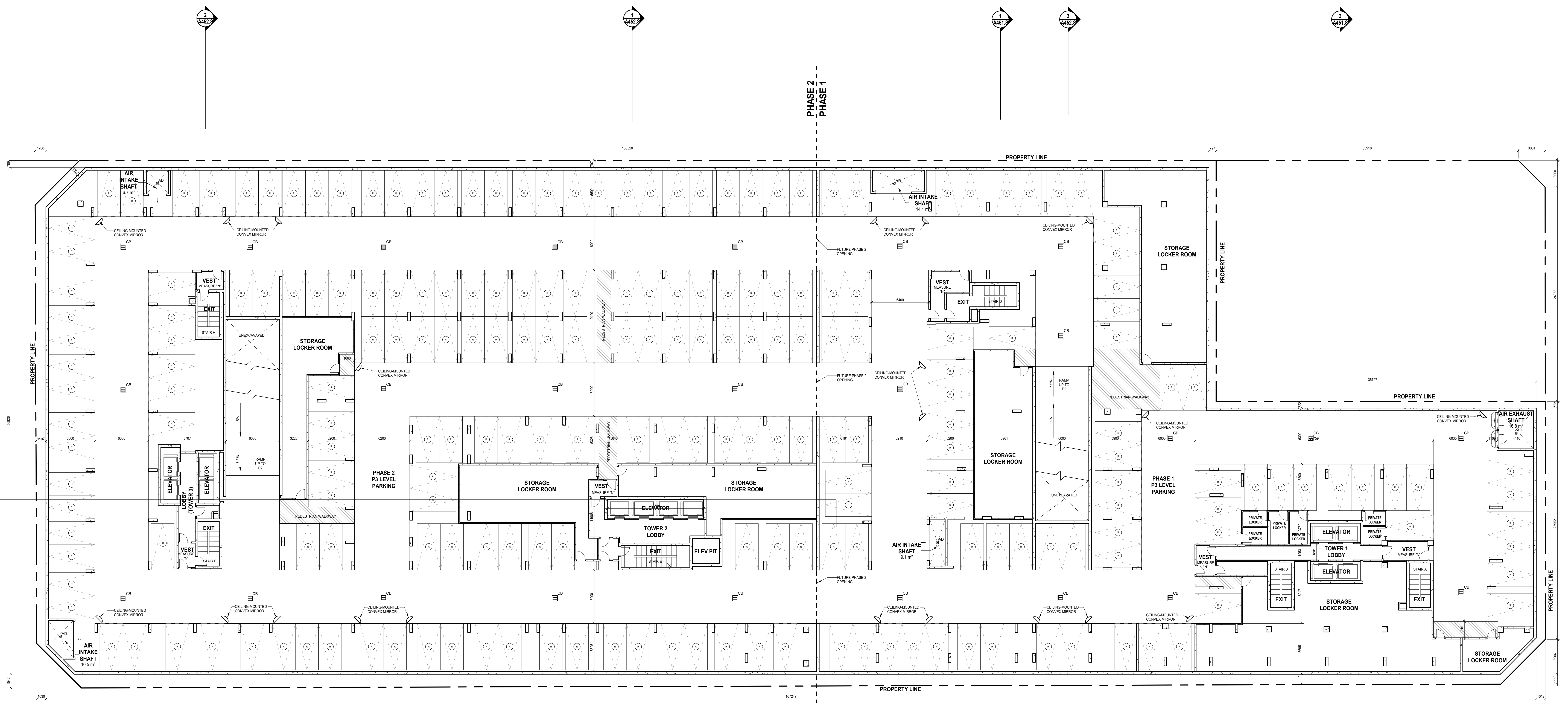
Notes & Legend

Symbol	Description
AS	As Shown
AS-1	As Shown - 1st Floor
AS-2	As Shown - 2nd Floor
AS-3	As Shown - 3rd Floor
AS-4	As Shown - 4th Floor
AS-5	As Shown - 5th Floor
AS-6	As Shown - 6th Floor
AS-7	As Shown - 7th Floor
AS-8	As Shown - 8th Floor
AS-9	As Shown - 9th Floor
AS-10	As Shown - 10th Floor
AS-11	As Shown - 11th Floor
AS-12	As Shown - 12th Floor
AS-13	As Shown - 13th Floor
AS-14	As Shown - 14th Floor
AS-15	As Shown - 15th Floor
AS-16	As Shown - 16th Floor
AS-17	As Shown - 17th Floor
AS-18	As Shown - 18th Floor
AS-19	As Shown - 19th Floor
AS-20	As Shown - 20th Floor
AS-21	As Shown - 21st Floor
AS-22	As Shown - 22nd Floor
AS-23	As Shown - 23rd Floor
AS-24	As Shown - 24th Floor
AS-25	As Shown - 25th Floor
AS-26	As Shown - 26th Floor
AS-27	As Shown - 27th Floor
AS-28	As Shown - 28th Floor
AS-29	As Shown - 29th Floor
AS-30	As Shown - 30th Floor
AS-31	As Shown - 31st Floor
AS-32	As Shown - 32nd Floor
AS-33	As Shown - 33rd Floor
AS-34	As Shown - 34th Floor
AS-35	As Shown - 35th Floor
AS-36	As Shown - 36th Floor
AS-37	As Shown - 37th Floor
AS-38	As Shown - 38th Floor
AS-39	As Shown - 39th Floor
AS-40	As Shown - 40th Floor
AS-41	As Shown - 41st Floor
AS-42	As Shown - 42nd Floor
AS-43	As Shown - 43rd Floor
AS-44	As Shown - 44th Floor
AS-45	As Shown - 45th Floor
AS-46	As Shown - 46th Floor
AS-47	As Shown - 47th Floor
AS-48	As Shown - 48th Floor
AS-49	As Shown - 49th Floor
AS-50	As Shown - 50th Floor
AS-51	As Shown - 51st Floor
AS-52	As Shown - 52nd Floor
AS-53	As Shown - 53rd Floor
AS-54	As Shown - 54th Floor
AS-55	As Shown - 55th Floor
AS-56	As Shown - 56th Floor
AS-57	As Shown - 57th Floor
AS-58	As Shown - 58th Floor
AS-59	As Shown - 59th Floor
AS-60	As Shown - 60th Floor
AS-61	As Shown - 61st Floor
AS-62	As Shown - 62nd Floor
AS-63	As Shown - 63rd Floor
AS-64	As Shown - 64th Floor
AS-65	As Shown - 65th Floor
AS-66	As Shown - 66th Floor
AS-67	As Shown - 67th Floor
AS-68	As Shown - 68th Floor
AS-69	As Shown - 69th Floor
AS-70	As Shown - 70th Floor
AS-71	As Shown - 71st Floor
AS-72	As Shown - 72nd Floor
AS-73	As Shown - 73rd Floor
AS-74	As Shown - 74th Floor
AS-75	As Shown - 75th Floor
AS-76	As Shown - 76th Floor
AS-77	As Shown - 77th Floor
AS-78	As Shown - 78th Floor
AS-79	As Shown - 79th Floor
AS-80	As Shown - 80th Floor
AS-81	As Shown - 81st Floor
AS-82	As Shown - 82nd Floor
AS-83	As Shown - 83rd Floor
AS-84	As Shown - 84th Floor
AS-85	As Shown - 85th Floor
AS-86	As Shown - 86th Floor
AS-87	As Shown - 87th Floor
AS-88	As Shown - 88th Floor
AS-89	As Shown - 89th Floor
AS-90	As Shown - 90th Floor
AS-91	As Shown - 91st Floor
AS-92	As Shown - 92nd Floor
AS-93	As Shown - 93rd Floor
AS-94	As Shown - 94th Floor
AS-95	As Shown - 95th Floor
AS-96	As Shown - 96th Floor
AS-97	As Shown - 97th Floor
AS-98	As Shown - 98th Floor
AS-99	As Shown - 99th Floor
AS-100	As Shown - 100th Floor

ELEVATION NOTES

- Elevations shown are geospatial and are referred to the CGVD25 geospatial datum, derived from City of Ottawa Benchmark No. 01726 having an elevation of 70.555 metres.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Road centres were approved by the City of Ottawa July 11, 2011.



- PARKING NOTES:**
1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED)
 2500mm WIDE X 5000mm LONG
 3000mm WIDE X 5000mm LONG (ACCESSIBLE)
 2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
 3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

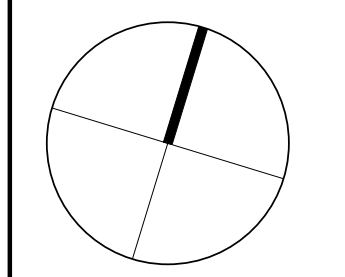
- PARKING LEGEND:**
- (A) AUTO SHARE PARKING SPACE
 - (R) RESIDENTIAL OCCUPANT PARKING SPACE
 - (V) SHARED VISITOR/COMMERCIAL PARKING SPACE
 - (B) BIKE PARKING (HORIZONTAL)
 - (V) BIKE PARKING (VERTICAL)
 - (S) BIKE PARKING (STACKED)
 - (C) CONVEX MIRROR
 - (E) ELECTRIC VEHICLE
 - (A.D. F.D.) DRAINAGE AREA DRAIN FLOOR DRAIN CATCH BASIN
 - (P) PAINTED LINES
 - (F) FIRE-RATED BLANKHEAD
- VEHICLE PARKING SPACES:**
- DESIGN OF PUBLIC SPACES - ACCESSIBLE VEHICLE TYPE A
 - DESIGN OF PUBLIC SPACES - ACCESSIBLE VEHICLE TYPE B

Date	No.	Description

REVISION RECORD

2024-09-16	Site Plan Approval (Resubmission)
2024-03-15	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	Zoning By-Law Amendment & Site Plan Approval

ISSUE RECORD



BDP. Quadrangle

Quadrangle Architects Limited
 The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0B9
 416-593-1242 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa

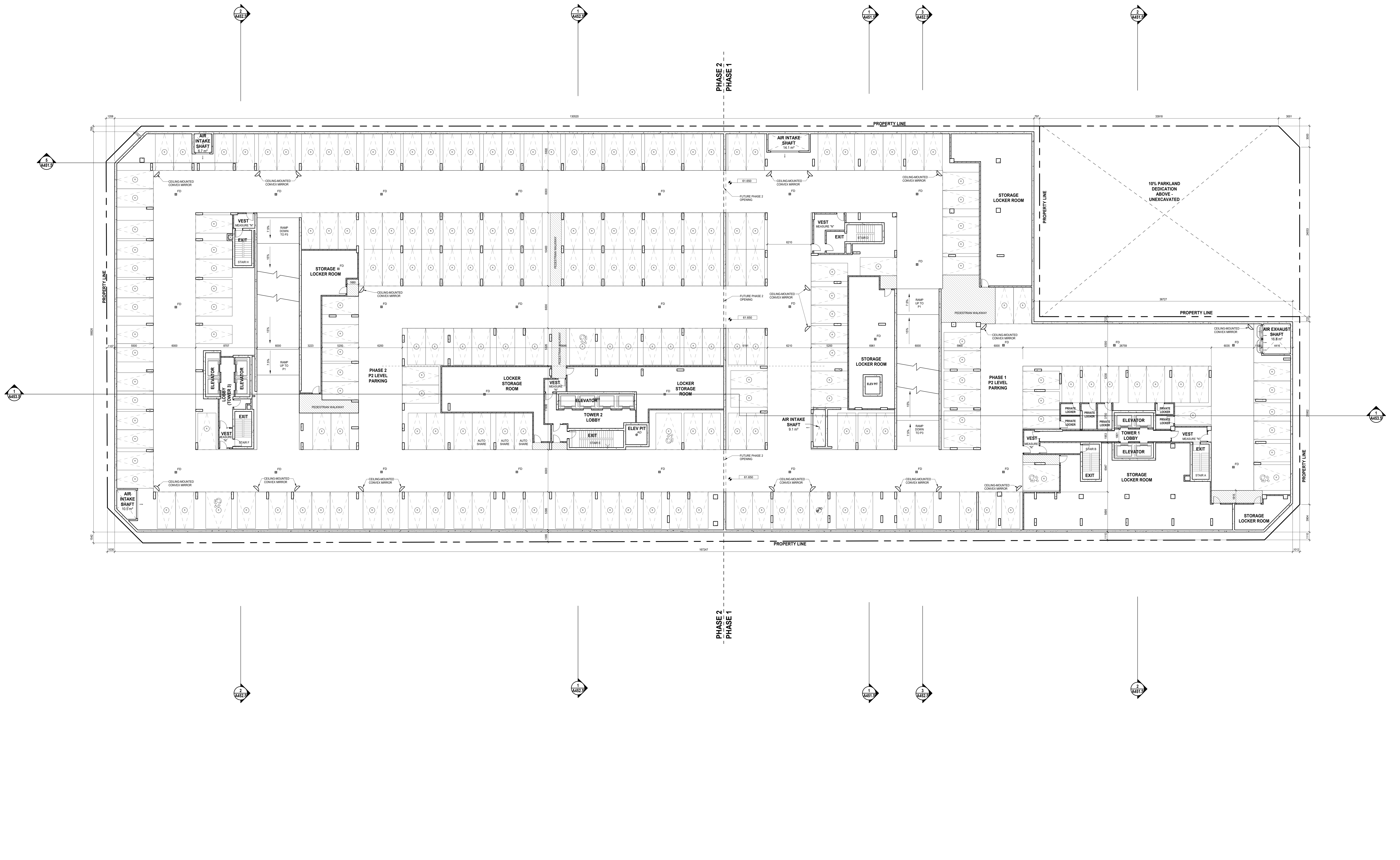
for
 Brigid
 DWG 18991 - 007-12-23-0087 SPC / 003-02-23-0042 ZBA / 001-01-23-0008 DPR

21007 As indicated R/L
 PROJECT SCALE DRAWN REVIEWED

P3 Underground Floor Plan

A103.S

Note: This drawing is the property of the architect and may not be reproduced or used without the express consent of the architect. The Contractor is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the architect and other professionals prior to commencing work.



- PARKING NOTES:**
1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED)
 - 2500mm WIDE X 5200mm LONG
 - 3000mm WIDE X 5200mm LONG (ACCESSIBLE)
 2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
 3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

- PARKING LEGEND:**
- (A) AUTO SHARE PARKING SPACE
 - (R) RESIDENTIAL OCCUPANT PARKING SPACE
 - (V) SHARED VISITOR/COMMERCIAL PARKING SPACE
 - (B) BIKE PARKING (HORIZONTAL)
 - (V) BIKE PARKING (VERTICAL)
 - (S) SHARED VISITOR/COMMERCIAL PARKING SPACE
 - (S) CONVEYOR MIRROR
 - (E) ELECTRIC VEHICLE
 - (AD, FD, CB) DRAINAGE AREA DRAIN, FLOOR DRAIN, CATCH BASIN
 - (---) PAINTED LINES
 - (---) FIRE-RATED BLANKHEAD
- VEHICLE PARKING SPACES:**
- DESIGN OF PUBLIC SPACES - ACCESSIBLE VEHICLE, TYPE A
 - DESIGN OF PUBLIC SPACES - ACCESSIBLE VEHICLE, TYPE B

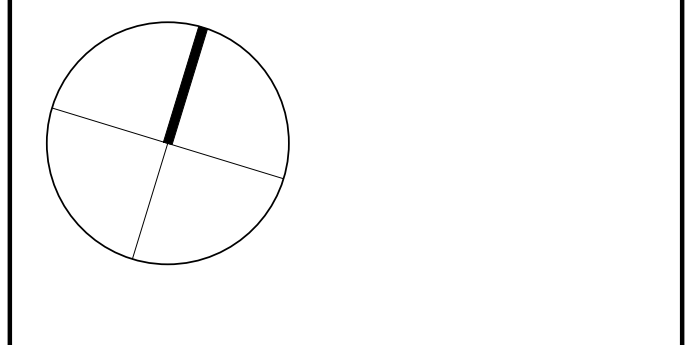
Date	No.	Description

REVISION RECORD

Date	No.	Description
2024-09-16		Site Plan Approval (Resubmission)
2024-03-15		Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15		Zoning By-Law Amendment & Site Plan Approval

ISSUE RECORD

Date	No.	Description



BDP Quadrangle

Quadrangle Architects Limited
 The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
 416-593-1242 www.bdpquadrangle.com

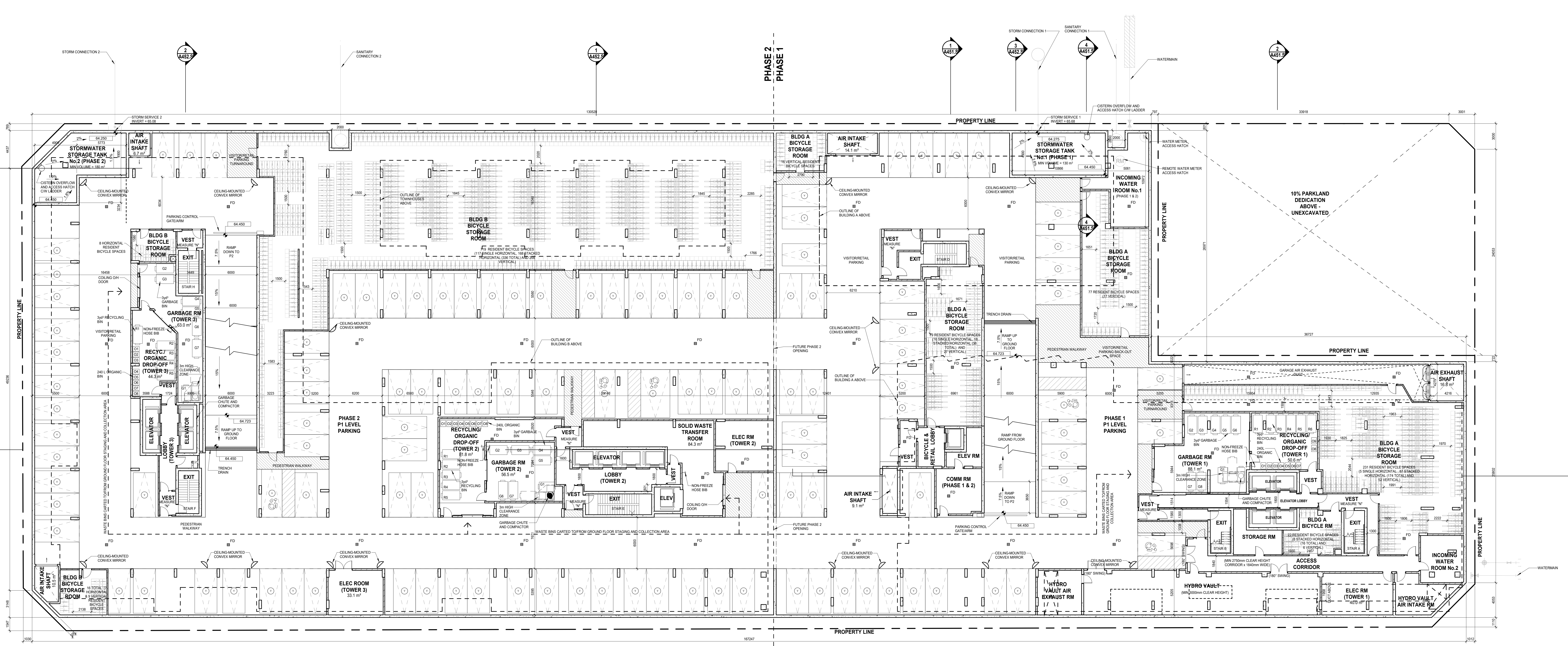
285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa
 for
 Brigid
 DWG: 19991 - 007-12-23-0087 SPC / 000-00-23-0042 ZBA /
 001-01-23-0008 DPR

21007 As indicated R/L
 PROJECT SCALE DRAWN REVIEWED

P2 Underground Floor Plan

A104.S

Note: This drawing is the property of the architect and may not be reproduced or used without the express consent of the architect. The architect is not responsible for checking and verifying all items and dimensions and shall report all discrepancies to the architect and other stakeholders prior to construction work.



