

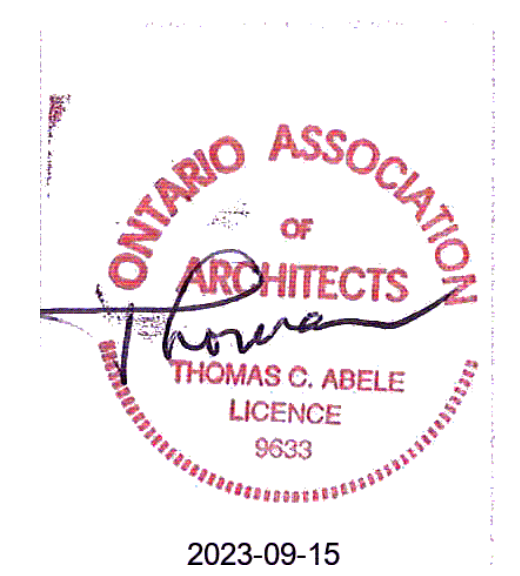
DRAWING INDEX	
Sheet Number	Sheet Name
A0.00	COVER SHEET
A1.00	SITE PLAN
A1.01	SURFACE / UNDERGROUND PARKING PLAN
A1.02	FIRE + EMERGENCY ACCESS PLAN
A1.03	WASTE + RECYCLING PLAN
A1.04	SITE ACCESSORIES
A1.05	SITE ACCESSORIES
A1.06	SURROUNDING AREA PERSPECTIVE
A1.07	SITE PERSPECTIVE
A1.08	SITE PERSPECTIVE
A1.09	SITE PERSPECTIVE
A1.10	ONSITE PERSPECTIVE
A2.00	BUILDING A - PARKADE FLOOR PLAN
A2.01	BUILDING A - FIRST FLOOR PLAN
A2.02	BUILDING A - SECOND / THIRD FLOOR PLAN
A2.03	BUILDING A - FOURTH / FIFTH FLOOR PLAN
A2.04	BUILDING A - SIXTH / ROOF PLAN
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A2.06	BUILDING B - SECOND / THIRD FLOOR PLAN
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A2.08	BUILDING B - SIXTH / ROOF FLOOR PLAN
A2.09	BUILDING C - PARKADE FLOOR PLAN
A2.10	BUILDING C - FIRST FLOOR PLAN
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A2.12	BUILDING C - FOURTH / FIFTH FLOOR PLAN
A2.13	BUILDING C - SIXTH / ROOF FLOOR PLAN
A2.14	BUILDING D - PARKADE FLOOR PLAN
A2.15	BUILDING D - FIRST FLOOR PLAN
A2.16	BUILDING D - SECOND / THIRD FLOOR PLAN
A2.17	BUILDING D - FOURTH / FIFTH FLOOR PLAN
A2.18	BUILDING D - SIXTH / ROOF PLAN
A3.00	BUILDING A - ELEVATION
A3.01	BUILDING A - COLOUR ELEVATION
A3.02	BUILDING B - ELEVATION
A3.03	BUILDING B - COLOUR ELEVATION
A3.04	BUILDING C - ELEVATION
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A3.07	BUILDING D - COLOUR ELEVATION

TRINITY CROSSING APARTMENTS

4200 INNES ROAD, OTTAWA



VICINITY MAP IS ONLY AN APPROXIMATION OF PROJECT LOCATION



PROJECT TEAM:

APPLICANT:

B BROADSTREET
PROPERTIES LTD.
100 St Anns, Campbell River, B.C.
(T)250.286.8045 (F)250.286.8046
www.broadstreet.ca

CONSTRUCTION:

SEYMOUR PACIFIC
DEVELOPMENTS LTD.
100 St Anns, Campbell River, B.C.
(T)250.286.8045 (F)250.286.8046
www.seymourpacific.ca

STRUCTURAL ENGINEERING:

PROTOSTATIX
500, 10410 - 102 AVENUE NW
EDMONTON, AB
T5J 0E9
780-423-5855

CIVIL ENGINEERING & PLANNING:

NOVATECH
240 MICHAEL COWPLAND
DRIVE, SUITE 200,
OTTAWA, ON,
K2M 1P6
613.254.9643

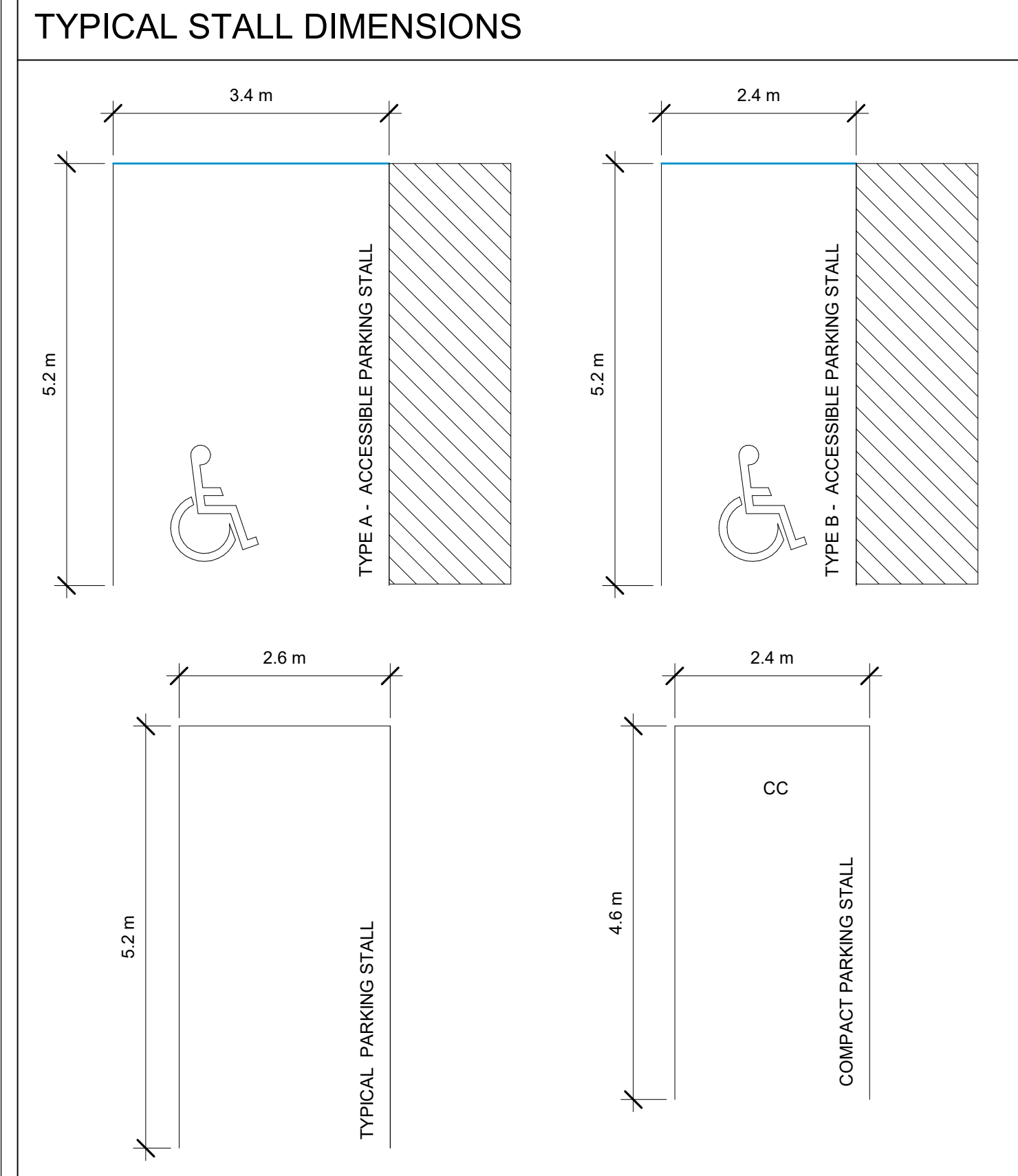
MECHANICAL & ELECTRICAL ENGINEERING:

ARROW ENGINEERING
ST. ALBERT TRAIL PLACE 202 –
13167 146 STREET
EDMONTON, AB
T5L 4S8
780-801-6100

ARCHITECT:

ABELE ARCHITECTURE
2001-1755 HARO STREET
VANCOUVER, BC
V6G 1H2
604-682-6818

VEHICULAR PARKING				
	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT - REGULAR	1.2 / UNIT	71	85	71
		71	85	71
		70	84	70
APARTMENT - MIXED USE	1 / UNIT	81	81	81
VISITORS	0.2 / UNIT	293	59	59
MEDICAL	4 / 100 m ²	339.5 m ²	14	14
SHARED PARKING REDUCTION				
TOTAL PARKING STALLS			397	366
OTHER PARKING PROVISIONS				
SMALL CAR	MAX 50%		205	138
ACCESSIBLE TYPE A			2	2
ACCESSIBLE TYPE B			1	1



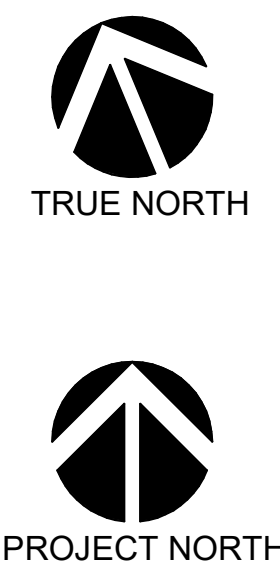
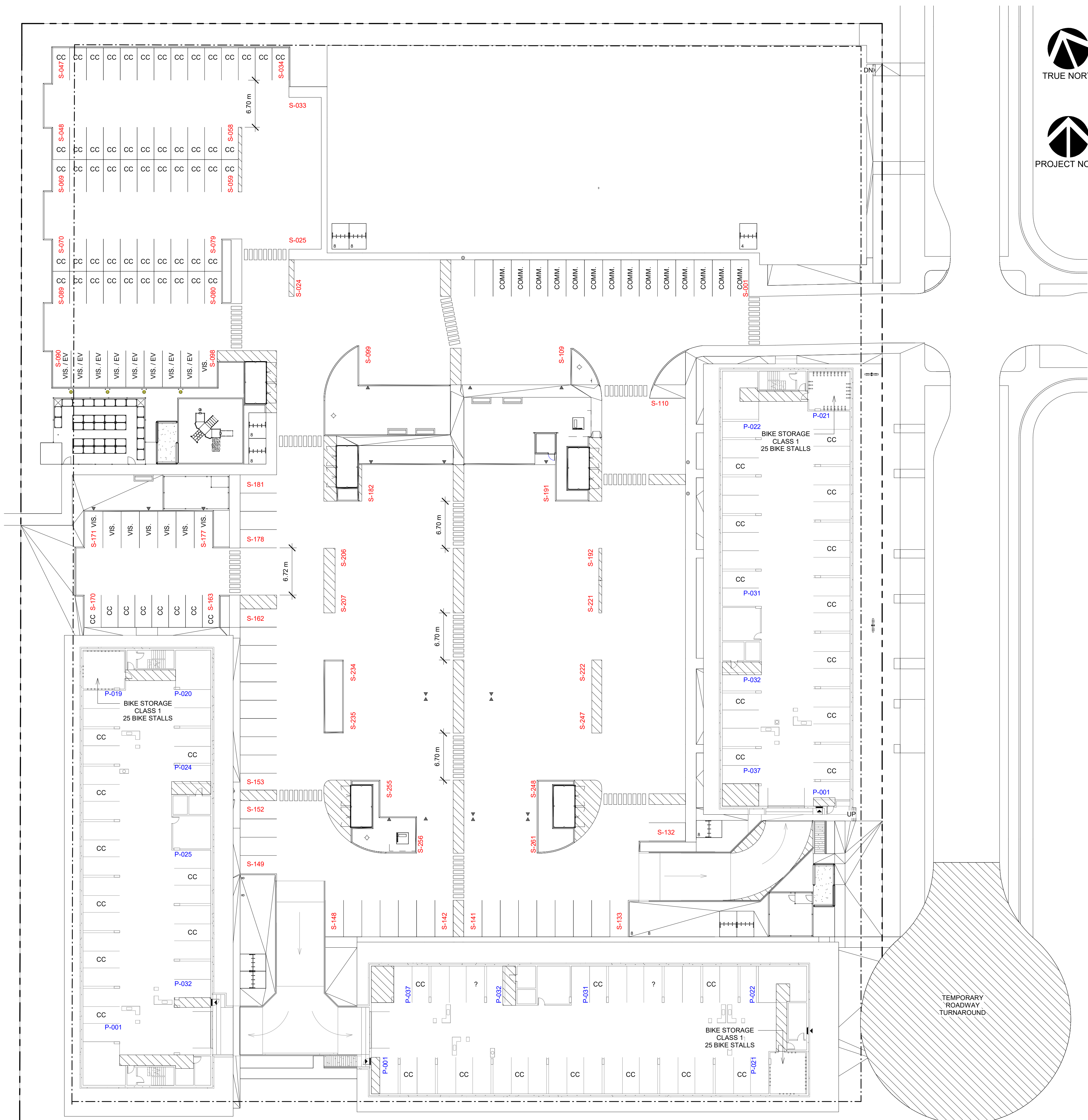
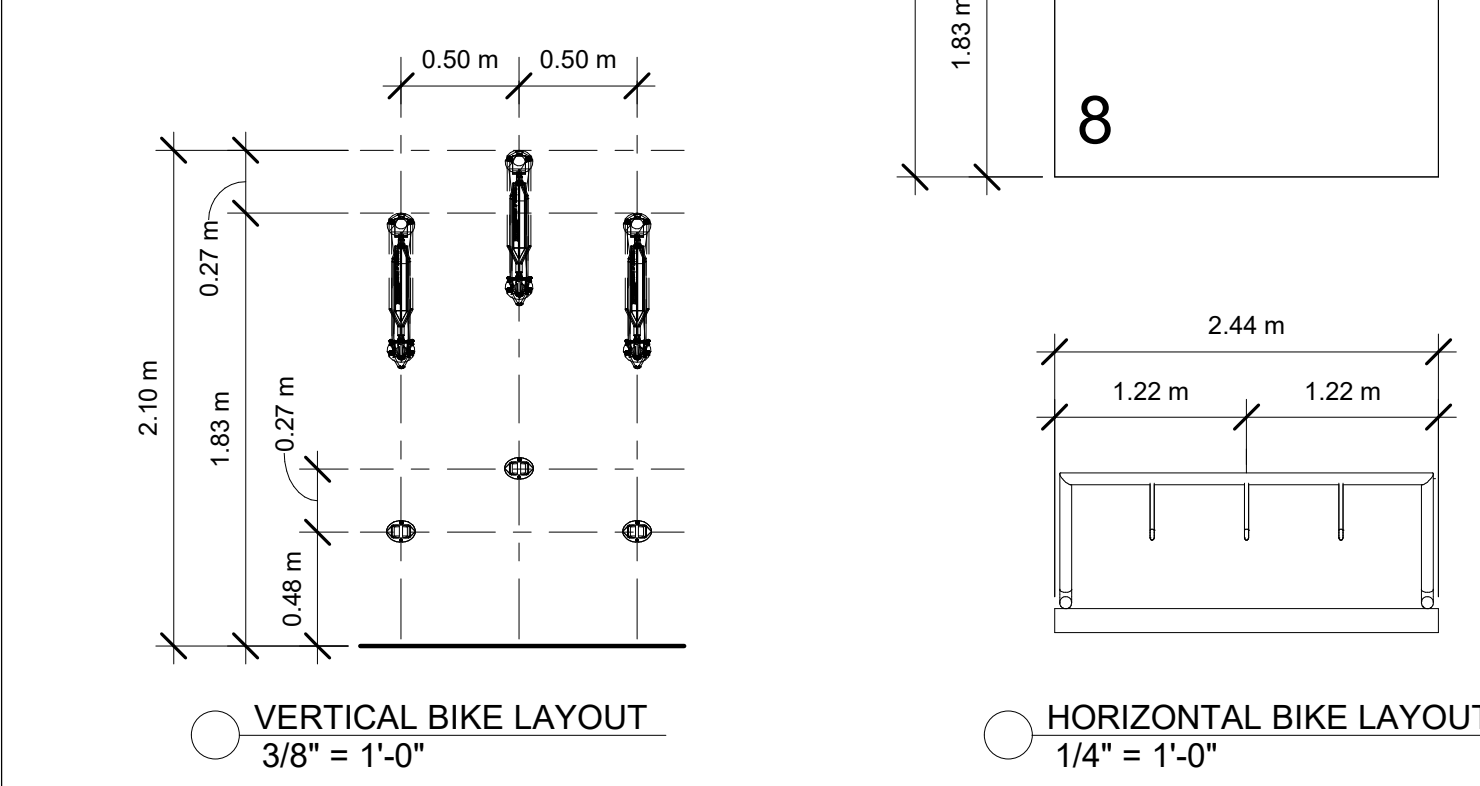
BICYCLE PARKING				
	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	293	147	149
MEDICAL	1 / 250 m ²	339.5 m ²	2	2
TOTAL BICYCLE			149	151
OTHER BICYCLE PROVISIONS				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	75	76
MIN HORIZONTAL BIKE STALL	50%	-	75	76
MIN SECURED BIKE STALLS	25%	-	37	75

PARKING KEY NOTES:

LETTER:
 CC = COMPACT CAR
 VIS = VISITOR

UNLESS NOTED ALL OTHER STALL ARE TYPICAL

	EV CHARGER
	ACCESSIBLE PARKING SIGN
	VISITOR PARKING SIGN



SEYMOUR PACIFIC DEVELOPMENTS LTD.
 100 St Anns Street, Campbell River, B.C.
 (T)250.286.8045 (F)250.286.8046
 www.seymourpacific.ca

SITE MAP:

PROJECT STATUS:
 ISSUED FOR PLAN CONTROL

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELARCHITECTURE
 THOMAS C. ABLE, ARCHITECT OAA, T: 604.682.6818

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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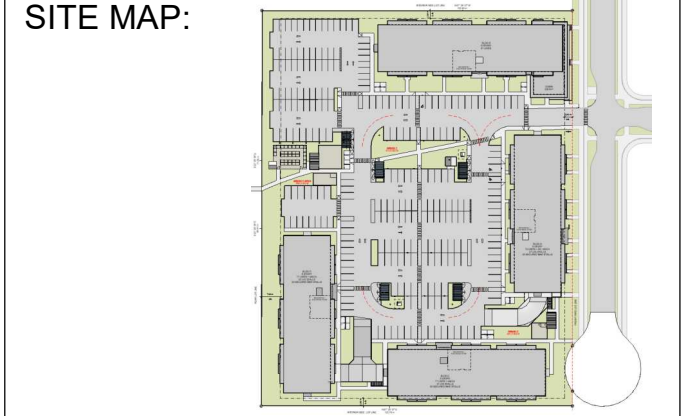
PROPERTY BOUNDARY & TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

PROJECT NAME: TRINITY APARTMENTS
PROJECT NUMBER: VP 2213
ADDRESS: 4200 INNES ROAD OTTAWA, ONTARIO
DRAWING TITLE: SURFACE / UNDERGROUND PARKING PLAN

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated
DRAWING #: **REV #:**

A1.01

09/06/2023 9:25:00 AM



PROJECT STATUS:
ISSUED FOR PLAN CONTROL

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
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THOMAS C. ABLE, ARCHITECT O.A.A. T: 604.682-6818



2023-09-15
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PROJECT NAME:
TRINITY APARTMENTS

PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

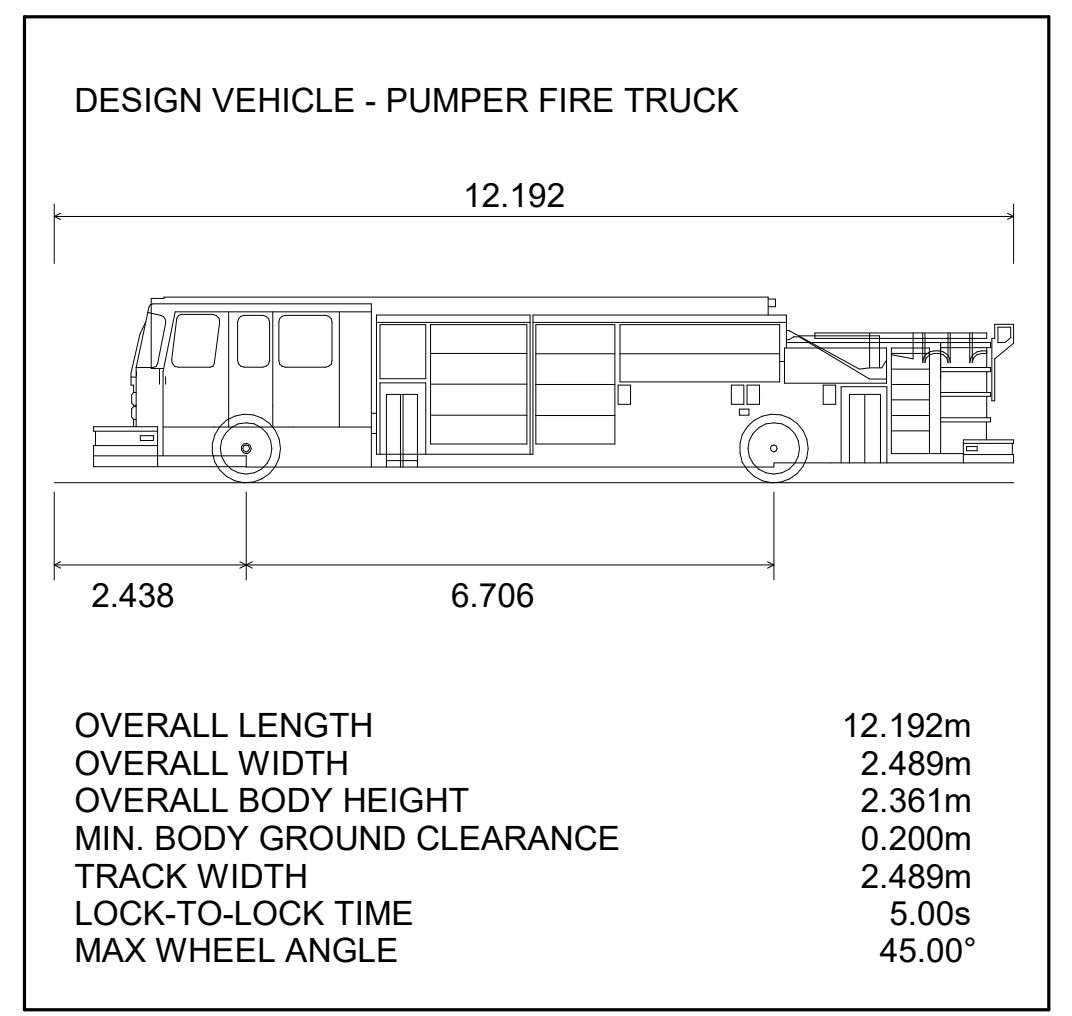
DRAWING TITLE:
FIRE + EMERGENCY ACCESS PLAN