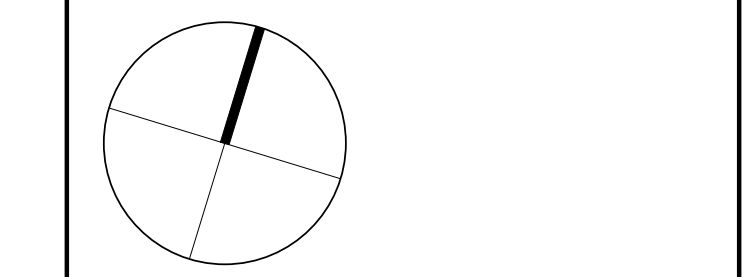
- PARKING NOTES:**
1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED)
 2000mm WIDE X 3200mm LONG
 3000mm WIDE X 5200mm LONG (ACCESSIBLE)
 2. MOUNT AN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
 3. MOUNT AN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.
- PARKING LEGEND:**
- (A) AUTO SHARE PARKING SPACE
 - (R) RESIDENTIAL OCCUPANT PARKING SPACE
 - (V) SHARED VISITOR/COMMERCIAL PARKING SPACE
 - (B) BIKE PARKING (HORIZONTAL)
 - (B) BIKE PARKING (VERTICAL)
 - (B) BIKE PARKING (STACKED)
 - (B) BIKE PARKING (STACKE)
 - (C) COVERED BIKE
 - (EV) ELECTRIC VEHICLE
 - (AD, FD, CB) DRAINAGE AREA DRAIN, FLOOR DRAIN, CATCH BASIN
 - (P) PAINTED LINES
 - (F) FIRE-RATED BLANKHEAD
- VEHICLE PARKING SPACES:**
- TYPICAL: 3000 x 5200
 - SMALL CAR: 2400 x 3600
 - ACCESSIBLE (TYPICAL): 3000 x 5200
 - DESIGN OF: 3000 x 5200
 - DESIGN OF: 3000 x 5200
 - ACCESSIBLE: 3000 x 5200
 - ACCESSIBLE: 3000 x 5200

Date	No.	Description

Date	No.	Description

Date	No.	Description
2024-09-16		Site Plan Approval (Resubmission)
2024-03-15		Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15		Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description



BDP.
Quadrangle

Quadrangle Architects Limited
 The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
 416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa

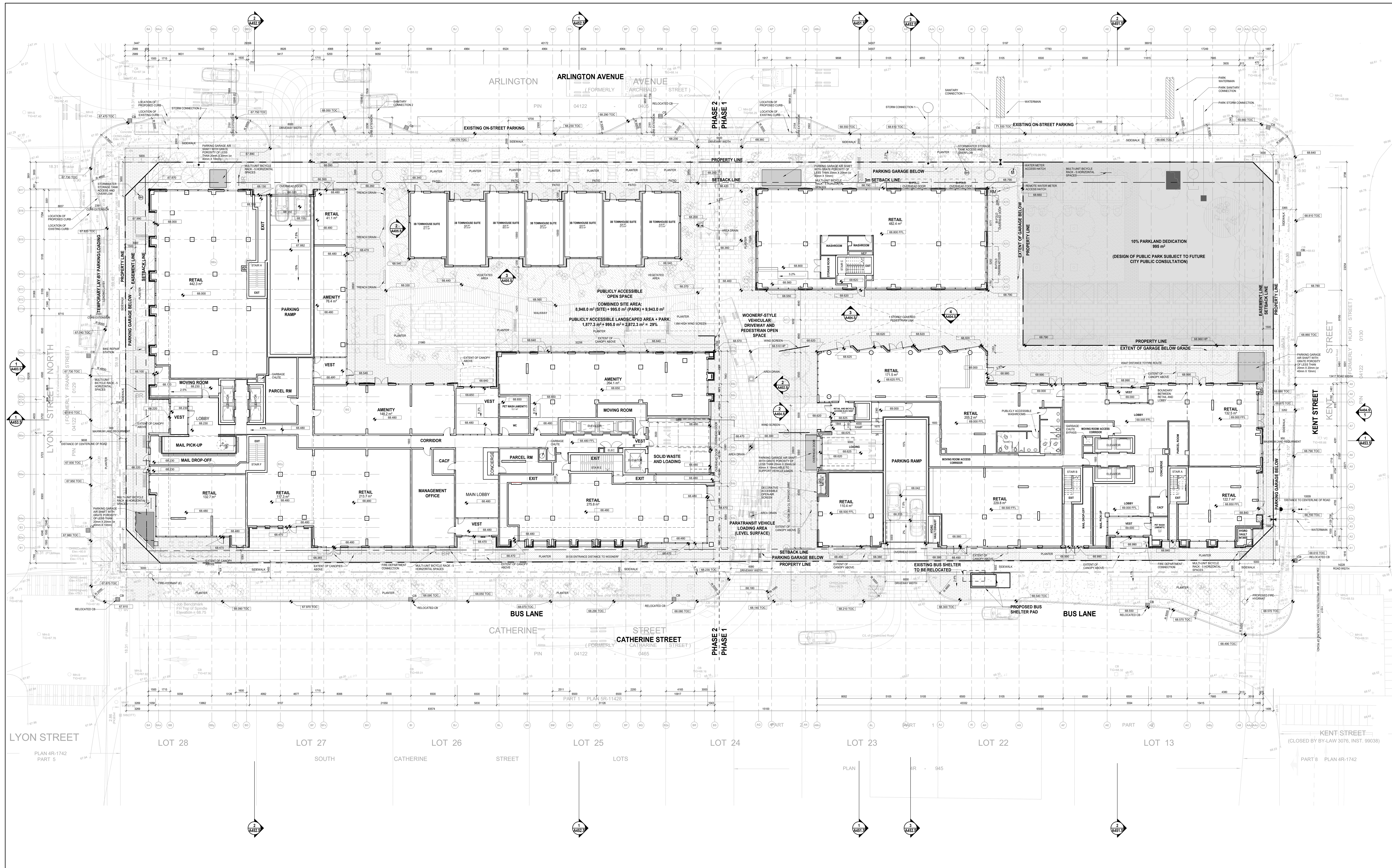
for
 Brigid
 DWG 18991 - 007-12-23-0087 SPC / 000-00-23-0042 ZBA / 001-00-23-0000 DR

21007 As indicated R/L
 PROJECT SCALE: DRAWN REVIEW

P1 Underground Floor Plan

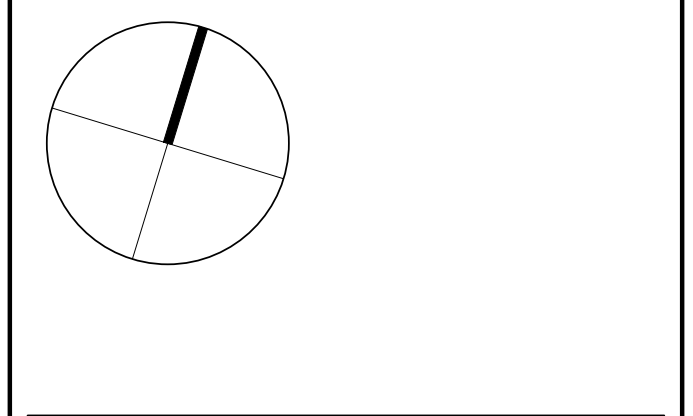
A105.S

Note: This drawing is the property of the Architect and may not be reproduced or used without the written consent of the Architect. The Contractor is responsible for checking and verifying all events and dimensions and shall report all discrepancies to the Architect and other stakeholders prior to construction work.



Date	No.	Description
2024-09-16		Site Plan Approval (Resubmission)
2024-03-15		Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15		Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description
		REVISION RECORD



BDP.
Quadrangle

Quadrangle Architects Limited
The West 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0A9
416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
OTTAWA
285 Catherine Street, Ottawa

for
Brigil
DWG:18991 - 001-12-23-0087 SPC - 000-00-23-0042 ZSA /
001-00-23-0000 DPA

21007 1:150 GZ R/JL
PROJECT SCALE DRAWN REVIEWED

Ground Floor Plan

A200.S

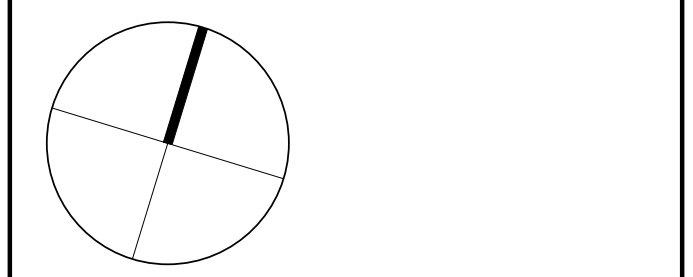
Note: This drawing is the property of the Architect and may not be reproduced or used without the written consent of the Architect. The Contractor is responsible for checking and verifying all dimensions and other report all discrepancies to the Architect prior to construction.



Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description
2024-09-16	1	Second Floor Plan

ISSUE RECORD



BDP.
Quadrangle

Quadrangle Architects Limited
The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
OTTAWA
285 Catherine Street, Ottawa
for
Brigil
DPV19191 - 001-12-23-0087 SPC / 003-02-23-0042 ZBA /
001-01-23-0008 OPR

21007 1:150 GZ RJL
PROJECT SCALE DRAWN REVIEWED

Second Floor Plan

A202.S

Note: This drawing is the property of the Architect and may not be reproduced or used without the written consent of the Architect. The Contractor is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the Architect and other professionals prior to commencing work.

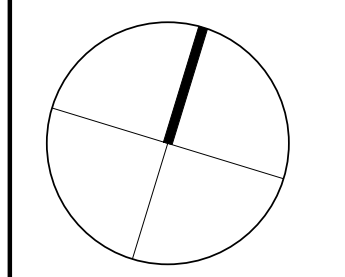
2024-09-16 11:52 AM

C:\Users\bdp\Documents\A202_S\Floor 2\285 Catherine St - 2022_CAD\A202.S



Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description
2024-09-16	1	Issue Record



BDP.
Quadrangle

Quadrangle Architects Limited
 The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
 416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa
 for
 Brigid
 DWG 19991 - 001-12-23-0087 SPC / 000-00-23-0042 ZBA /
 001-00-23-0008 OPR

21007 1:150 GZ RJJ
 PROJECT SCALE DRAWN REVIEWED

Third Floor Plan

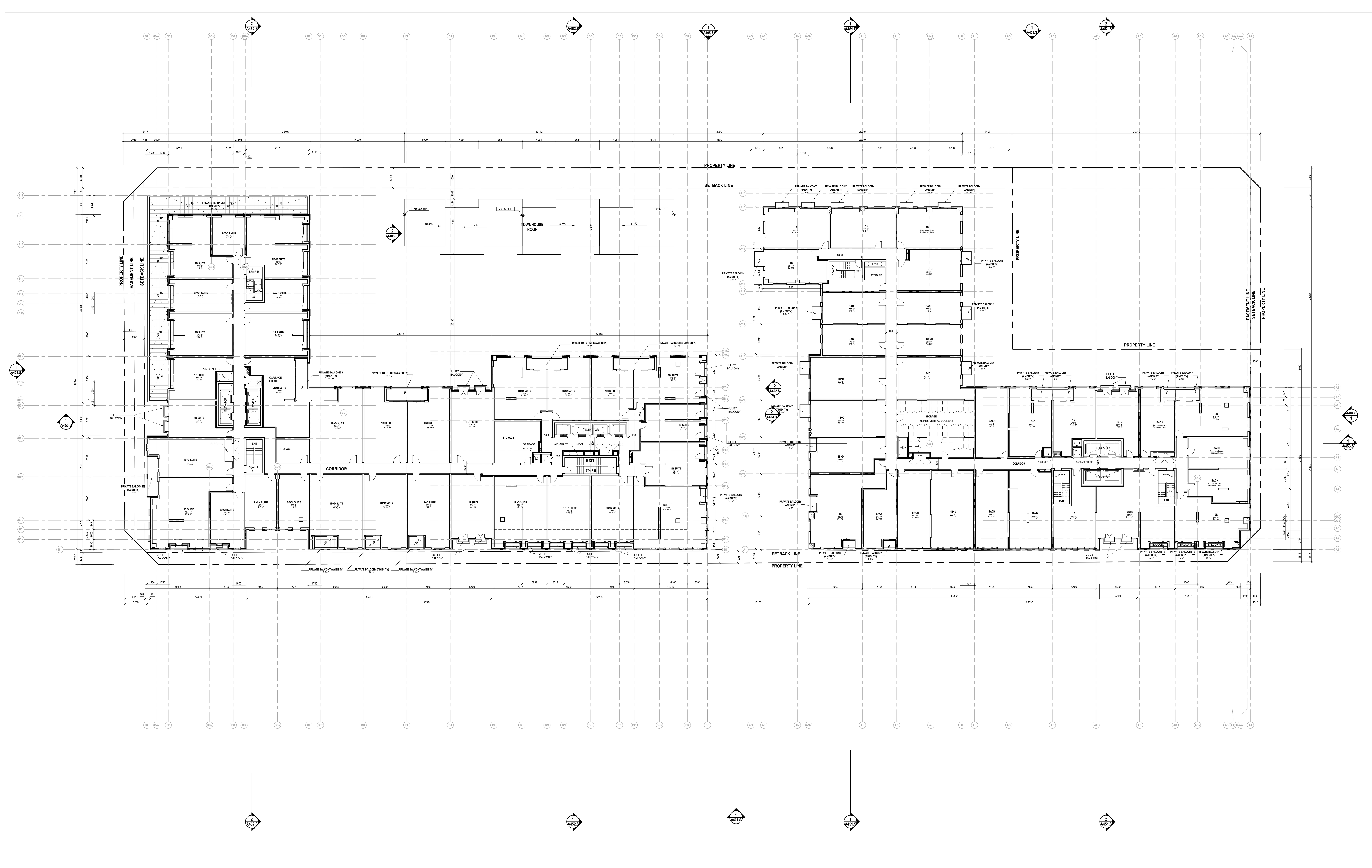
A203.S

Note: This drawing is the property of the Architect and may not be reproduced or used without the written consent of the Architect. The Contractor is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the Architect and other professionals prior to commencing work.

1 Third Floor Plan
 A203.S

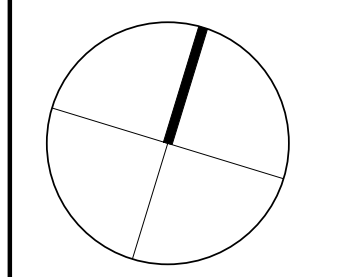
C:\Users\bdp\Documents\A203_S\199-201-Catherine-St-Ottawa-2022-04-28-11-11-11.dwg

2024-09-16 11:37 AM



Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description
2024-09-16	1	Issue Record



BDP.
Quadrangle

Quadrangle Architects Limited
 The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0B9
 416-593-1200 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa
 for
 Brigid
 DWG: 19951 - 001-12-23-0087 SPC / 000-00-23-0042 ZBA /
 001-00-23-0000 DPE

21007 1:150 GZ RJL
 PROJECT SCALE DRAWN REVIEWED

Fourth Floor Plan

A204.S

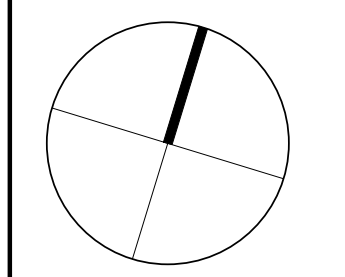
Note: This drawing is the property of the Architect and may not be reproduced or used without the written consent of the Architect. The Contractor is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the Architect and other professionals prior to commencing work.

1
 A204.S Fourth Floor Plan



Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description



BDP.
Quadrangle

Quadrangle Architects Limited
 The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
 416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa

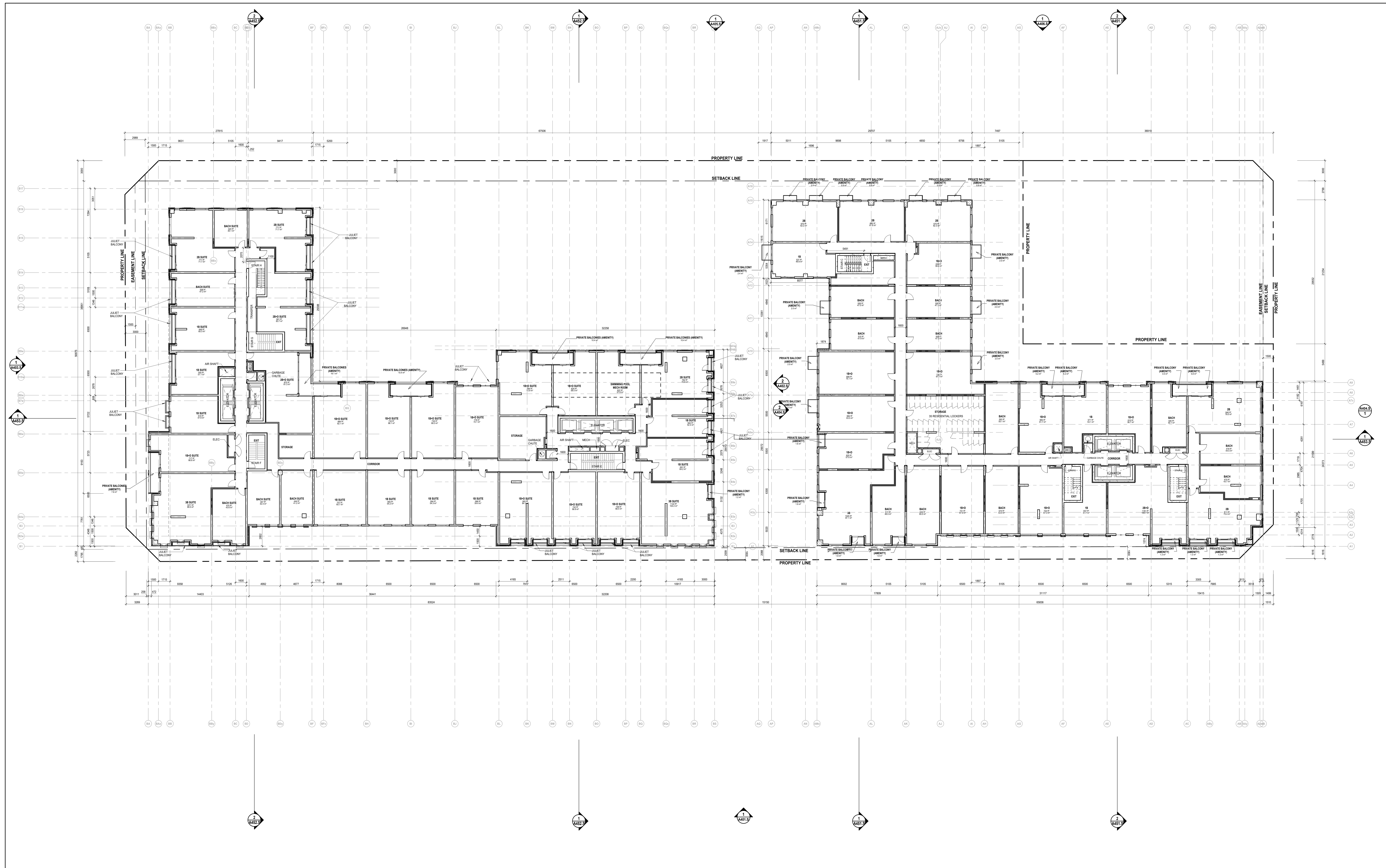
for
 Brigid
 DWG: 1891 - 001-12-23-0087 SPC / 000-00-23-0042 ZBA /
 001-00-23-0000 DPA

21007 1:150 GZ RJL
 PROJECT SCALE DRAWN REVIEWED

Fifth Floor Plan

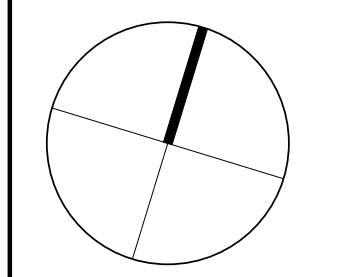
A205.S

Note: This drawing is the property of the Architect and may not be reproduced or used without the written consent of the Architect. The Contractor is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the Architect and other professionals prior to commencing work.



Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description
2024-09-16	1	ISSUE RECORD



BDP.
Quadrangle

Quadrangle Architects Limited
 The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
 416-593-1200 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa

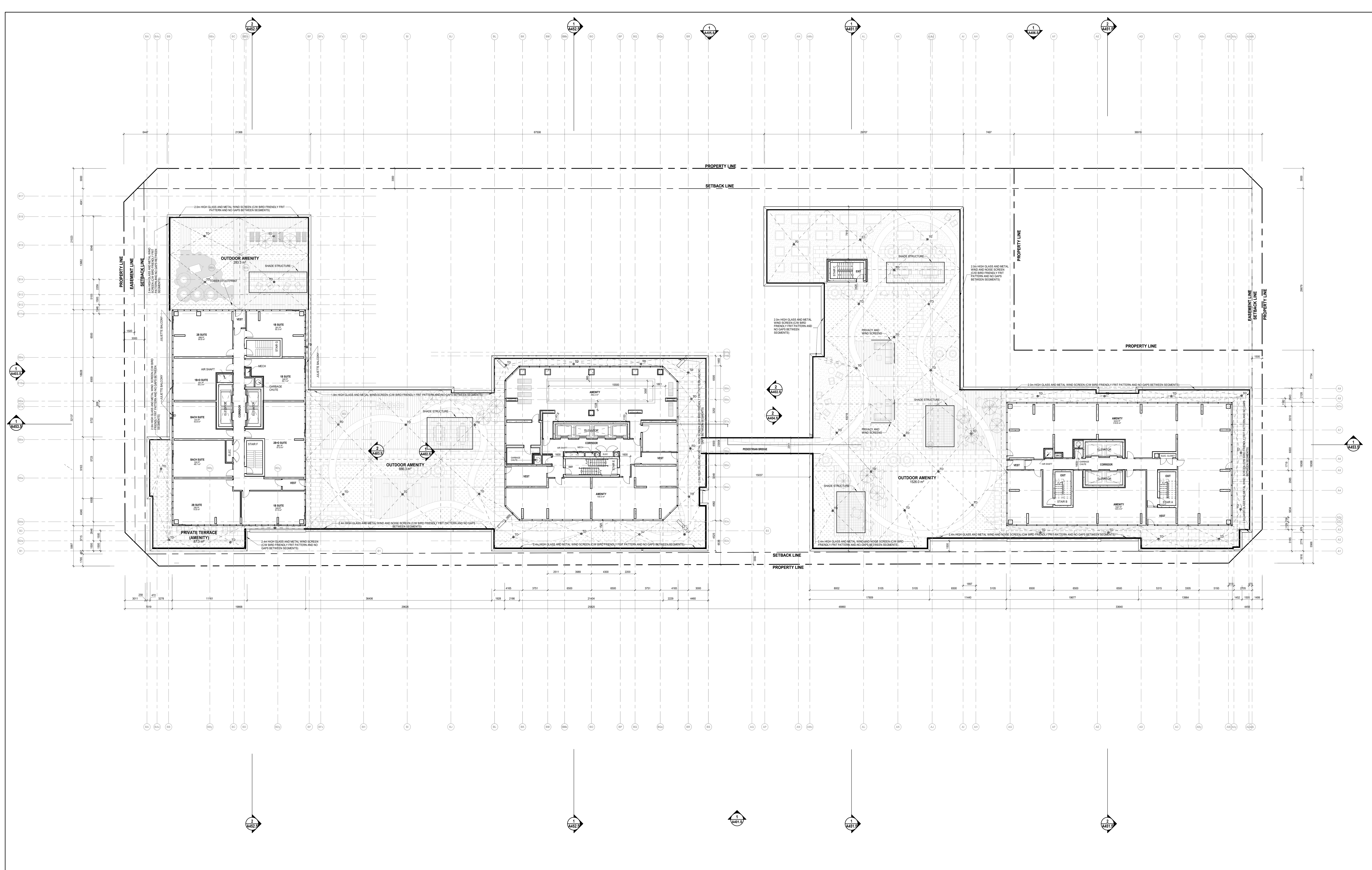
for
 Brigid
 DWG: 19991 - 001-12-23-0087 SPC / 000-00-23-0042 ZBA /
 001-00-23-0000 DPR

21007 1:150 GZ RJL
 PROJECT SCALE DRAWN REVIEWED

Sixth Floor Plan

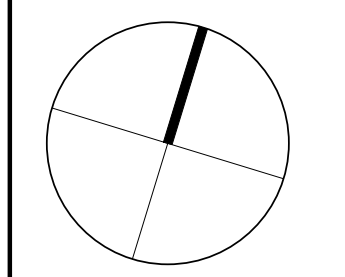
A206.S

Note: This drawing is the property of the Architect and may not be reproduced or used without the written consent of the Architect. The Contractor is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the Architect and other stakeholders prior to commencing work.



Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

REVISION RECORD	
Date	Description



BDP.
Quadrangle

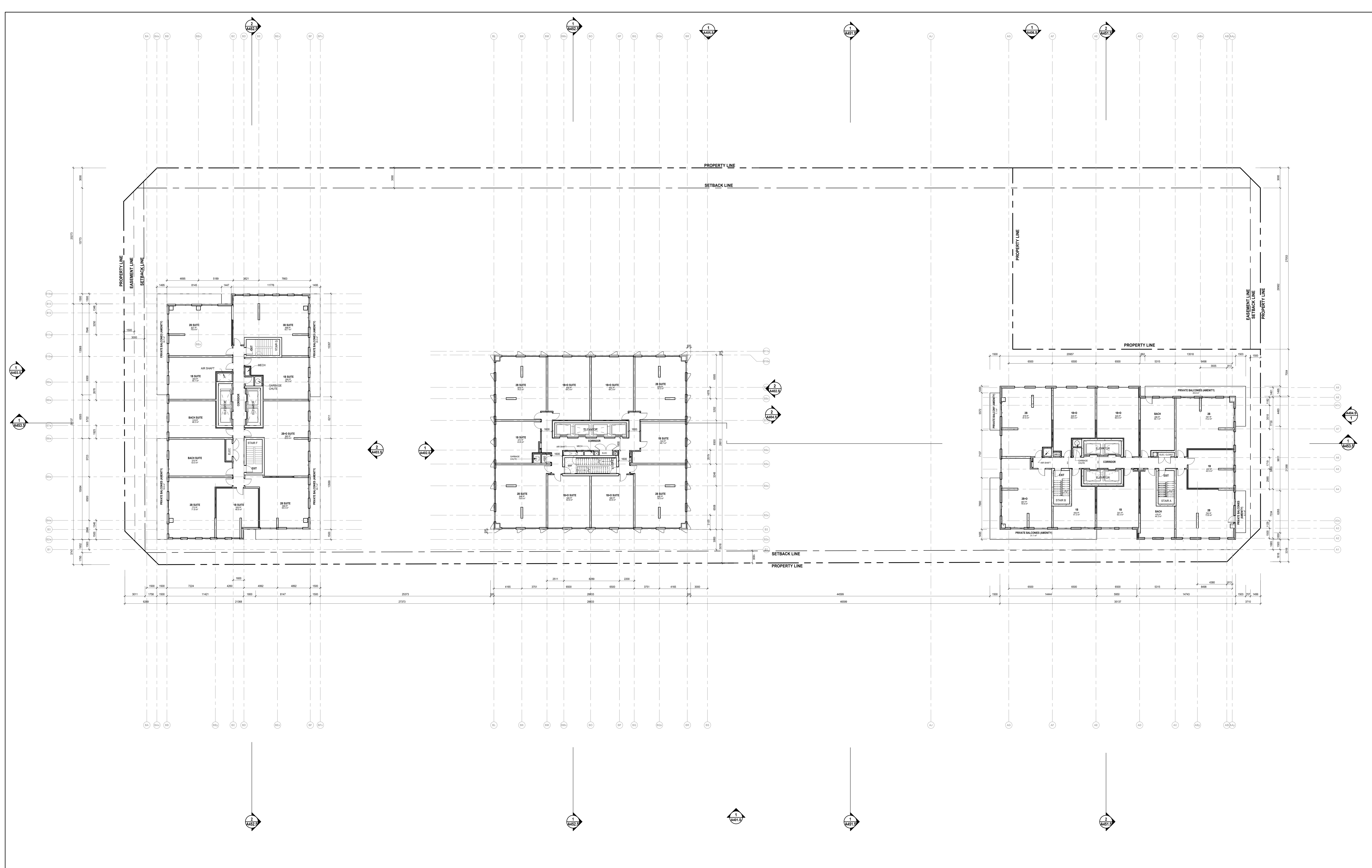
Quadrangle Architects Limited
 The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
 416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa
 for
 Brigil
 DPO: 18991 - 007-12-23-0087 SPC / 003-02-23-0042 ZBA /
 101-01-23-0008 OPA

21007 1:150 GZ RJJ
 PROJECT SCALE DRAWN REVIEWED

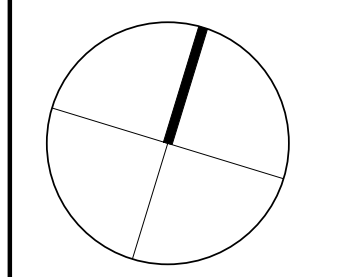
Seventh Floor Plan
A207.S

Note: This drawing is the property of the Architect and may not be reproduced or used without the written consent of the Architect. The Contractor is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the Architect and other professionals prior to commencing work.



Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description
2024-09-16	1	Issue Record



BDP.
Quadrangle

Quadrangle Architects Limited
 The View, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
 416-593-1200 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa

for
 Brigid

21007 1:150 GZ R.J.L.
 PROJECT SCALE DRAWN REVIEWED

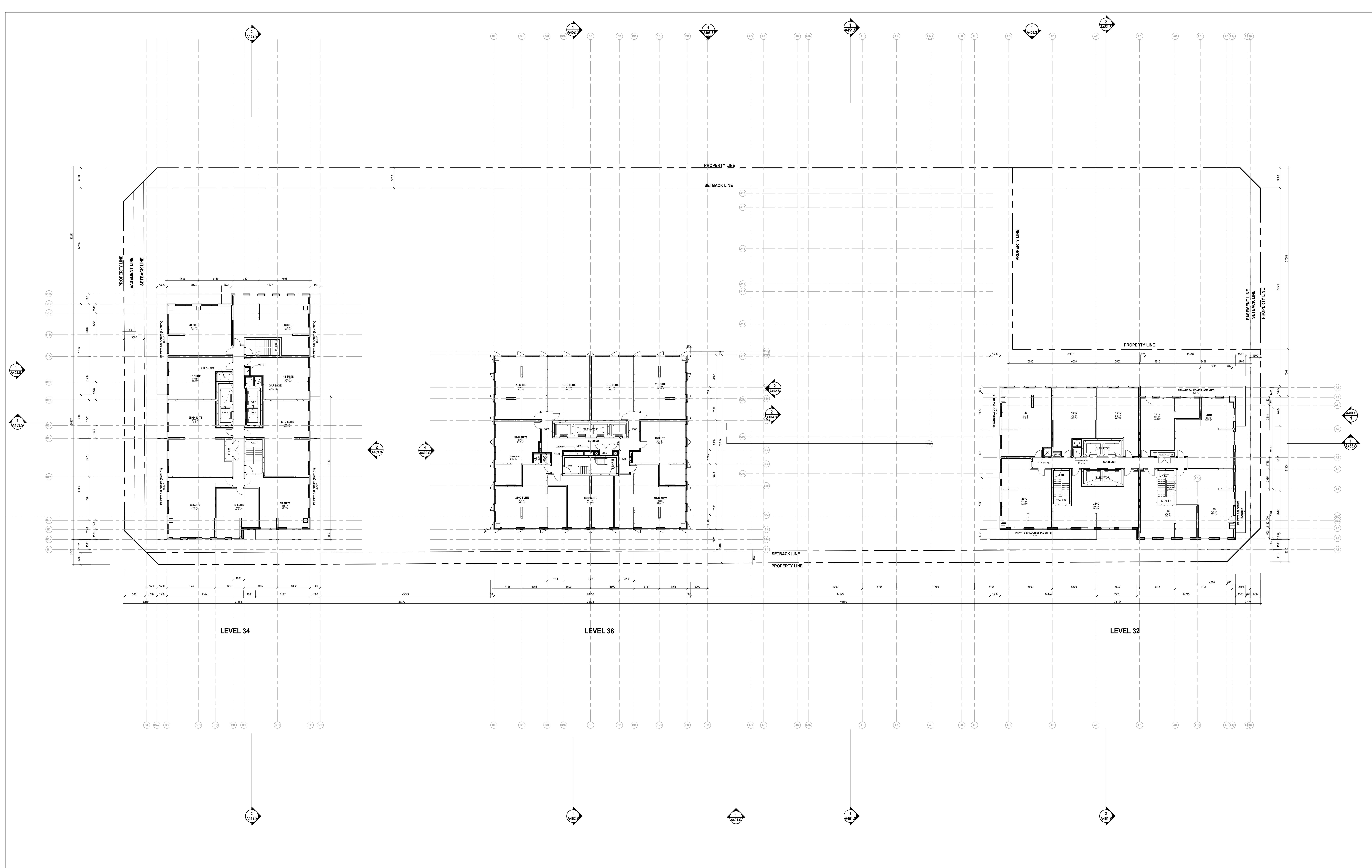
Typical Tower Floor Plan

A208.S

Note: This drawing is the property of the Architect and may not be reproduced or used without the written consent of the Architect. The Contractor is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the Architect and other professionals prior to commencing work.

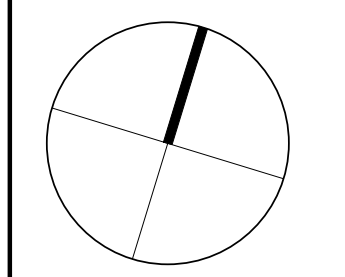
1
 A208.S
 Typical Tower Floor Plan

C:\Users\jdo\Documents\B208_S\B208_S.dwg 2024-09-16 10:00:00 AM



Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description
2024-09-16	1	Issue Record



BDP
Quadrangle

Quadrangle Architects Limited
The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
416-593-1200 www.bdpquadrangle.com

285 CATHERINE STREET,
OTTAWA
285 Catherine Street, Ottawa

for
Brigil
DPV19191 - 00712-23-0087 SPC / 003-02-23-0042 ZBA /
100-01-23-0008 SPC

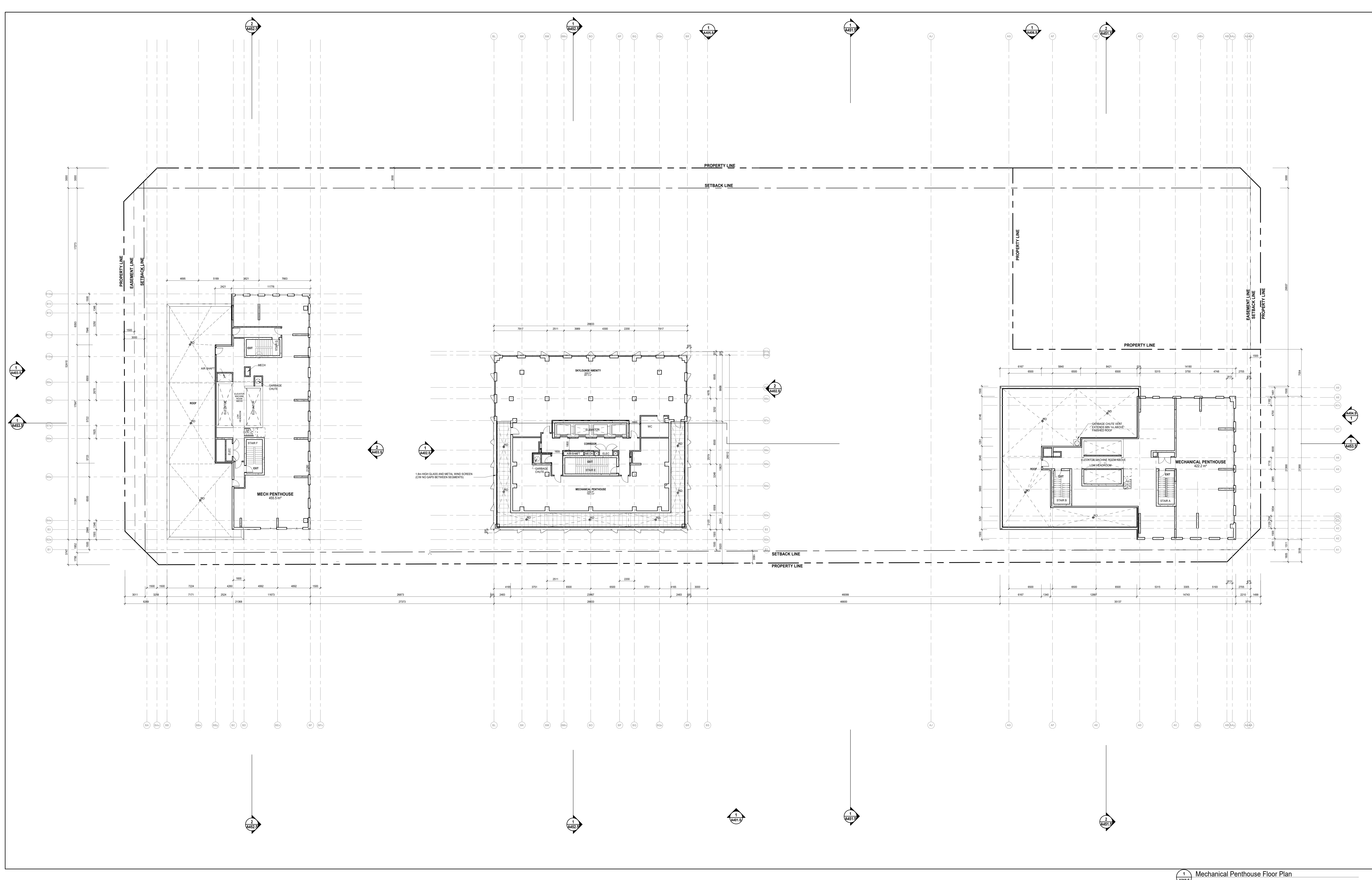
21007 1:150 GZ RJL
PROJECT SCALE DRAWN REVIEWED

Penthouse Floor Plan

A209.S

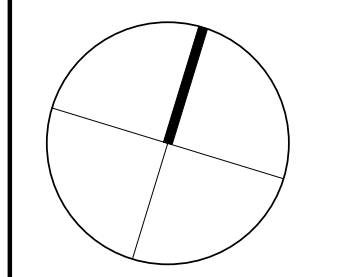
Note: This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the Architect and other professionals prior to commencing work.

C:\Users\bdp\Documents\A209_S_Penthouse_Floor_Plan.dwg 2024-09-16 10:00:00 AM



Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description
2024-09-16	1	Issue Record



BDP.
Quadrangle

Quadrangle Architects Limited
 The View, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
 416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa

for
 Brigil
 DPO: 19951 - 00712-23-0087 SPC / 000-00-23-0042 ZBA /
 10010-23-0000 SPC

21007 1:150 GZ R/JL
 PROJECT SCALE DRAWN REVIEWED

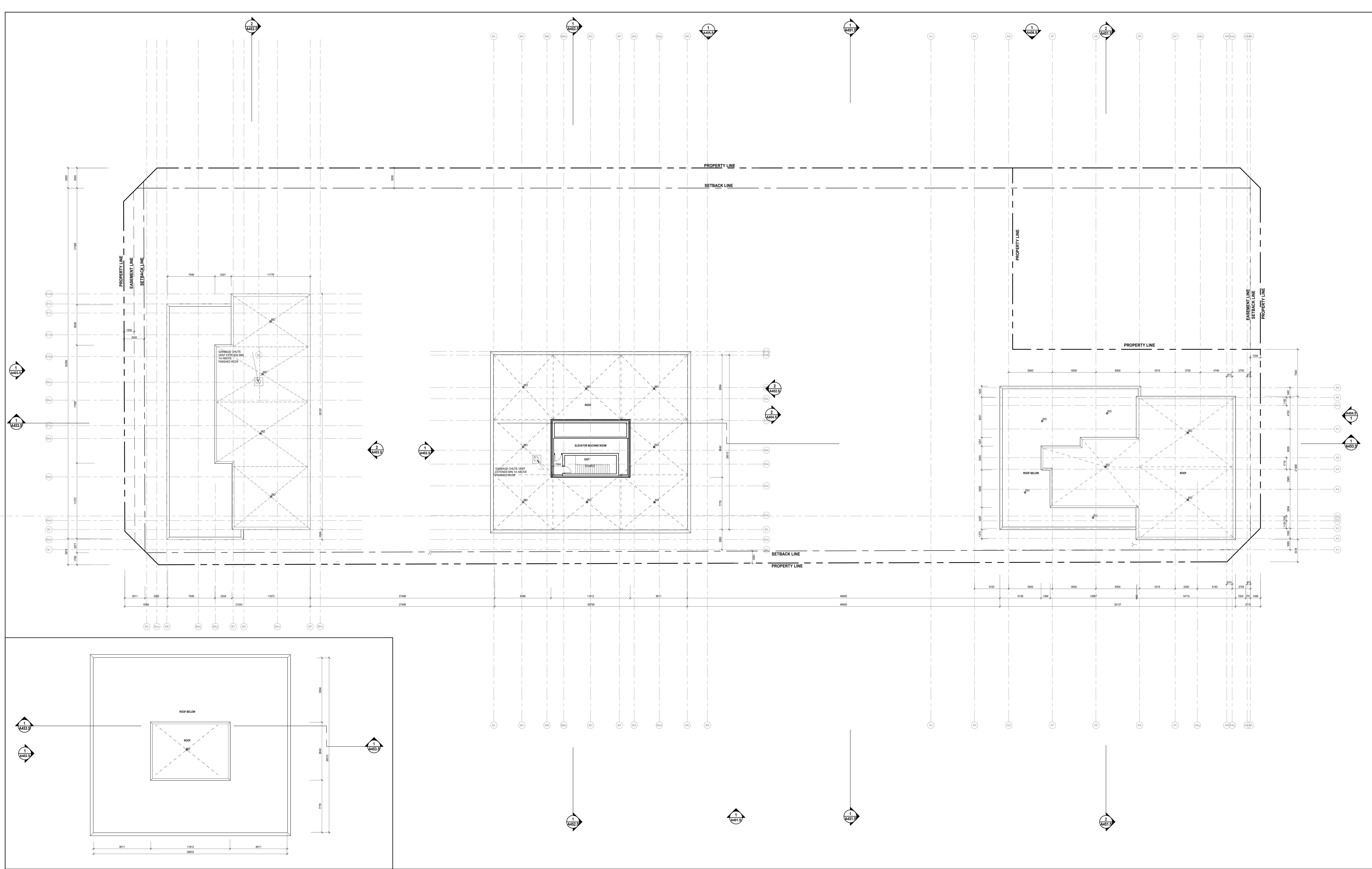
Mechanical Penthouse Floor Plan

A210.S

Note: This drawing is the property of the architect and may not be reproduced or used without the express consent of the architect. The Contractor is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the architect and other professionals prior to commencing work.