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

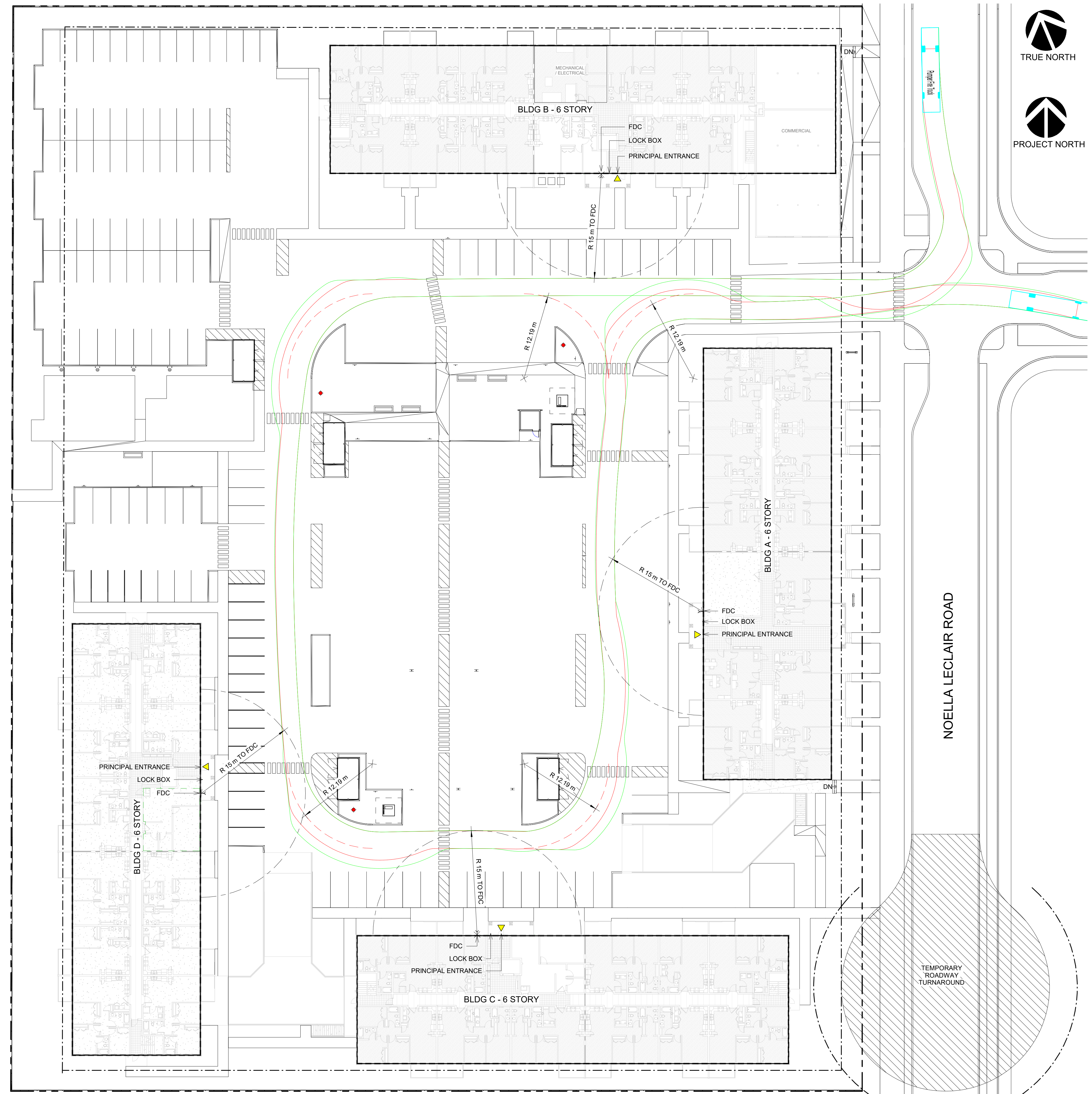
DRAWING #: A1.02
REV #: A



LEGEND	
	PROPERTY LINE
	SETBACK LINE
	BUILDING OUTLINE
	FIRE HYDRANT
	PRINCIPAL ENTRANCE
	FIRE DEPARTMENT CONNECTION