C:\Users\bdp\Documents\A210_S\21007_285 Catherine St_2022_042823.rvt

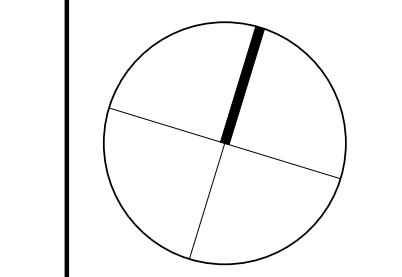
2024-09-16 11:53:29 AM



C:\Users\jdo\Documents\BDO\BDO_21007_261\Ottawa\BDO_21007_261\DWG\A211.S

Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description
2024-09-16	1	Issue Record



BDP.
Quadrangle

Quadrangle Architects Limited
The View, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
OTTAWA
285 Catherine Street, Ottawa

for
Brigil
DWG: 19991 - 007-12-23-0067 SPC / 000-00-23-0042 ZBA /
10010-23-0000 SPC

21007 1:150 GZ R/JL
PROJECT SCALE DRAWN REVIEWED

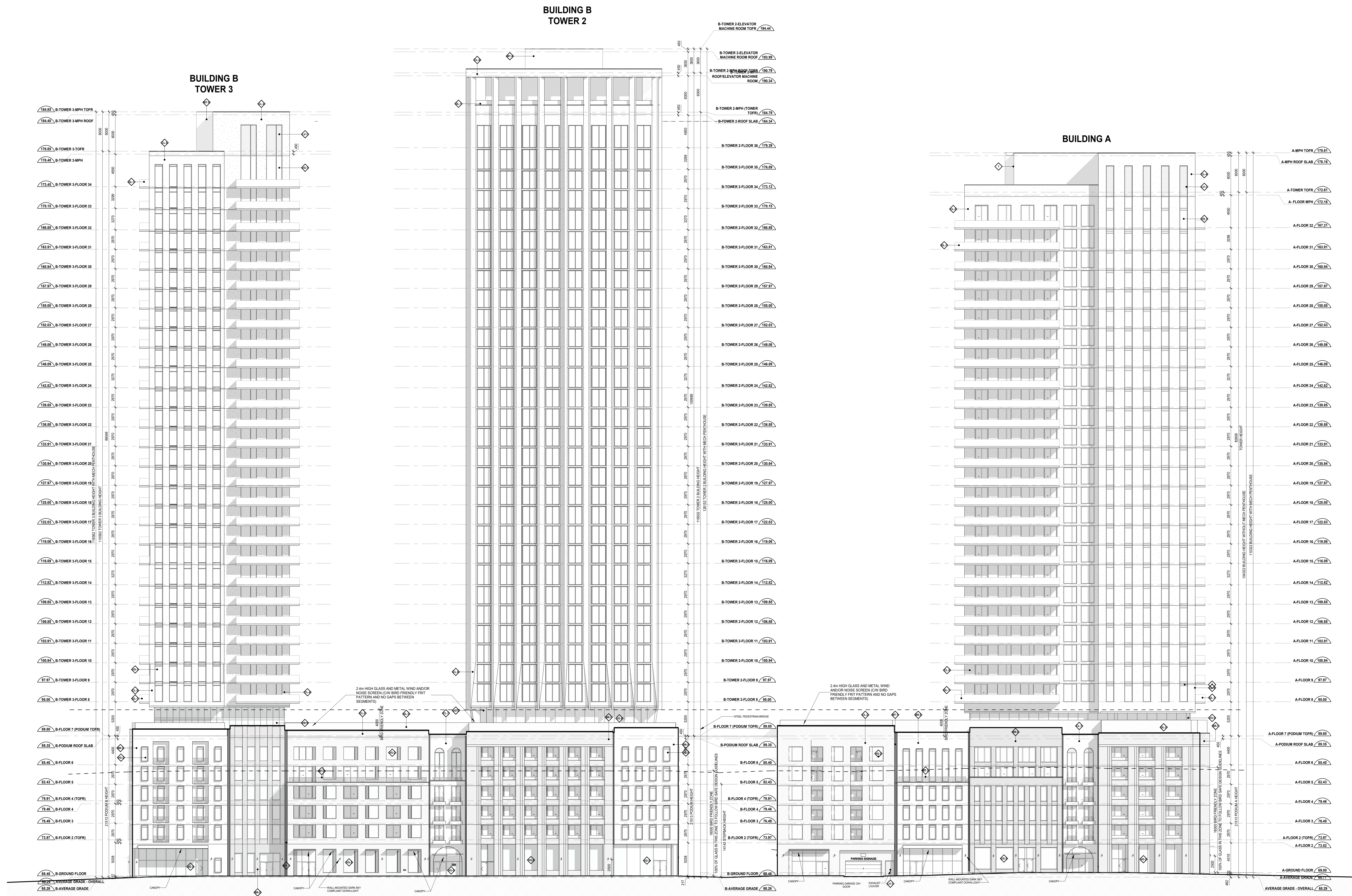
Roof Plan

A211.S

Note: This drawing is the property of the Architect and may not be reproduced or used without the written consent of the Architect. The Contractor is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the Architect and other professionals prior to commencing work.

2 Tower 2 Elevator Mechanical Room Roof

1 Roof Plan



LEGEND:

- BRICK - COLOUR 1
- BRICK - COLOUR 2
- BRICK - COLOUR 3
- BRICK - COLOUR 4
- CLADDING 1 - TAN
- CLADDING 2 - TEXTURED WHITE 1
- CLADDING 3 - TEXTURED WHITE 2
- CLADDING 4 - WHITE
- CLADDING 5 - BLACK
- CLADDING 6 - OFF-WHITE
- CLADDING 7 - GREY
- PLATE ALUM CLADDING SYSTEM - COLOUR 1
- PLATE ALUM CLADDING SYSTEM - COLOUR 2
- METAL FLASHING AND PARAPET CAP FLASHING
- SHEET STEEL CLADDING SYSTEM
- WINDOW SYSTEM METAL SPANDREL PROJECTED PANEL
- WINDOW SYSTEM METAL SPANDREL FLUSH PANEL
- WINDOW SYSTEM METAL SPANDREL RECESSED PANEL
- RESIDENTIAL VISION GLASS - IGU
- RESIDENTIAL VISION GLASS IG-1 WITH BIRD FRIENDLY FRIT PATTERN
- METAL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN
- RAILING GLASS
- RAILING GLASS WITH BIRD FRIENDLY FRIT PATTERN
- PRIVACY SCREEN GLASS
- RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVRE
- ARCHITECTURAL LOUVRE

Date	No.	Description

REVISION RECORD

Date	No.	Description

ISSUE RECORD

2024-09-16	Site Plan Approval (Resubmission)
2024-03-15	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	Zoning By-Law Amendment & Site Plan Approval

BDP. Quadrangle

Quadrangle Architects Limited
The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
OTTAWA,
285 Catherine Street, Ottawa

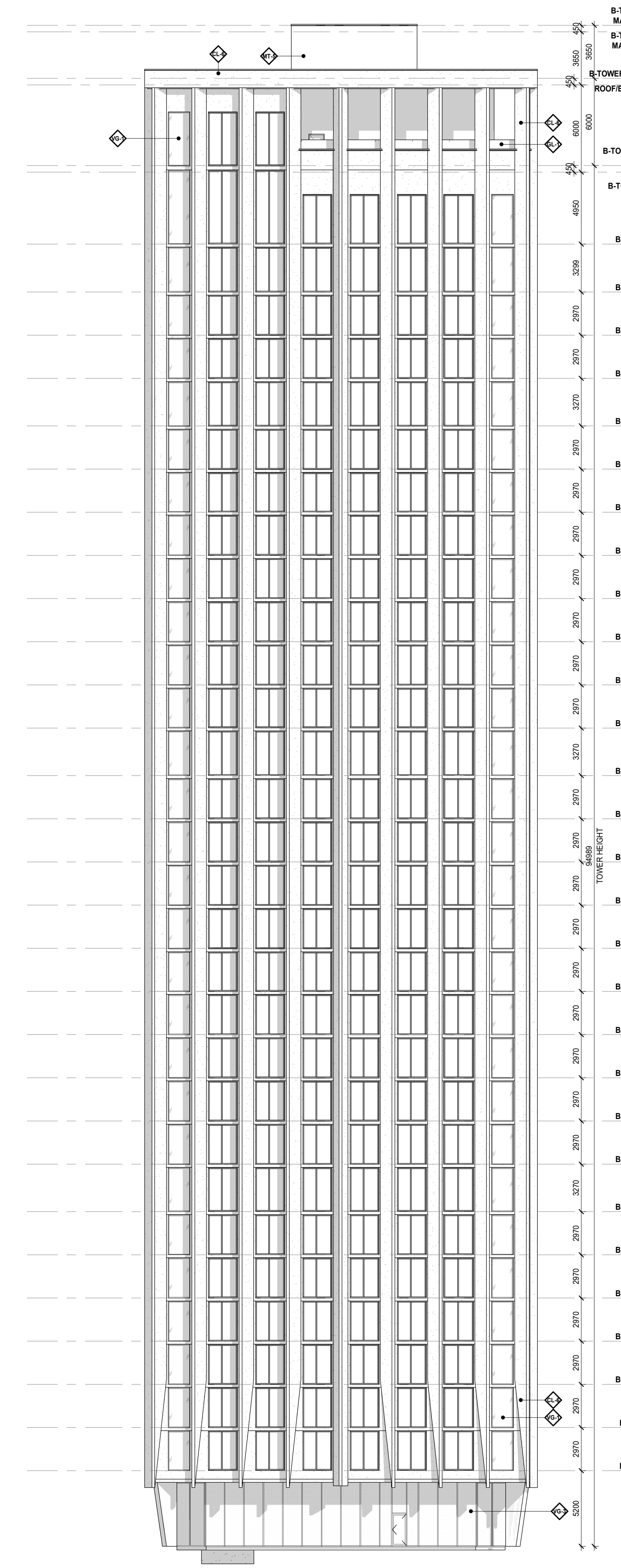
for
Brigil
DWG 19951 - 001-12-23-0067 SPC / 002-02-23-0042 ZSA / 001-01-23-0008 DPA

21007 1:200 GZ R/JL
PROJECT SCALE DRAWN REVIEWD

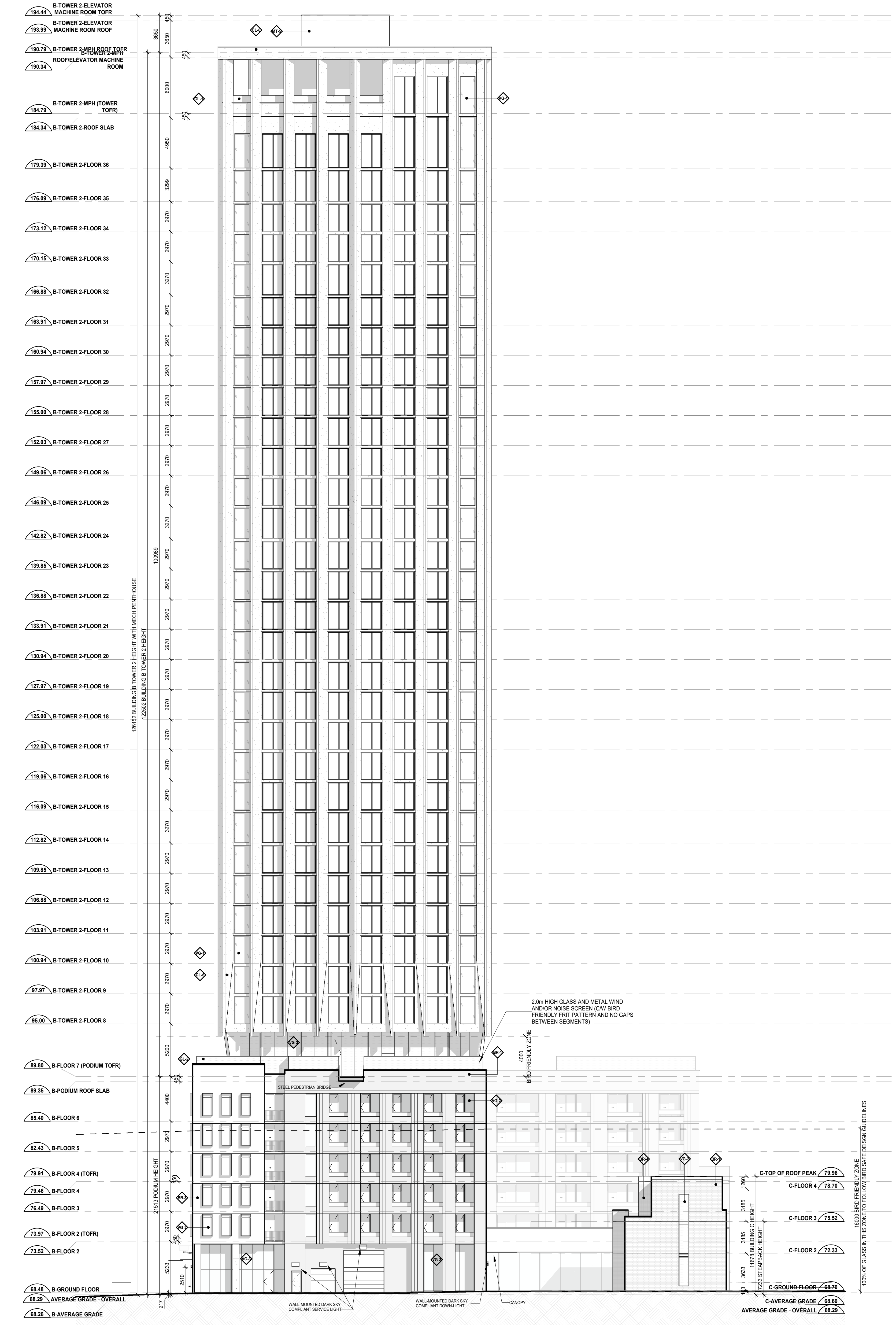
South Elevation

A401.S

Note: This drawing is the property of the architect and may not be reproduced or used without the express consent of the architect. The Contractor is responsible for checking all work and items and dimensions and shall report all discrepancies to the architect and other professionals prior to commencing work.



1 Tower 2 - West Elevation



2 Building B - East Elevation

LEGEND:

- ◆ BRICK - COLOUR 1
- ◆ BRICK - COLOUR 2
- ◆ BRICK - COLOUR 3
- ◆ BRICK - COLOUR 4
- ◆ CLADDING 1 - TAN
- ◆ CLADDING 2 - TEXTURED WHITE 1
- ◆ CLADDING 3 - TEXTURED WHITE 2
- ◆ CLADDING 4 - WHITE
- ◆ CLADDING 5 - BLACK
- ◆ CLADDING 6 - OFF-WHITE
- ◆ CLADDING 7 - GREY
- ◆ PLATE ALUM CLADDING SYSTEM - COLOUR 1
- ◆ BALCONY AND TERRACE RAILING HANDRAILS AND FINISHES FOR SCREEN SUPPORT POSTS, HANDRAILS AND
- ◆ PLATE ALUM CLADDING SYSTEM - COLOUR 2
- ◆ METAL FLASHING AND PARAPET CAP FLASHING
- ◆ SHEET STEEL CLADDING SYSTEM
- ◆ WINDOW SYSTEM METAL SPANDREL PROJECTING PANEL
- ◆ WINDOW SYSTEM METAL SPANDREL FLUSH PANEL
- ◆ WINDOW SYSTEM METAL SPANDREL RECESSED PANEL
- ◆ RESIDENTIAL VISION GLASS - 001
- ◆ RESIDENTIAL VISION GLASS VG-1 WITH BIRD FRIENDLY FRIT PATTERN
- ◆ METAL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN
- ◆ RAILING GLASS
- ◆ RAILING GLASS WITH BIRD FRIENDLY FRIT PATTERN
- ◆ PRIVACY SCREEN GLASS
- ◆ RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVER
- ◆ ARCHITECTURAL LOUVER

Date	No.	Description

REVISION RECORD

Date	Description
2024-09-16	Site Plan Approval (Resubmission)
2024-03-15	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	Zoning By-Law Amendment & Site Plan Approval

ISSUE RECORD

BDP Quadrangle

Quadrangle Architects Limited
The View, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0B9
416-593-1245 www.bdpquadrangle.com

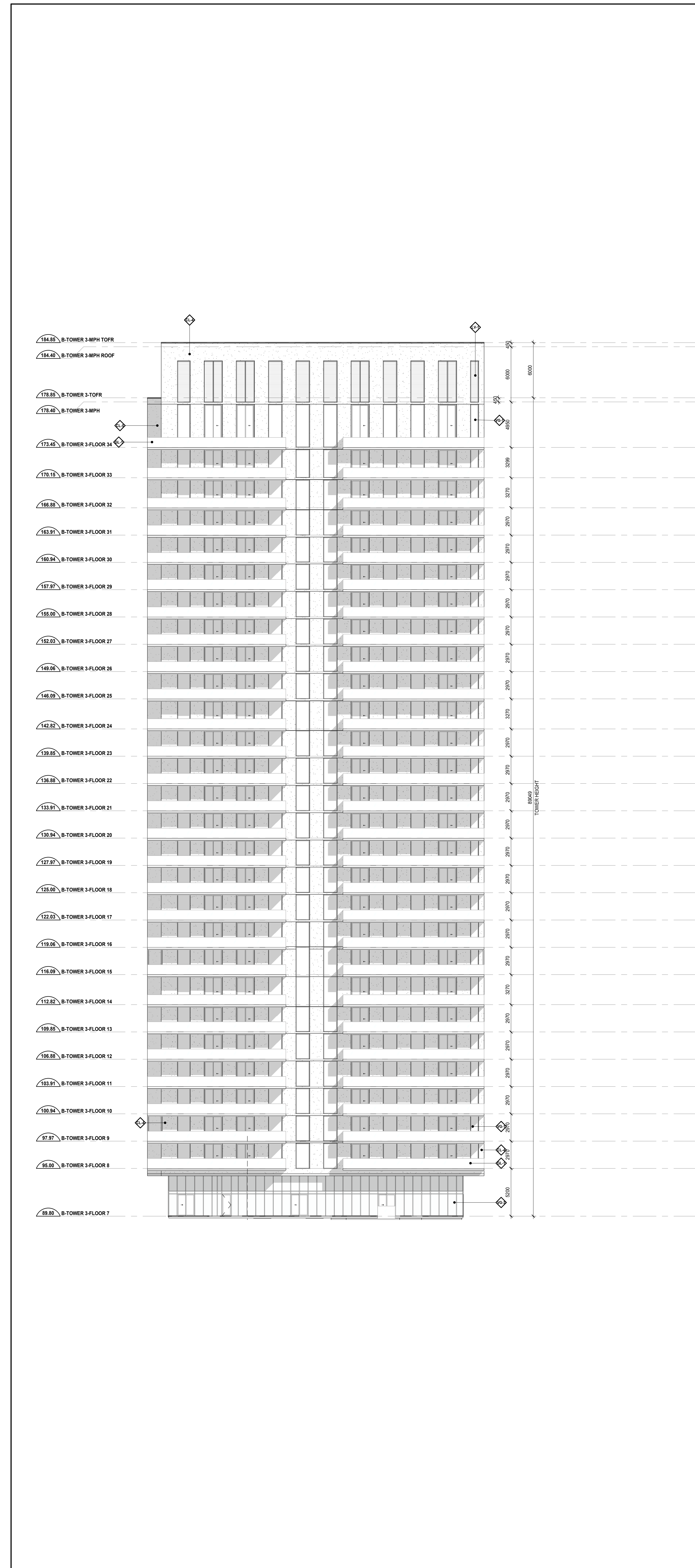
285 CATHERINE STREET,
OTTAWA
285 Catherine Street, Ottawa

for
Brigil
DWG: 18951 - 007-12-23-0087 SFC - 003-02-23-0042 ZBA / 2023-03-23-0008 SFC

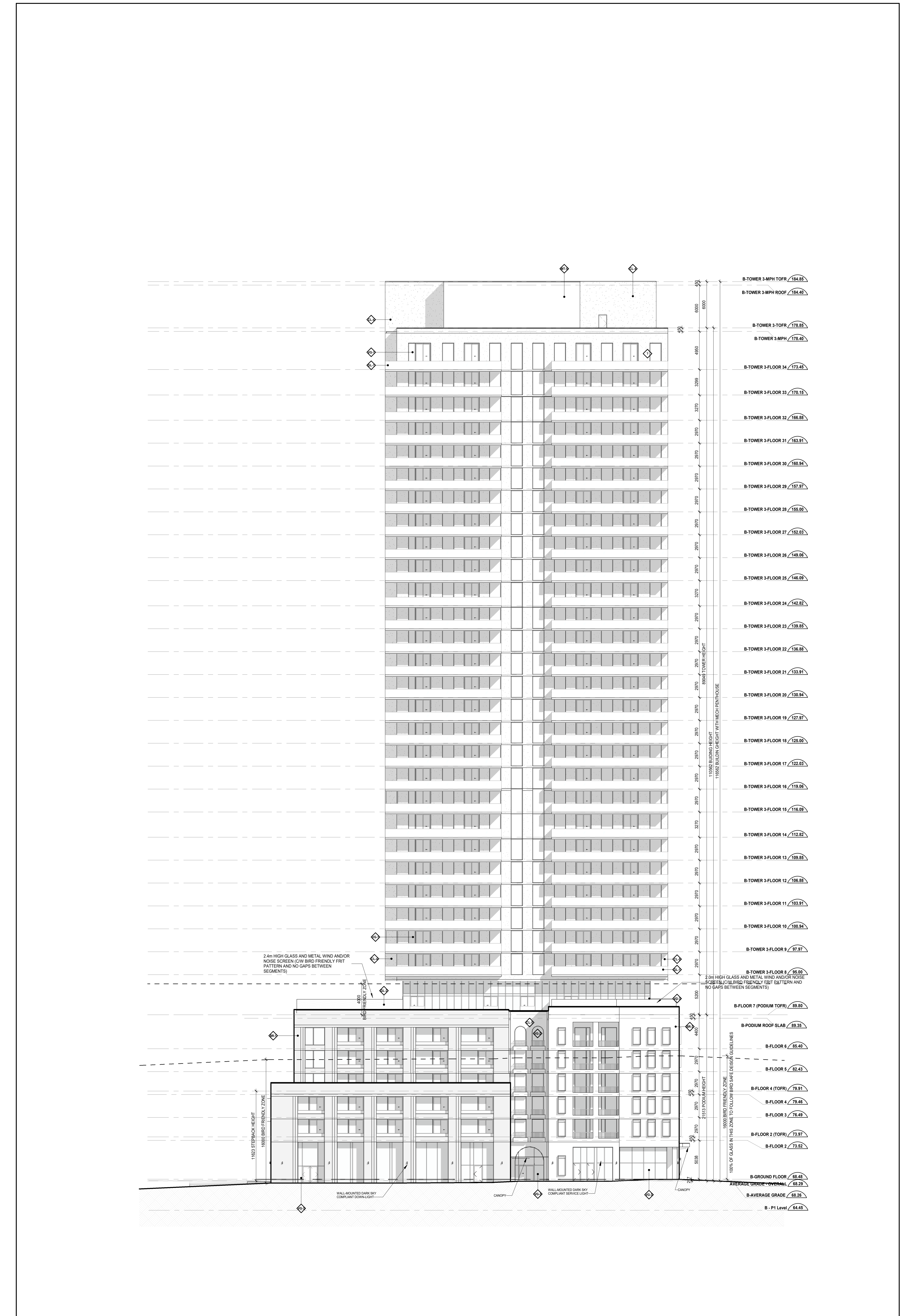
21007 1:200 GZ RJL
PROJECT SCALE DRAWN REVIEWED

A402.S

Note: This drawing is the property of the architect and may not be reproduced or used without the express consent of the architect. The Contractor is responsible for checking all notations and details and shall ensure that all notations are incorporated into the final construction documents prior to commencing work.



2 Tower 3 - East Elevation



1 Building B - West Elevation

LEGEND:

- BRICK - COLOUR 1
- BRICK - COLOUR 2
- BRICK - COLOUR 3
- BRICK - COLOUR 4
- CLADDING 1 - TAN
- CLADDING 2 - TEXTURED WHITE 1
- CLADDING 3 - TEXTURED WHITE 2
- CLADDING 4 - WHITE
- CLADDING 5 - BLACK
- CLADDING 6 - OFF-WHITE
- CLADDING 7 - GREY
- PLATE ALUM CLADDING SYSTEM - COLOUR 1
- PLATE ALUM CLADDING SYSTEM - COLOUR 2
- METAL FLASHING AND PARAPET CAP FLASHING
- SHEET STEEL CLADDING SYSTEM
- WINDOW SYSTEM METAL SPANDREL PROJECTED PANEL
- WINDOW SYSTEM METAL SPANDREL FLUSH PANEL
- WINDOW SYSTEM METAL SPANDREL RECESSED PANEL
- RESIDENTIAL VISION GLASS - 001
- RESIDENTIAL VISION GLASS VG-1 WITH BIRD FRIENDLY FRIT PATTERN
- METAL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN
- RAILING GLASS
- RAILING GLASS WITH BIRD FRIENDLY FRIT PATTERN
- PRIVACY SCREEN GLASS
- RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVER
- ARCHITECTURAL LOUVER

Date	No.	Description
Date	No.	Description
Date	No.	Description

REVISION RECORD

Date	No.	Description
2024-09-16		Site Plan Approval (Resubmission)
2024-03-15		Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15		Zoning By-Law Amendment & Site Plan Approval

ISSUE RECORD

Date	No.	Description
2024-09-16		Site Plan Approval (Resubmission)
2024-03-15		Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15		Zoning By-Law Amendment & Site Plan Approval

BDP Quadrangle

Quadrangle Architects Limited
The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
OTTAWA
285 Catherine Street, Ottawa

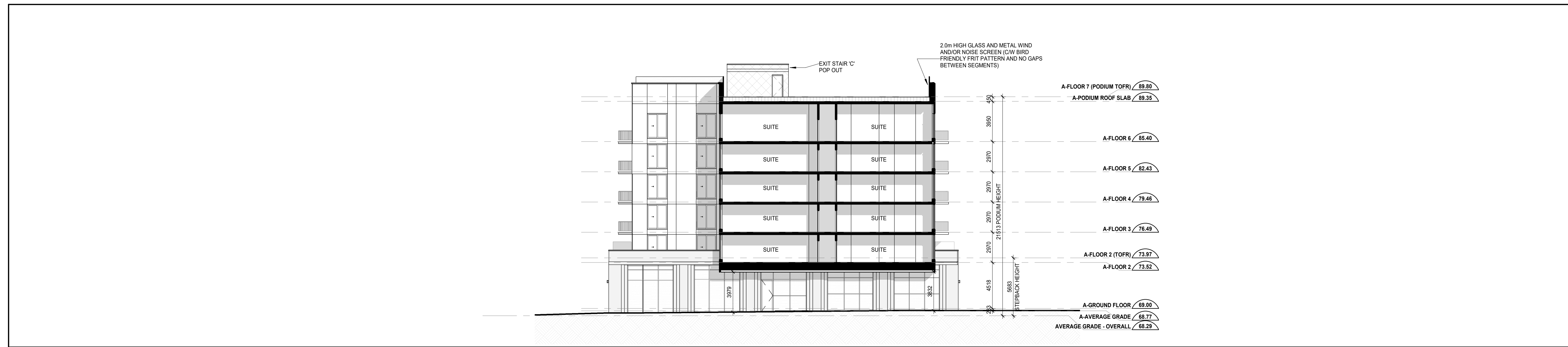
for
Brigil
DWG 19091 - 001-12-23-0087 SPC / 000-00-23-0042 Z0A / 001-01-23-0000 SPC

21007 1:200 GZ R/JL
PROJECT SCALE DRAWN REVIEWED

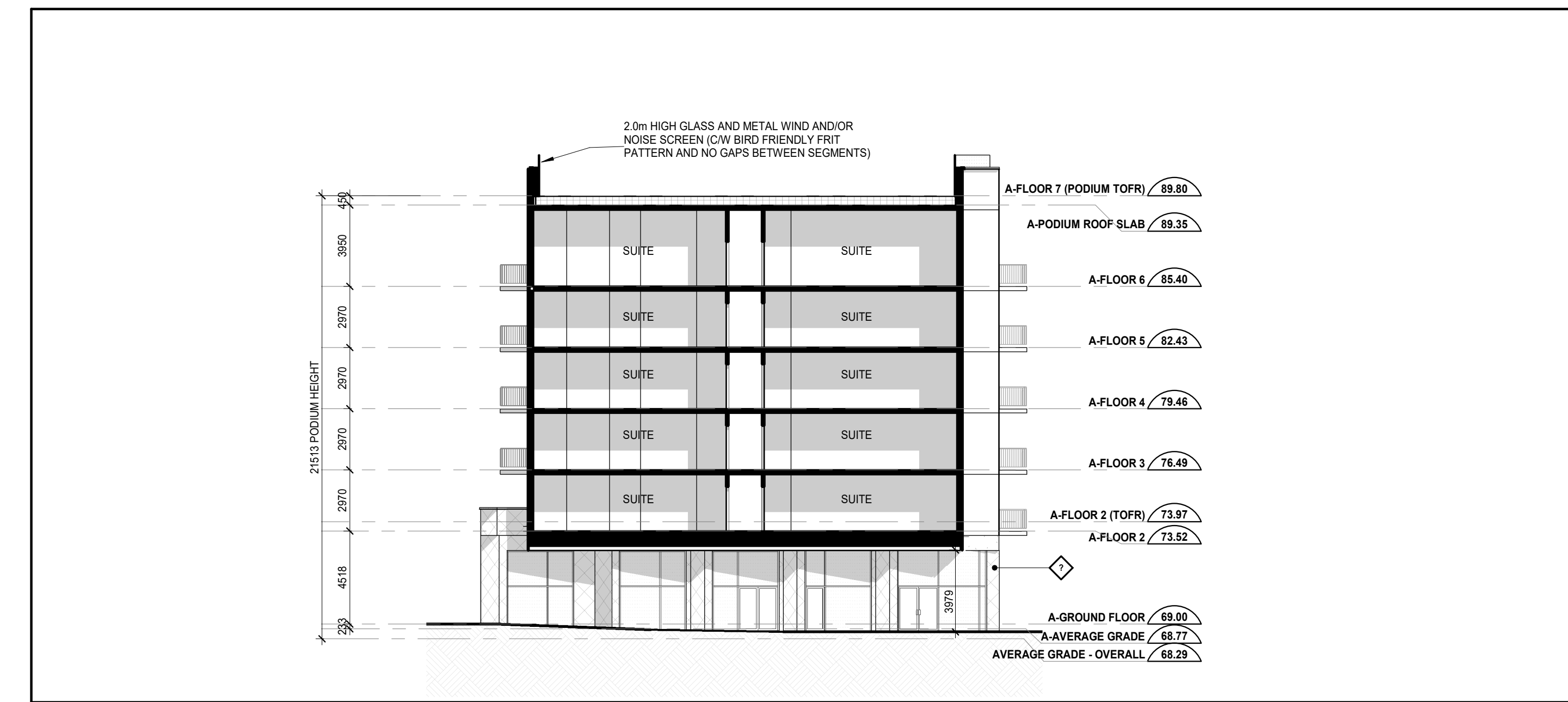
Building B Elevations 2

A403.S

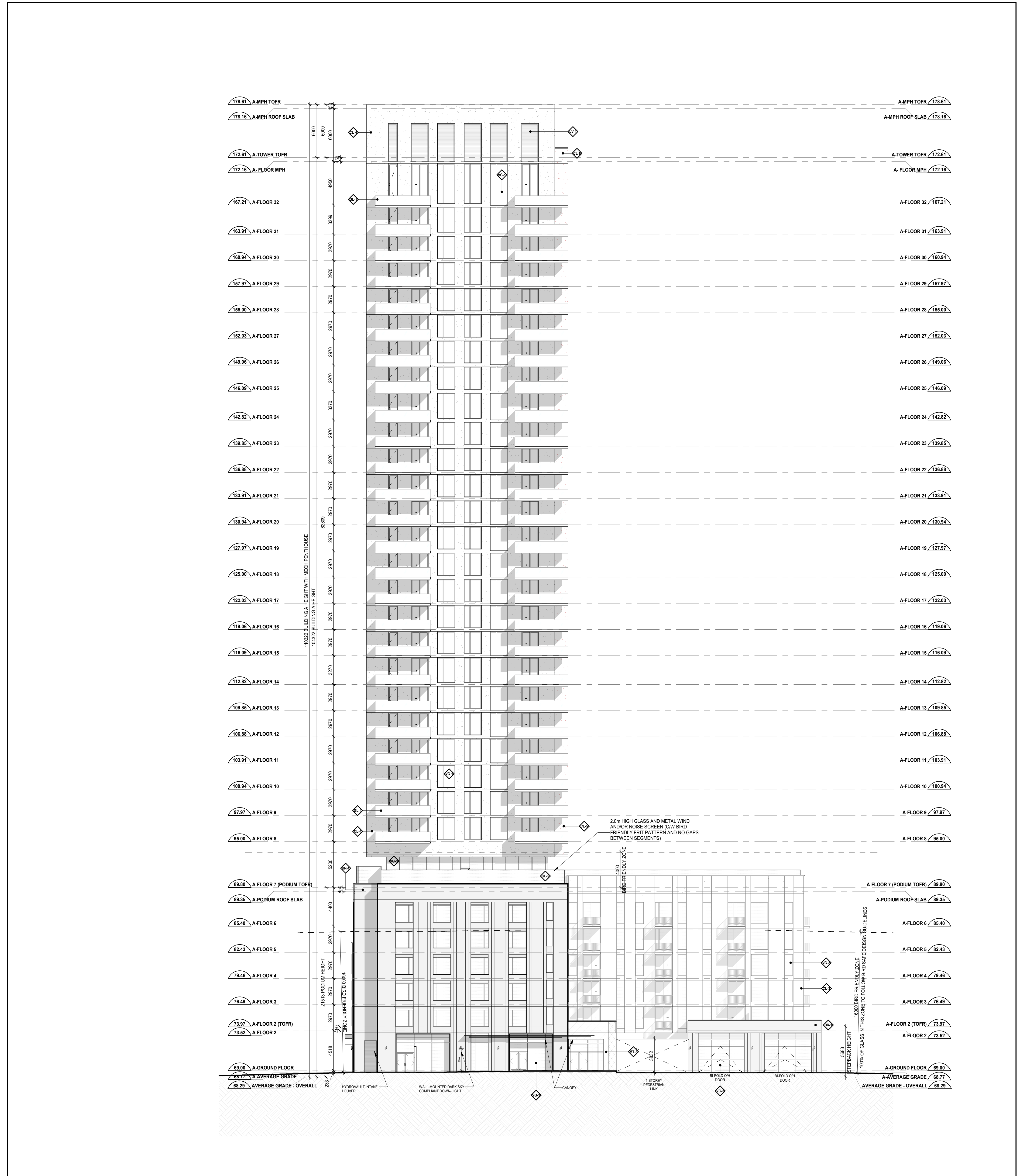
Note: This drawing is the property of the architect and may not be reproduced or used without the express consent of the architect. The Contractor is responsible for checking all notations and details and dimensions and shall report all discrepancies to the architect and other consultants prior to commencing work.



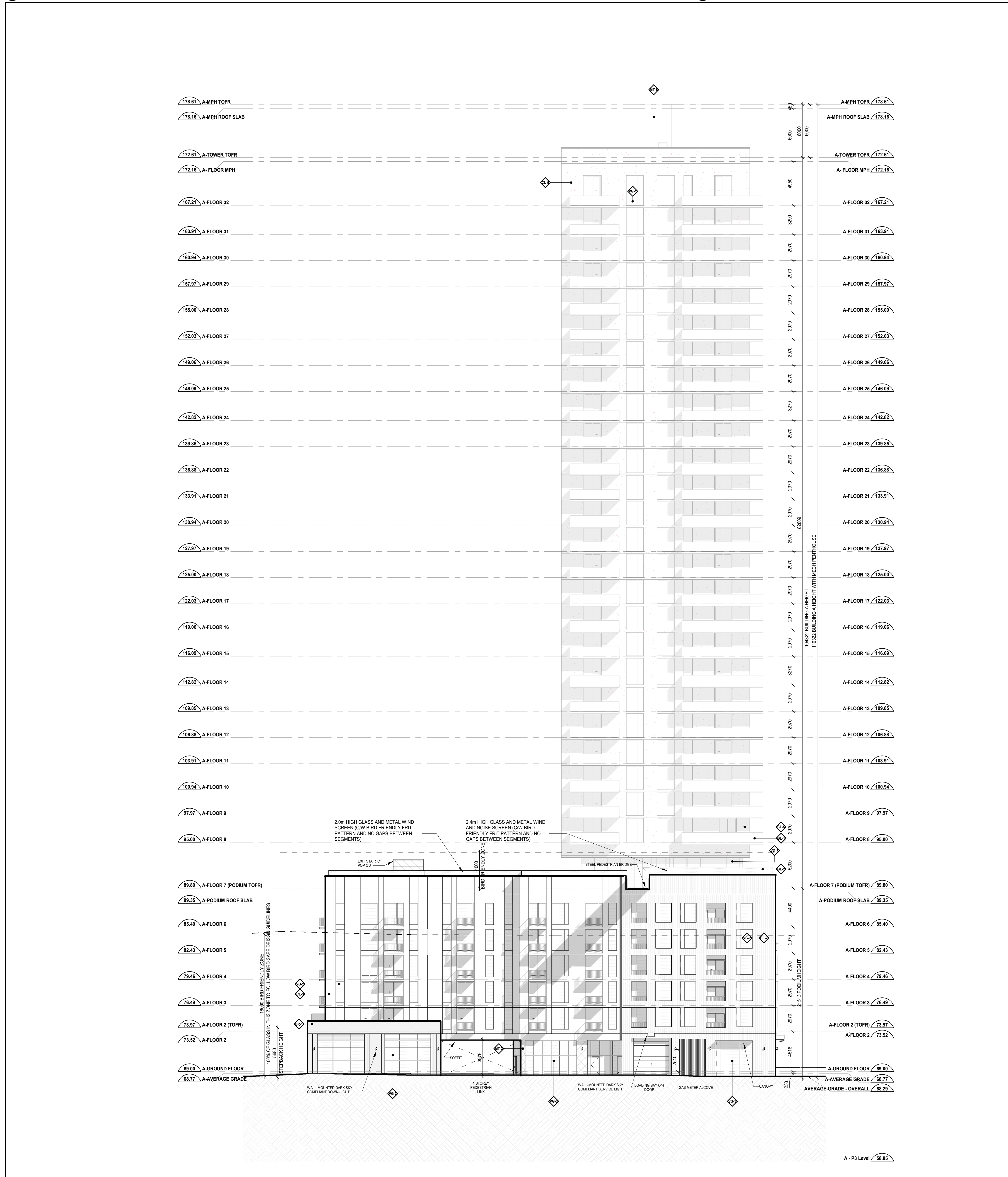
3 A404.S Building A - Pedestrian Passage - South Elevation



4 A404.S Building A - Pedestrian Passage - North Elevation



1 EAST ELEVATION



2 A404.S Building A - West Elevation

- LEGEND:**
- ◆ BRCK - COLOUR 1
 - ◆ BRCK - COLOUR 2
 - ◆ BRCK - COLOUR 3
 - ◆ BRCK - COLOUR 4
 - ◆ CLADNG 1 - TAN
 - ◆ CLADNG 2 - TEXTURED WHITE 1
 - ◆ CLADNG 3 - TEXTURED WHITE 2
 - ◆ CLADNG 4 - WHITE
 - ◆ CLADNG 2 - BLACK
 - ◆ CLADNG 3 - OFF-WHITE
 - ◆ CLADNG 3 - GREY
 - ◆ PLATE ALUM CLADDING SYSTEM - COLOUR 1
 - ◆ BALCONY AND TERRACE RAILING HANDRAILS AND FRONTAL SCREENS SUPPORT POSTS, HANDRAILS AND PLATE ALUM CLADDING SYSTEM - COLOUR 2
 - ◆ METAL FLASHING AND PARAPET CAP FLASHING
 - ◆ SHEET STEEL CLADDING SYSTEM
 - ◆ WINDOW SYSTEM METAL SPANDREL PROJECTING PANEL
 - ◆ WINDOW SYSTEM METAL SPANDREL FLUSH PANEL
 - ◆ WINDOW SYSTEM METAL SPANDREL RECESSED PANEL
 - ◆ RESIDENTIAL VISION GLASS - 001
 - ◆ RESIDENTIAL VISION GLASS Vg-1 WITH BIRD FRIENDLY FRIT PATTERN
 - ◆ METAL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN
 - ◆ RAILING GLASS
 - ◆ RAILING GLASS WITH BIRD FRIENDLY FRIT PATTERN
 - ◆ PRIVACY SCREEN GLASS
 - ◆ RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVER
 - ◆ ARCHITECTURAL LOUVER

Date	No.	Description
2024-03-15	1	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	2	Zoning By-Law Amendment & Site Plan Approval

REVISION RECORD

Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	1	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	2	Zoning By-Law Amendment & Site Plan Approval

ISSUE RECORD

Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	1	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	2	Zoning By-Law Amendment & Site Plan Approval

BDP Quadrangle

Quadrangle Architects Limited
 The West 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S8
 416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA,
 285 Catherine Street, Ottawa

for
 Brigid
 DWG 18991 - 001-12-23-0087 SFC / 002-02-23-0042 ZBA / 001-01-23-0008 DPR

21007 1:200 GZ RJL
 PROJECT SCALE DRAWN / REVIEWED

A404.S

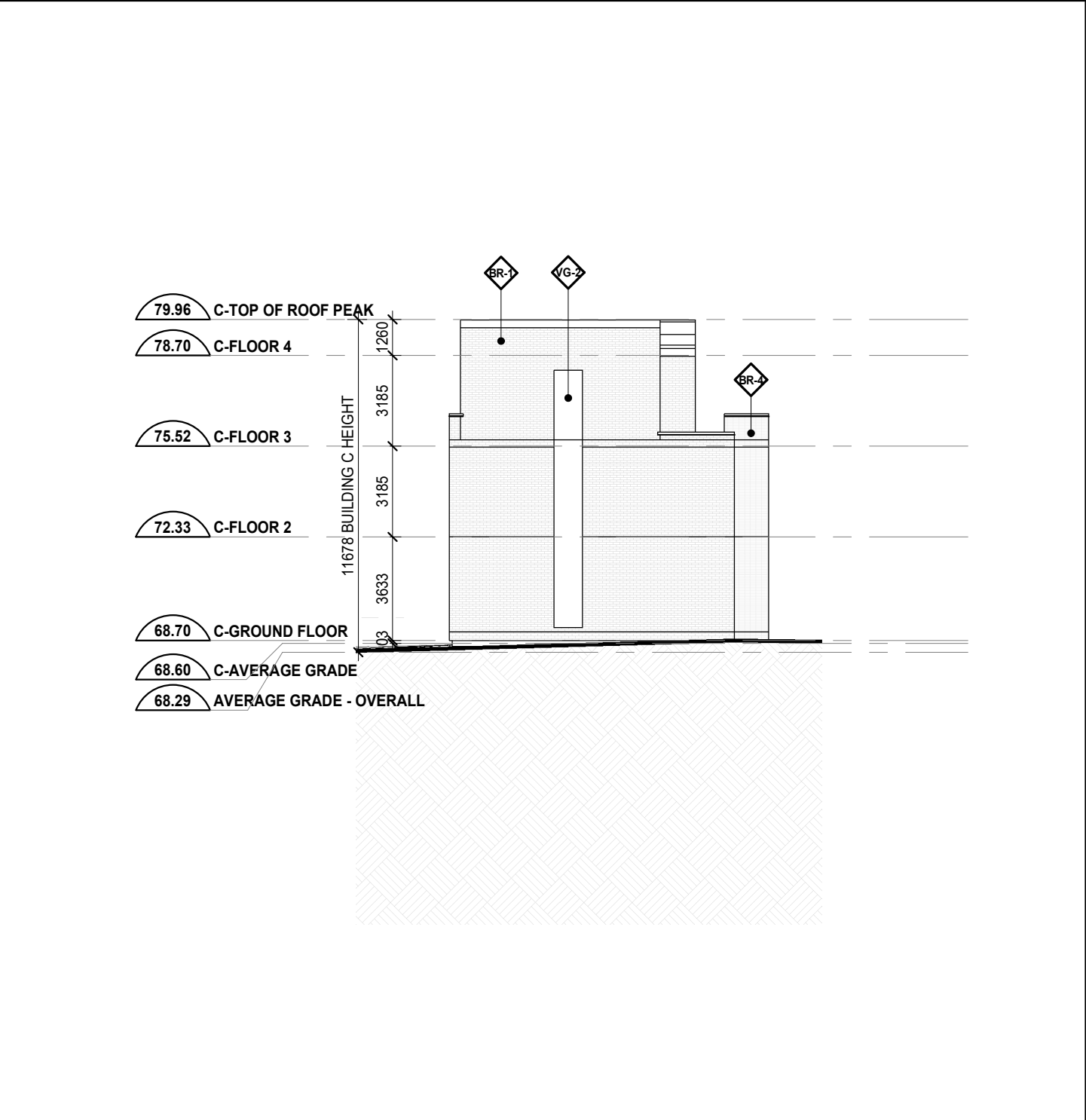
Note: This drawing is the property of the architect and may not be reproduced or used without the express consent of the architect. The Contractor is responsible for checking and verifying all details and dimensions and shall report all discrepancies to the architect and other professionals prior to commencing work.

C:\Users\jdo\Documents\A404_S\B1E_2100_285 Catherine St_0002.dwg

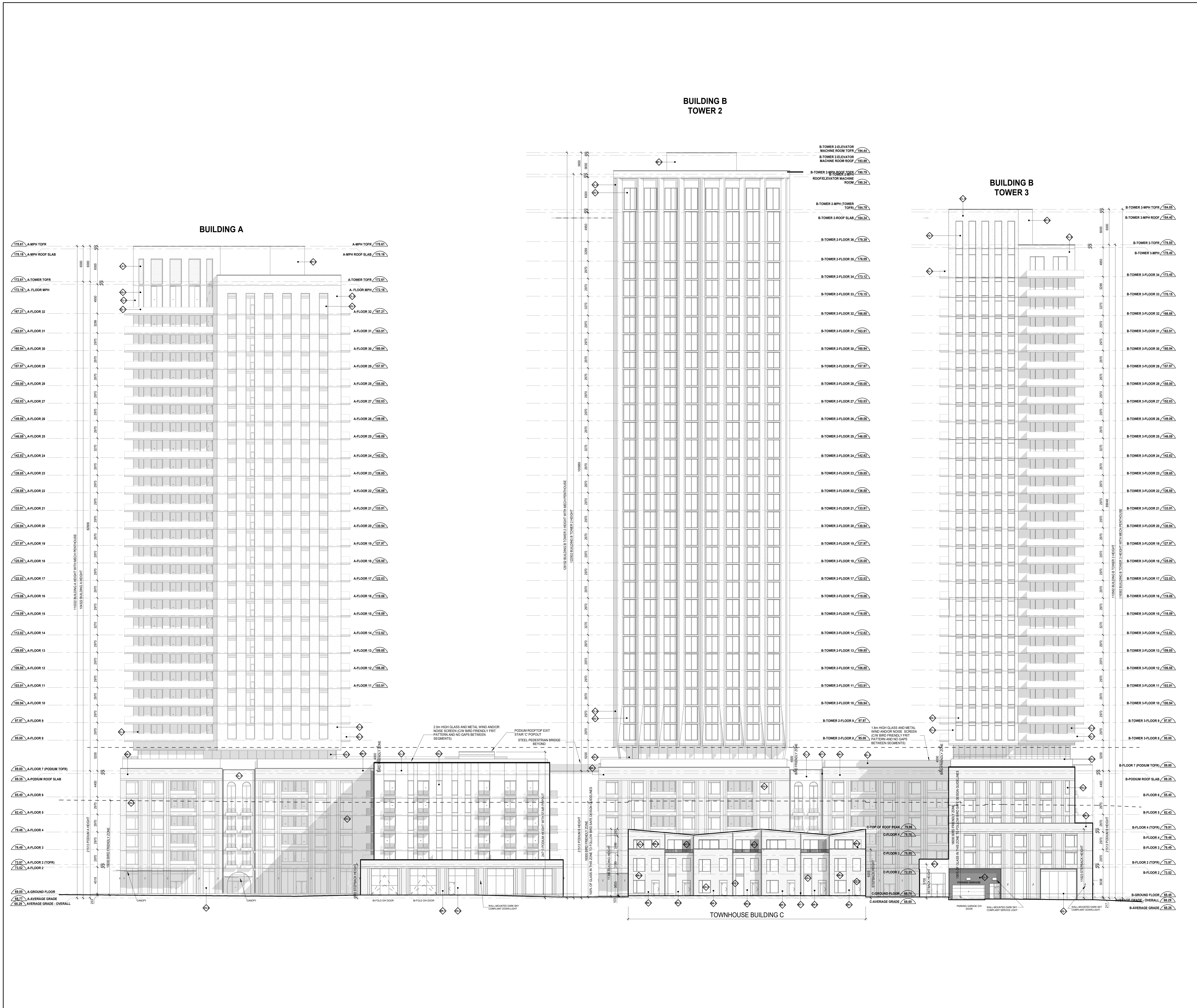
2024-09-16 10:25 AM



3 Townhouses - South Elevation



2 Townhouses - West Elevation



LEGEND:

- BRICK - COLOUR 1
- BRICK - COLOUR 2
- BRICK - COLOUR 3
- BRICK - COLOUR 4
- CLADDING 1 - TAN
- CLADDING 2 - TEXTURED WHITE 1
- CLADDING 3 - TEXTURED WHITE 2
- CLADDING 4 - WHITE
- CLADDING 5 - BLACK
- CLADDING 6 - OFF-WHITE
- CLADDING 7 - GREY
- PLATE ALUM CLADDING SYSTEM - COLOUR 1
- SALCONY AND TERRACE RAILING HANDRAILS AND FINISHES TO SCREEN SUPPORT POSTS, HANDRAILS AND
- PLATE ALUM CLADDING SYSTEM - COLOUR 2
- METAL FLASHING AND PARAPET CAP FLASHING
- SHEET STEEL CLADDING SYSTEM
- WINDOW SYSTEM METAL SPANDREL PRODUCTIVE PANEL
- WINDOW SYSTEM METAL SPANDREL FLUSH PANEL
- WINDOW SYSTEM METAL SPANDREL RECESSED PANEL
- RESIDENTIAL VISION GLASS - 10U
- RESIDENTIAL VISION GLASS VG-1 WITH BRID FRENCHLY FRET PATTERN
- METAL VISION GLASS WITH BRID FRENCHLY FRET PATTERN
- RAILING GLASS
- RAILING GLASS WITH BRID FRENCHLY FRET PATTERN
- PRIVACY SCREEN GLASS
- RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVER
- ARCHITECTURAL LOUVER

Date	No.	Description

REVISION RECORD

Date	No.	Description

ISSUE RECORD

Date	No.	Description
2024-09-16		Site Plan Approval (Resubmission)
2024-03-15		Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15		Zoning By-Law Amendment & Site Plan Approval

BDP. Quadrangle

Quadrangle Architects Limited
 The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0G9
 416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET, OTTAWA
 285 Catherine Street, Ottawa

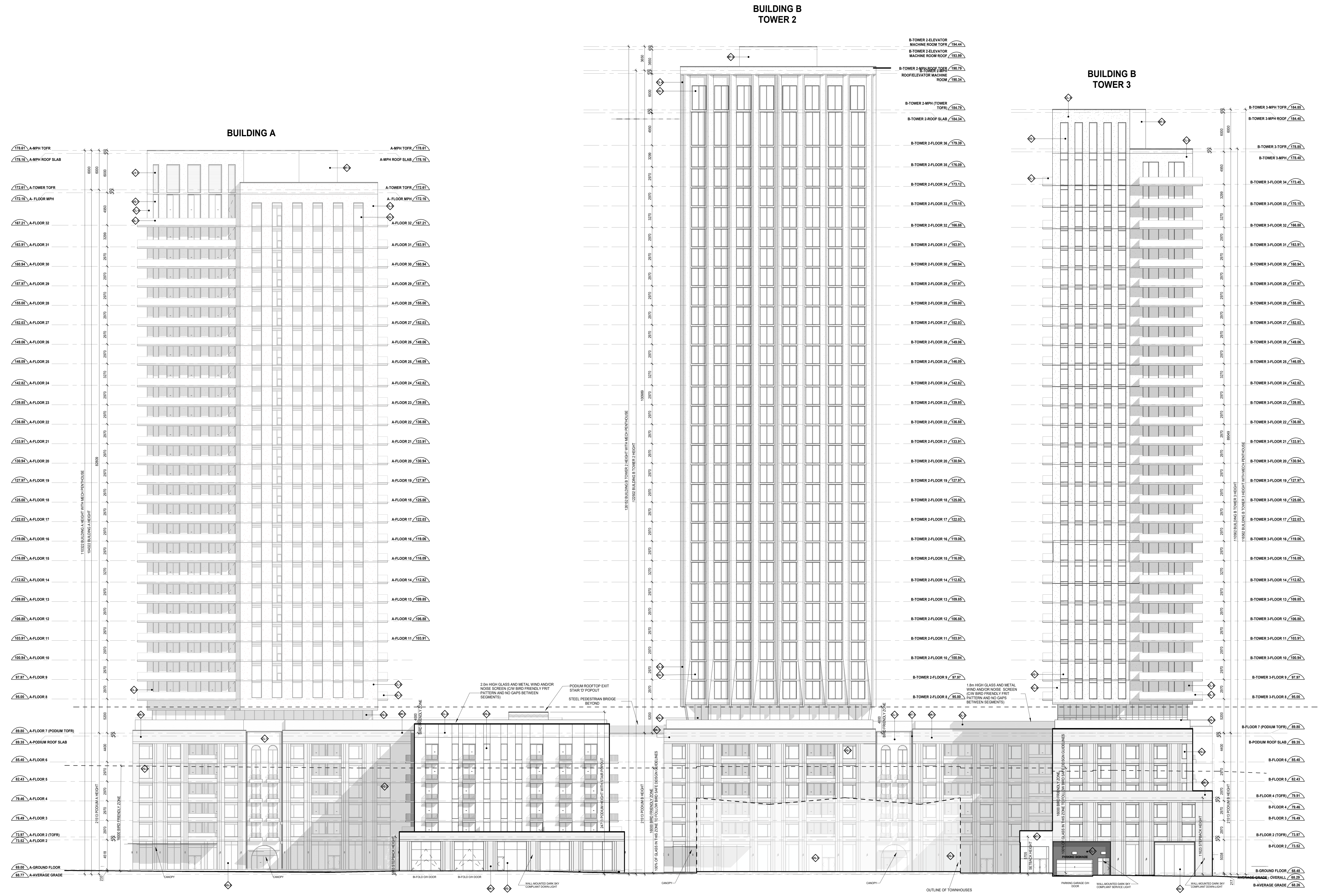
for
 Brigid
 DWG 18951 - 001-12-23-0087 SPC / 002-02-23-0042 ZSA / 001-01-23-0008 DPA

21007 1:200 GZ R/JL
 PRODUCT SCALE DRAWN REVIEWED

North Elevation

A405.S

Note: This drawing is the property of the architect and may not be reproduced or used without the written consent of the architect. This Contract is enforceable for checking and only if it is in writing and signed by the architect and the client. The architect is not responsible for any errors or omissions on the part of the client or any other party.



- LEGEND:**
- BRCK - COLOUR 1
 - BRCK - COLOUR 2
 - BRCK - COLOUR 3
 - BRCK - COLOUR 4
 - CLADNG 1 - TAN
 - CLADNG 2 - TEXTURED WHITE 1
 - CLADNG 3 - TEXTURED WHITE 2
 - CLADNG 4 - WHITE
 - CLADNG 5 - BLACK
 - CLADNG 6 - OFF-WHITE
 - CLADNG 7 - GREY
 - PLATE ALUM CLADDING SYSTEM - COLOUR 1
 - BALCONY AND TERRACE RAILING HANDRAILS AND FRONTAL SCREEN SUPPORT POSTS, HANDRAILS AND
 - PLATE ALUM CLADDING SYSTEM - COLOUR 2
 - METAL FLASHING AND PARAPET CAP FLASHING
 - SHEET STEEL CLADDING SYSTEM
 - WINDOW SYSTEM METAL SPANDREL PRODUCTIVE PANEL
 - WINDOW SYSTEM METAL SPANDREL FLUSH PANEL
 - WINDOW SYSTEM METAL SPANDREL RECESSED PANEL
 - RESIDENTIAL VISION GLASS - 001
 - RESIDENTIAL VISION GLASS VG-1 WITH BIRD FRIENDLY FRIT PATTERN
 - METAL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN
 - RAILING GLASS
 - RAILING GLASS WITH BIRD FRIENDLY FRIT PATTERN
 - PRIVACY SCREEN GLASS
 - RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVER
 - ARCHITECTURAL LOUVER

Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

REVISION RECORD

Date	No.	Description

ISSUE RECORD

Date	No.	Description

BDP. Quadrangle

Quadrangle Architects Limited
 The View, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S8
 416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa

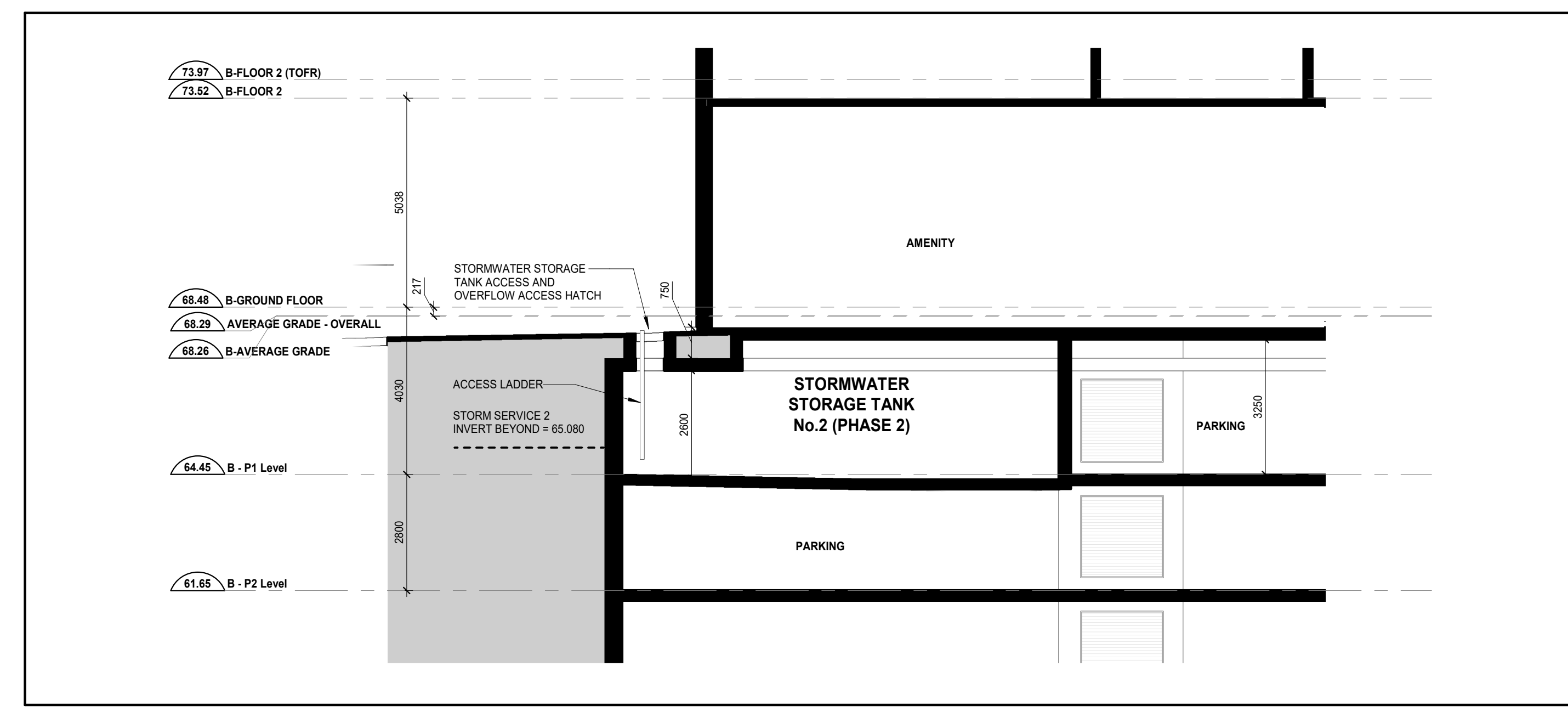
for
 Brigil
 DWG 18951 - 001-12-23-0067 SFC / 002-02-23-0042 ZSA / 001-01-23-0008 DPA

21007 1:200 GZ RJL
 PROJECT SCALE DRAWN REVIEWED

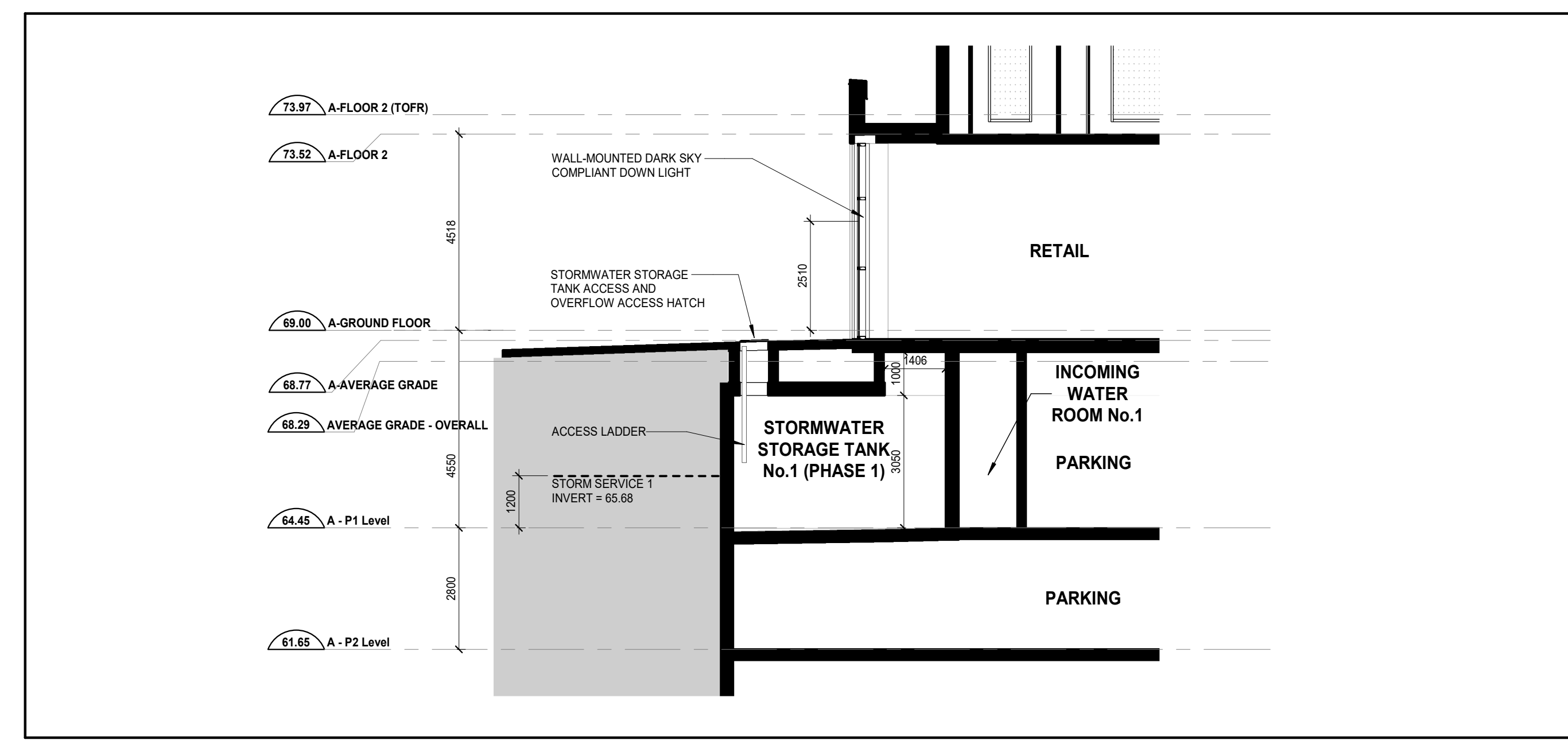
North Elevation - No Townhouses

A406.S

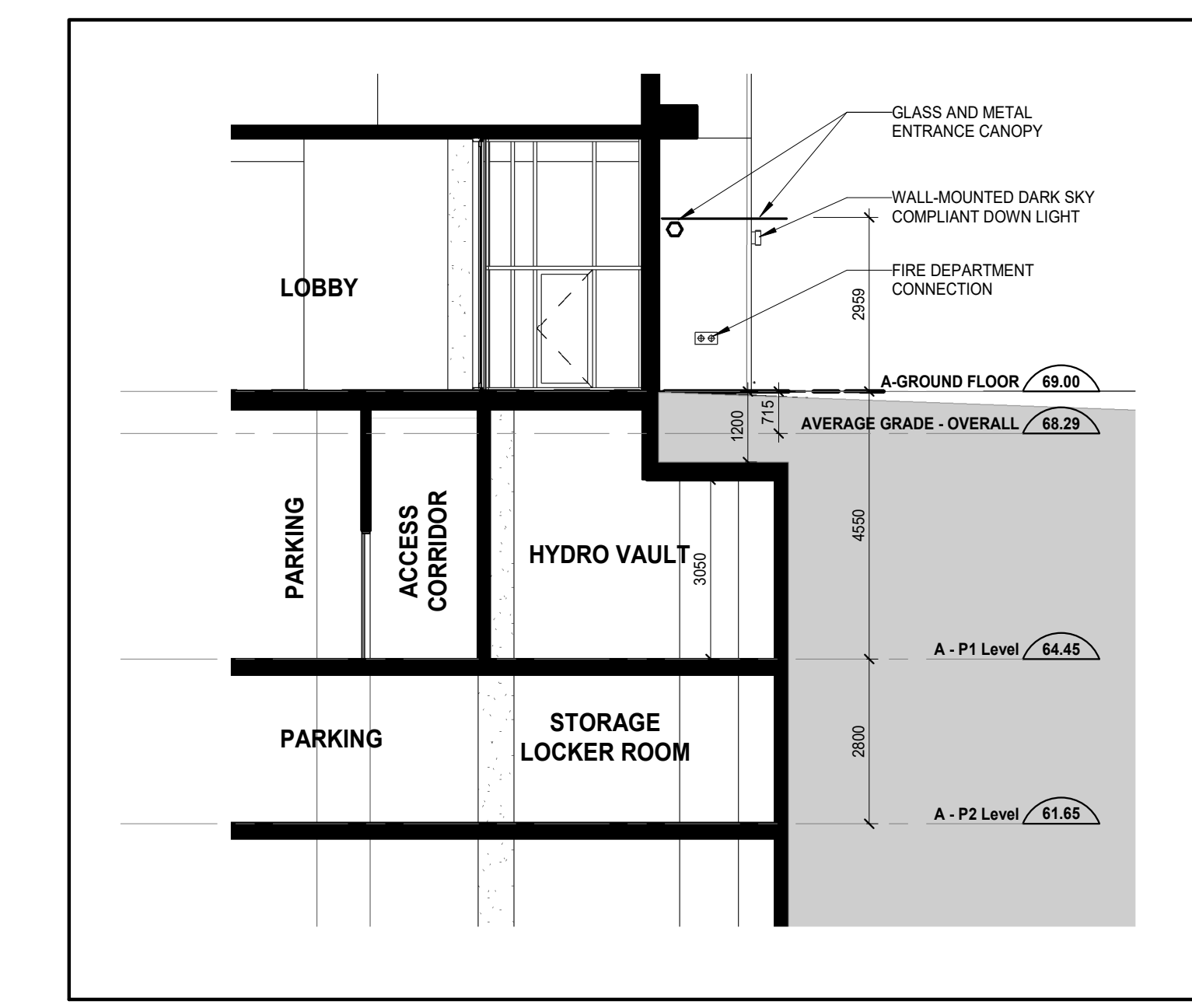
Note: This drawing is the property of the architect and may not be reproduced or used without the express consent of the architect. The Contractor is responsible for checking all work and items and dimensions and shall report all discrepancies to the architect and other professionals prior to commencing work.



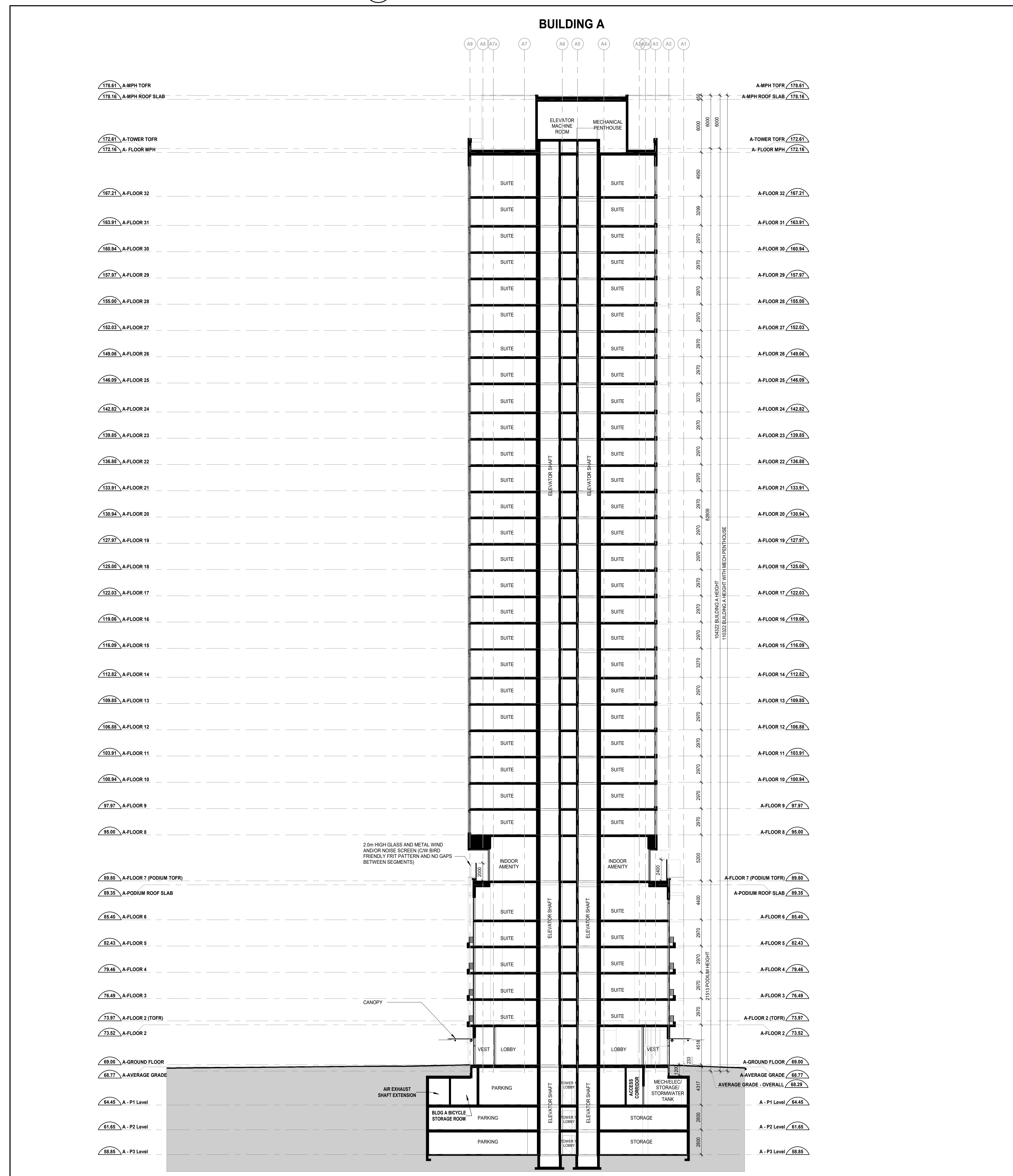
6 Stormwater Storage Tank No.2
SCALE: 1:100



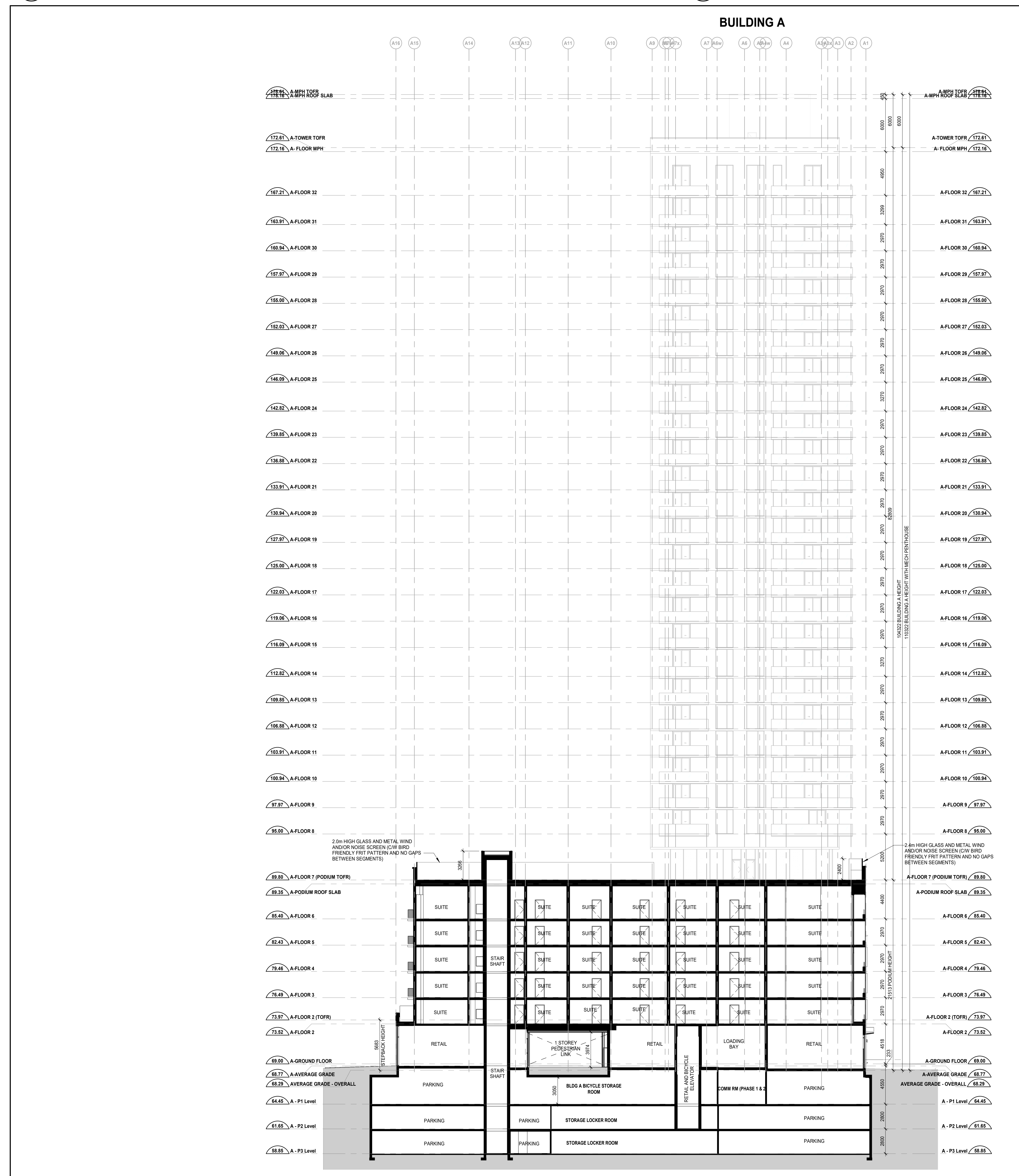
4 Stormwater Storage Tank No.1
SCALE: 1:100



3 Building A Lobby and Fire Department Connection
SCALE: 1:100



2 Building A Section-NS1
SCALE: 1:200



1 Building A Section-NS2
SCALE: 1:200

Date	No.	Description
2024-03-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description
2024-09-16	1	Site Plan Approval (Resubmission)
2024-03-15	2	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	3	Zoning By-Law Amendment & Site Plan Approval

BDP. Quadrangle

Quadrangle Architects Limited
The West 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0B9
416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
OTTAWA
285 Catherine Street, Ottawa

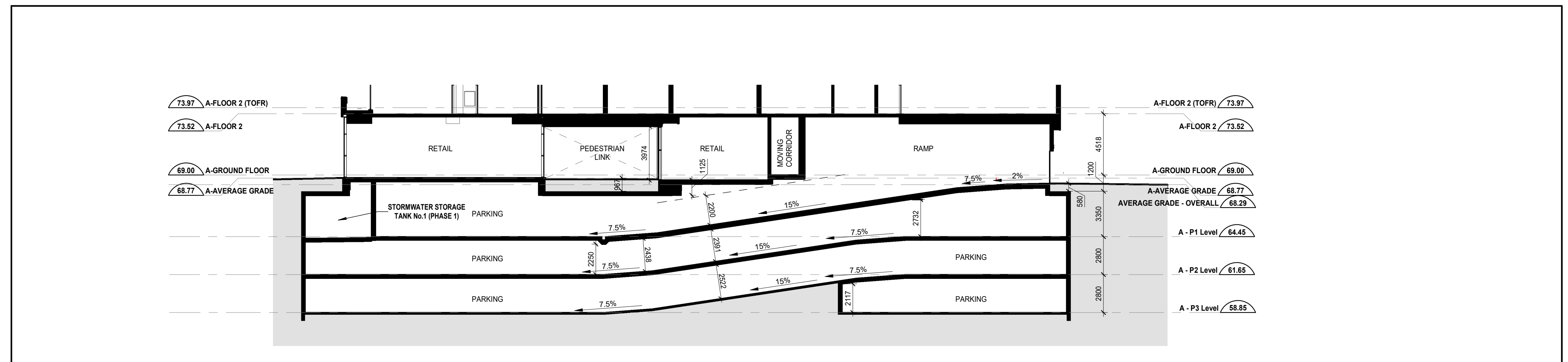
for
Brigil
DWG 18991 - 007-12-23-0087 SFC / 003-02-23-0042 ZBA /
100-01-23-0008 OPR

21007 As indicated AR R/L
PROJECT SCALE: DRAWN REVIEWED

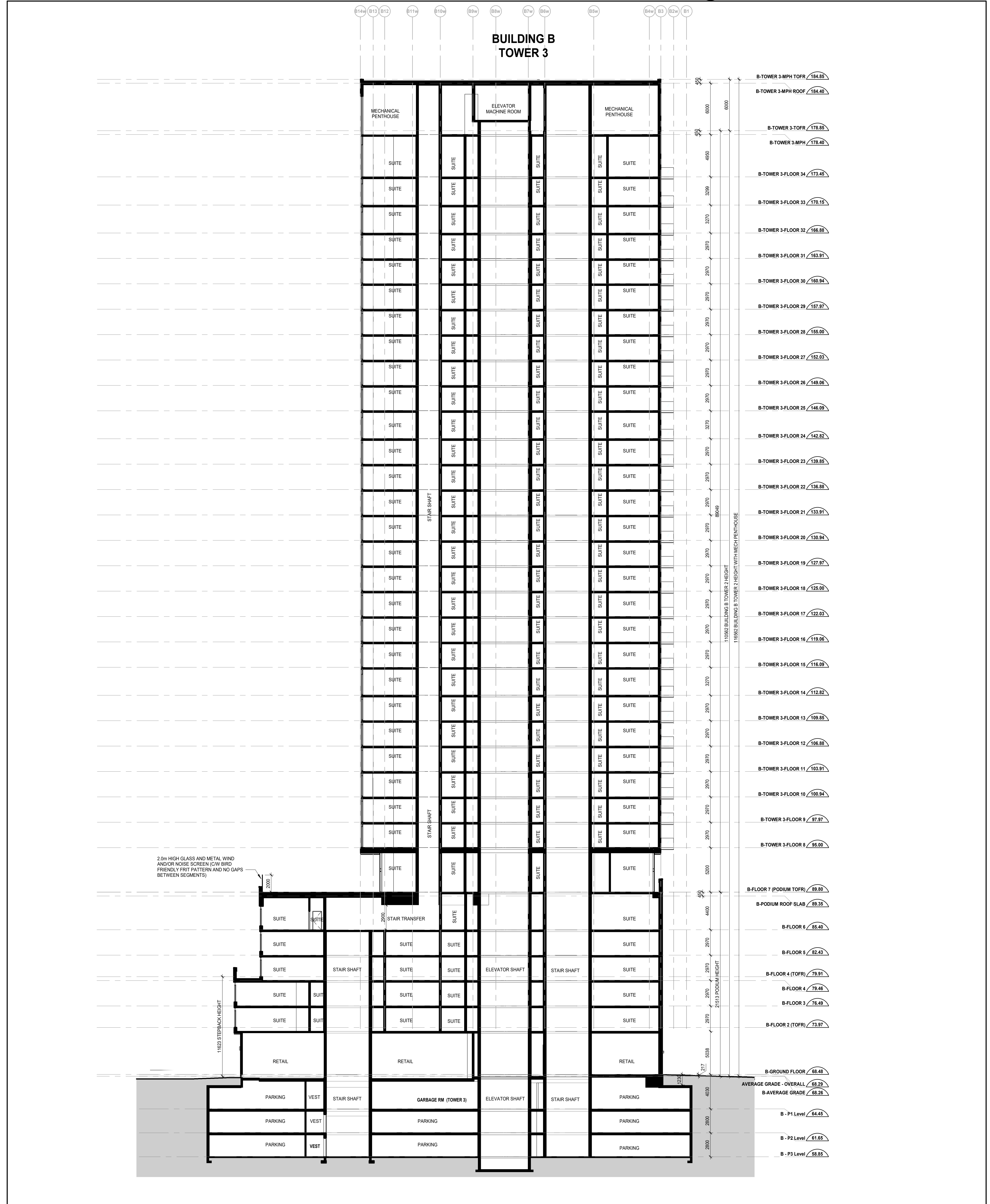
Building Section

A451.S

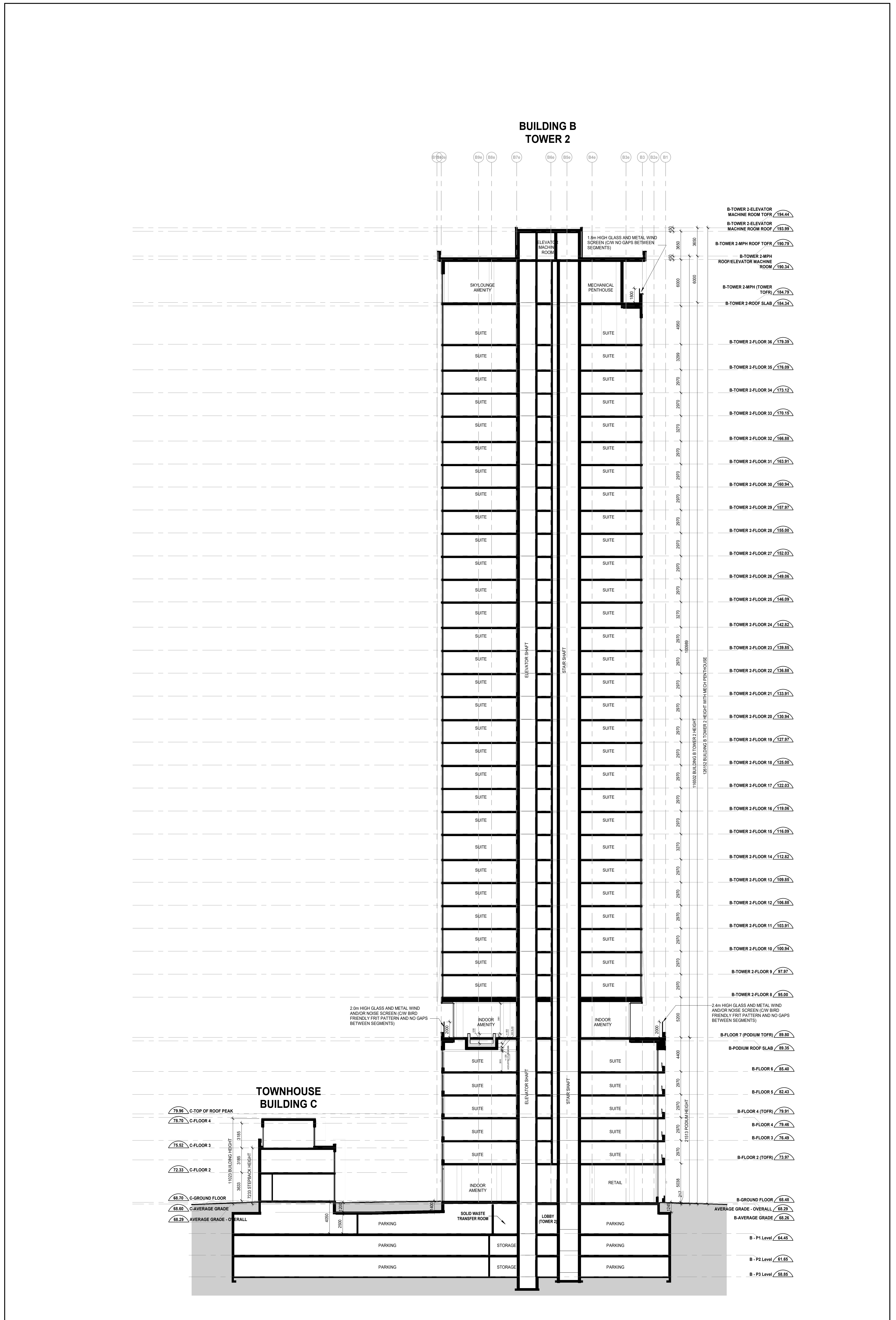
Note: This drawing is the property of the architect and may not be reproduced or used without the express consent of the architect. The Contractor is responsible for checking and verifying all details and dimensions and shall report all discrepancies to the architect and other professionals prior to commencing work.



1 A452.3 Building A - Parking Ramp



2 A452.3 Building B Section-NS (Tower 3)



1 A452.3 Building B Section-NS (Tower 2 & TH)

Date	No.	Description
2024-03-15	1	Issue Record
2024-03-15	2	Issue Record
2024-03-15	3	Issue Record
2024-03-15	4	Issue Record
2024-03-15	5	Issue Record
2024-03-15	6	Issue Record
2024-03-15	7	Issue Record
2024-03-15	8	Issue Record
2024-03-15	9	Issue Record
2024-03-15	10	Issue Record
2024-03-15	11	Issue Record
2024-03-15	12	Issue Record
2024-03-15	13	Issue Record
2024-03-15	14	Issue Record
2024-03-15	15	Issue Record
2024-03-15	16	Issue Record
2024-03-15	17	Issue Record
2024-03-15	18	Issue Record
2024-03-15	19	Issue Record
2024-03-15	20	Issue Record
2024-03-15	21	Issue Record
2024-03-15	22	Issue Record
2024-03-15	23	Issue Record
2024-03-15	24	Issue Record
2024-03-15	25	Issue Record
2024-03-15	26	Issue Record
2024-03-15	27	Issue Record
2024-03-15	28	Issue Record
2024-03-15	29	Issue Record
2024-03-15	30	Issue Record
2024-03-15	31	Issue Record
2024-03-15	32	Issue Record
2024-03-15	33	Issue Record
2024-03-15	34	Issue Record
2024-03-15	35	Issue Record
2024-03-15	36	Issue Record
2024-03-15	37	Issue Record
2024-03-15	38	Issue Record
2024-03-15	39	Issue Record
2024-03-15	40	Issue Record
2024-03-15	41	Issue Record
2024-03-15	42	Issue Record
2024-03-15	43	Issue Record
2024-03-15	44	Issue Record
2024-03-15	45	Issue Record
2024-03-15	46	Issue Record
2024-03-15	47	Issue Record
2024-03-15	48	Issue Record
2024-03-15	49	Issue Record
2024-03-15	50	Issue Record
2024-03-15	51	Issue Record
2024-03-15	52	Issue Record
2024-03-15	53	Issue Record
2024-03-15	54	Issue Record
2024-03-15	55	Issue Record
2024-03-15	56	Issue Record
2024-03-15	57	Issue Record
2024-03-15	58	Issue Record
2024-03-15	59	Issue Record
2024-03-15	60	Issue Record
2024-03-15	61	Issue Record
2024-03-15	62	Issue Record
2024-03-15	63	Issue Record
2024-03-15	64	Issue Record
2024-03-15	65	Issue Record
2024-03-15	66	Issue Record
2024-03-15	67	Issue Record
2024-03-15	68	Issue Record
2024-03-15	69	Issue Record
2024-03-15	70	Issue Record
2024-03-15	71	Issue Record
2024-03-15	72	Issue Record
2024-03-15	73	Issue Record
2024-03-15	74	Issue Record
2024-03-15	75	Issue Record
2024-03-15	76	Issue Record
2024-03-15	77	Issue Record
2024-03-15	78	Issue Record
2024-03-15	79	Issue Record
2024-03-15	80	Issue Record
2024-03-15	81	Issue Record
2024-03-15	82	Issue Record
2024-03-15	83	Issue Record
2024-03-15	84	Issue Record
2024-03-15	85	Issue Record
2024-03-15	86	Issue Record
2024-03-15	87	Issue Record
2024-03-15	88	Issue Record
2024-03-15	89	Issue Record
2024-03-15	90	Issue Record
2024-03-15	91	Issue Record
2024-03-15	92	Issue Record
2024-03-15	93	Issue Record
2024-03-15	94	Issue Record
2024-03-15	95	Issue Record
2024-03-15	96	Issue Record
2024-03-15	97	Issue Record
2024-03-15	98	Issue Record
2024-03-15	99	Issue Record
2024-03-15	100	Issue Record

BDP. Quadrangle

Quadrangle Architects Limited
 The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S8
 416-593-1245 www.bdpquadrangle.com

285 CATHERINE STREET,
 OTTAWA
 285 CATHERINE Street, Ottawa

for
 Brigid
 DWG 18931 - 001-12-23-007 SPC / 003-02-23-004 ZSA /
 1-001-01-23-000 DPA

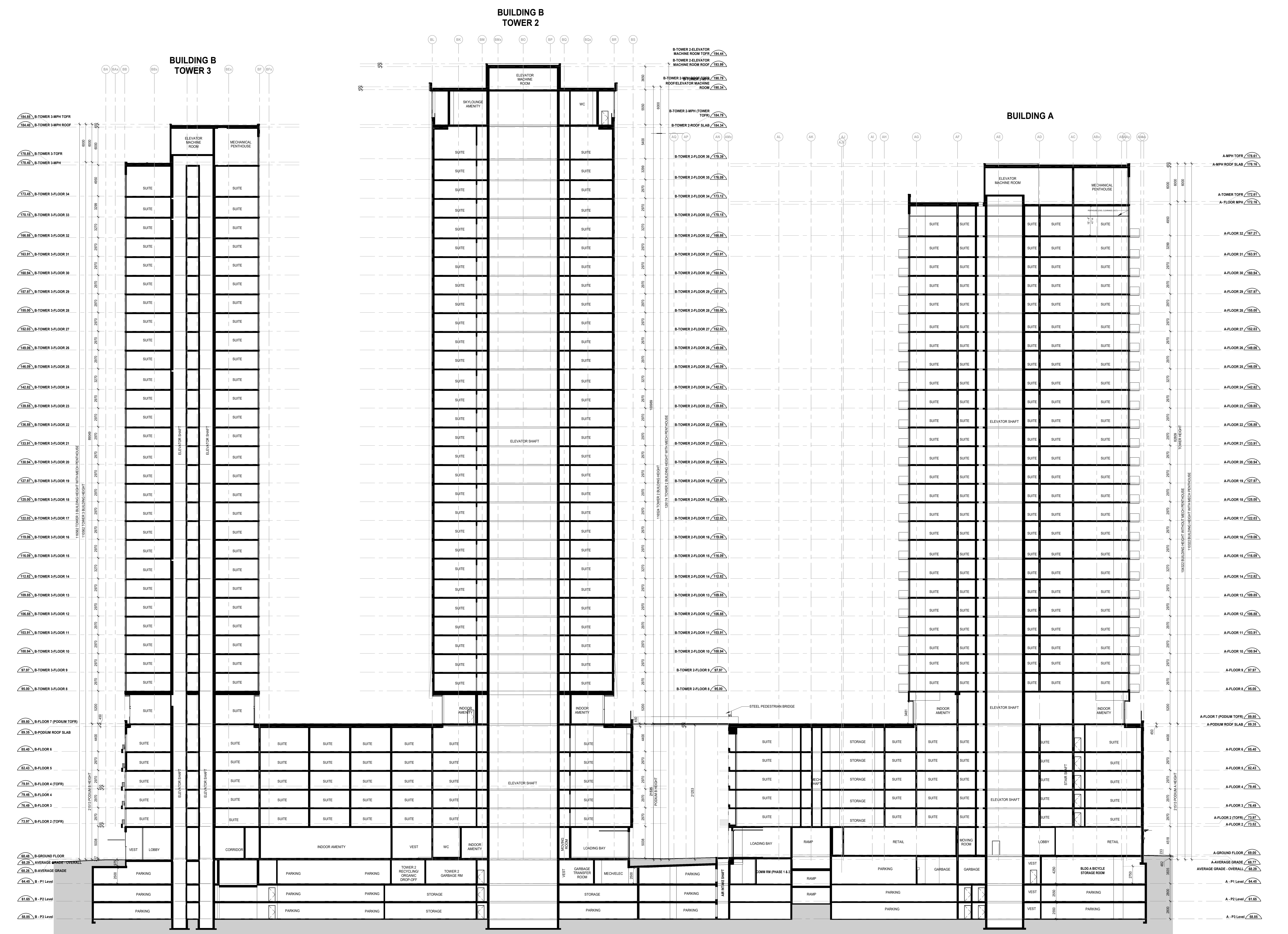
21007 1:200 AR RJL
 PROJECT SCALE DRAWN REVIEWED

Building Section

A452.S

C:\Users\jacob\Documents\B452_SPC_21007_23_007_23_004_ZSA_1-001-01-23-000_DPA.dwg

2024-03-15 10:53:59 AM



Date	No.	Description
2024-09-16	19	Site Plan Approval (Resubmission)
2024-03-15	18	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	17	Zoning By-Law Amendment & Site Plan Approval

Date	No.	Description
2024-09-16	19	Site Plan Approval (Resubmission)
2024-03-15	18	Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15	17	Zoning By-Law Amendment & Site Plan Approval

**BDP.
Quadrangle**

Quadrangle Architects Limited
 The West, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0B9
 416-593-1245 www.bdpquadrangle.com

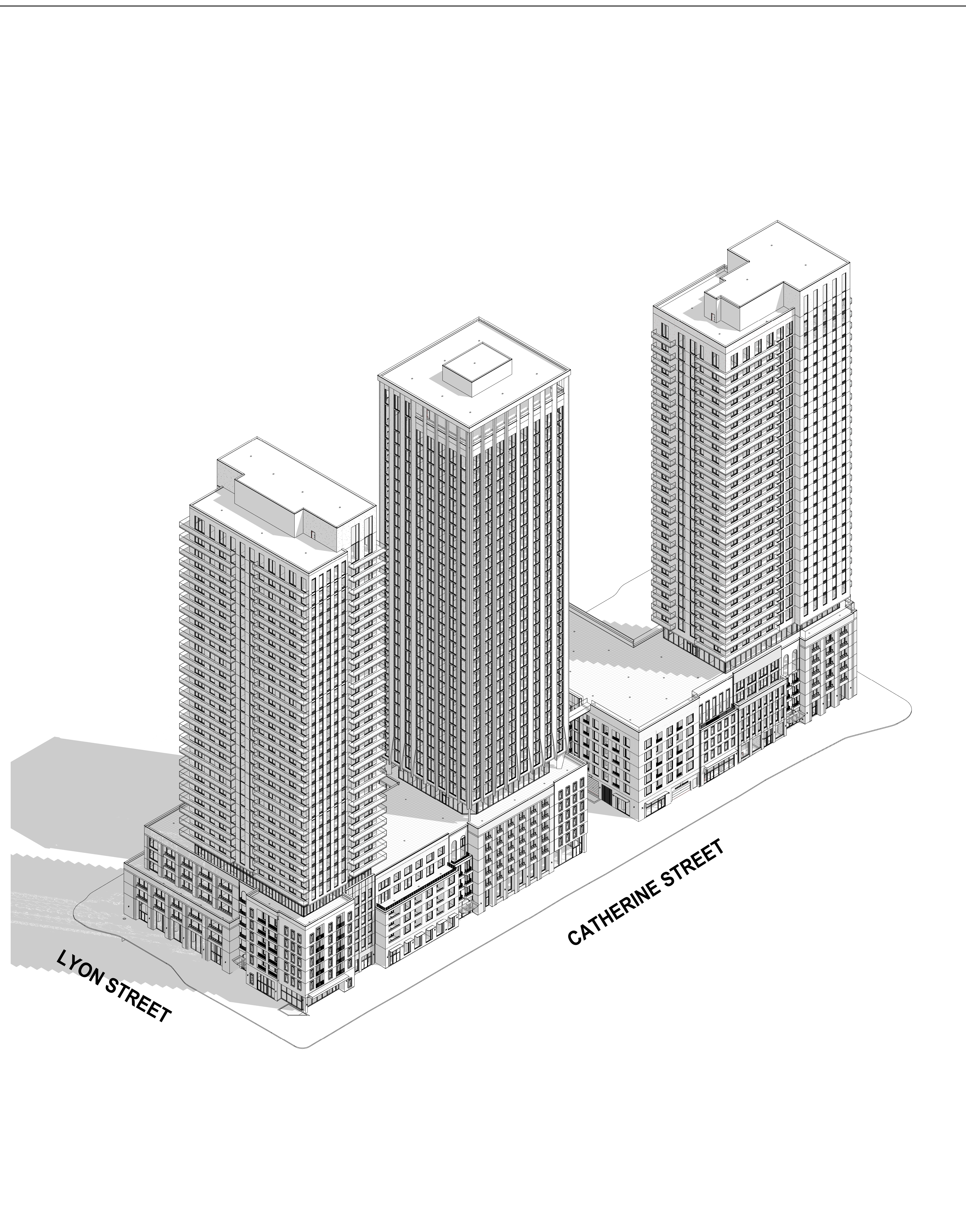
285 CATHERINE STREET,
 OTTAWA
 285 Catherine Street, Ottawa

for
 Brigil
 DWG 18991 - 001-12-23-0087 SFC / 002-02-23-0042 28A / 001-01-23-0008 DDP

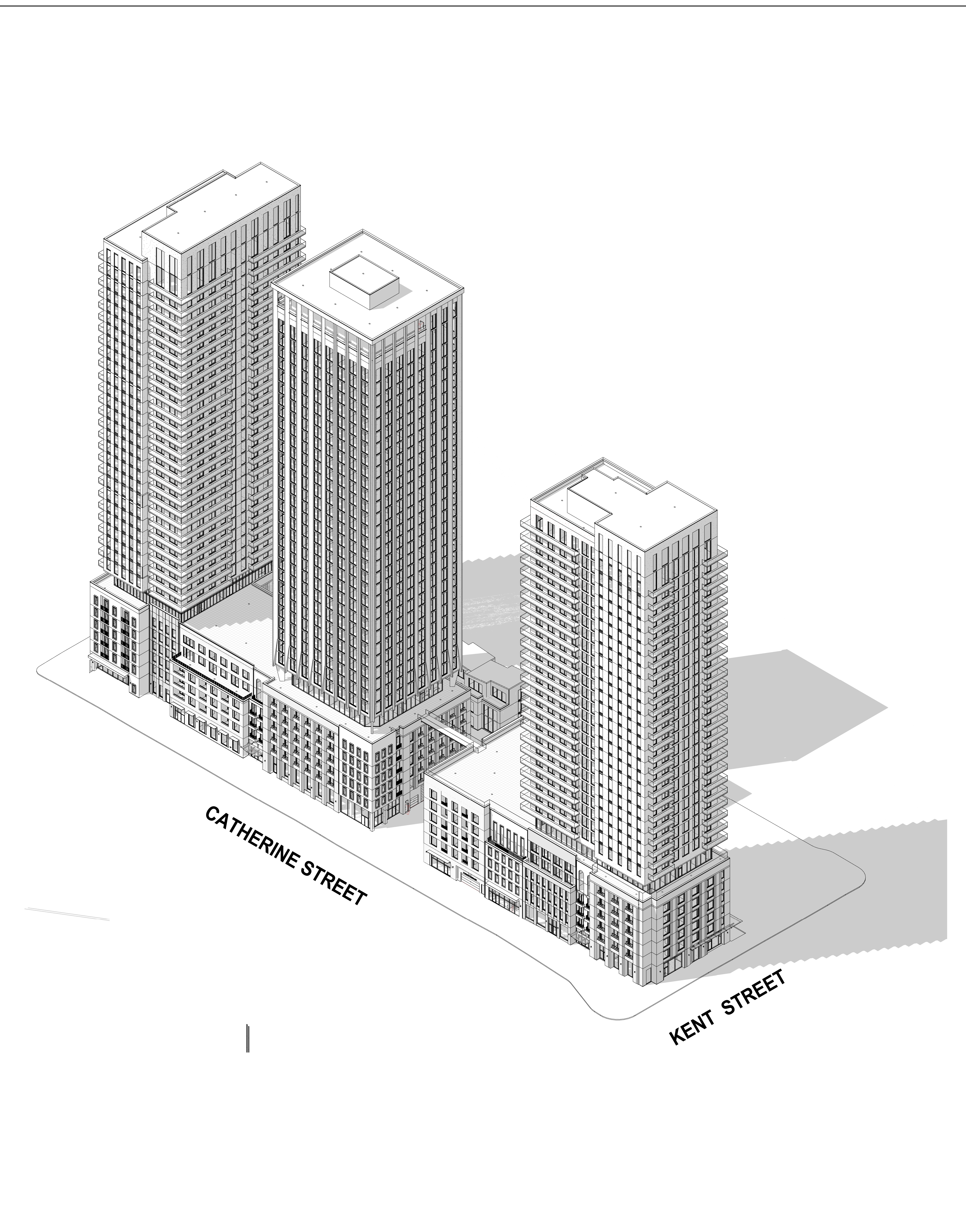
21007 1:200 AR RJL
 PROJECT SCALE DRAWN REVIEWED

A453.S

Note: This drawing is the property of the architect and may not be reproduced or used without the expressed consent of the architect. The Contractor is responsible for checking all notations and details and dimensions and shall report all discrepancies to the architect and shall maintain them to correspondence.



1 South West View



2 South East View

Date	No.	Description

REVISION RECORD		
Date	No.	Description

2024-09-16		Site Plan Approval (Resubmission)
2024-03-15		Zoning By-Law Amendment & Site Plan Approval (Resubmission)
2023-05-15		Zoning By-Law Amendment & Site Plan Approval

ISSUE RECORD		
Date	No.	Description

BDP.
Quadrangle

Quadrangle Architects Limited
The View, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S9
416-593-1200 www.bdpquadrangle.com

285 CATHERINE STREET,
OTTAWA
285 Catherine Street, Ottawa

for
Brigit
DPV19191 - 007-12-23-0087 SPC / 003-02-23-0042 ZBA / 2023-02-23-0008 ZPL

21007 AR RJL
PROJECT SCALE DRAWN REVIEWED

3D View

A475.S

Note: This drawing is the property of the architect and may not be reproduced or used without the express consent of the architect. The architect is responsible for checking and verifying all items and dimensions and shall report all discrepancies to the architect and other professionals prior to commencing work.

C:\Users\adam\Documents\A475_S\12107-23-0087_SPC_003-02-23-0042_ZBA_2023-02-23-0008_ZPL.dwg