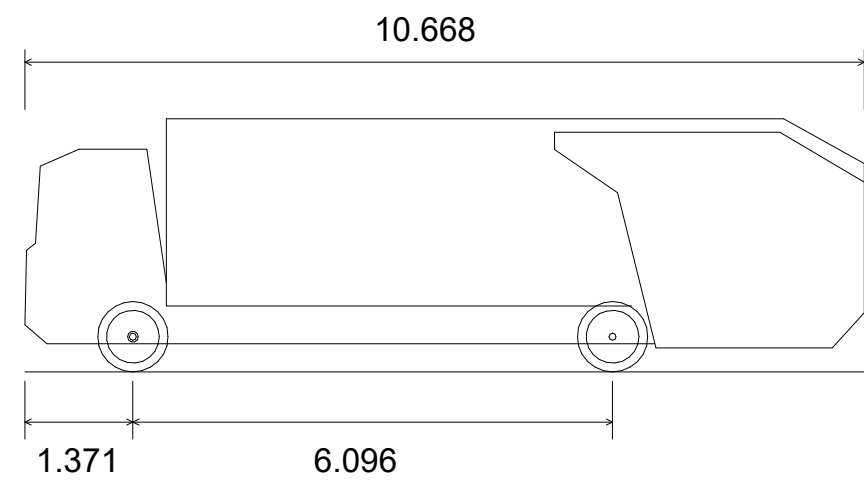
NTS



09/06/2023 9:25:04 AM

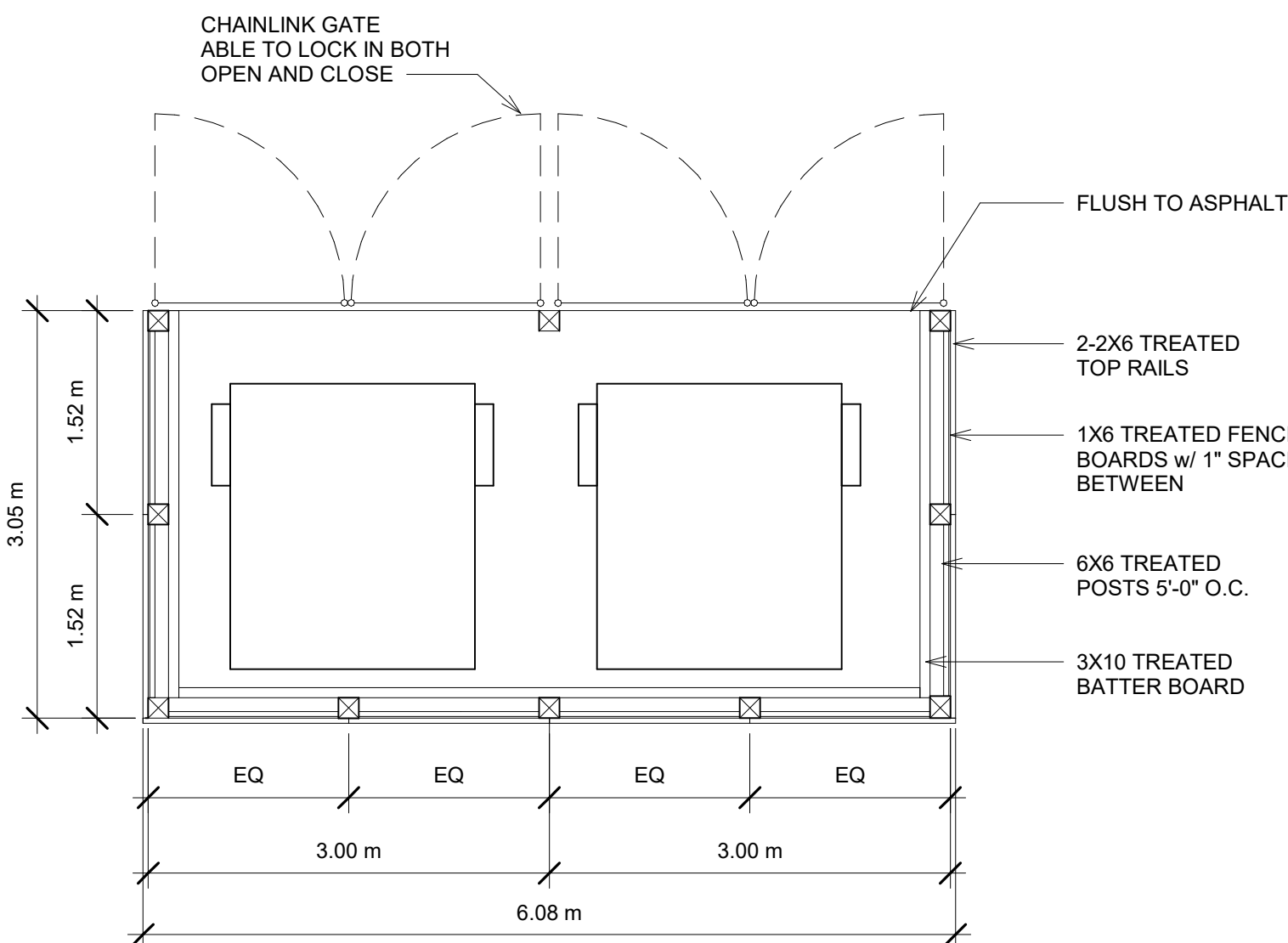
WASTE CALCULATIONS		
	REQUIRED	PROPOSED
GARBAGE	32 y ³	32 y ³
GMP	5 y ³	8 y ³
FIBRE	11 y ³	16 y ³
ORGANICS	1440 L	1920 L

DESIGN VEHICLE - FRONT-LOAD GARBAGE TRUCK

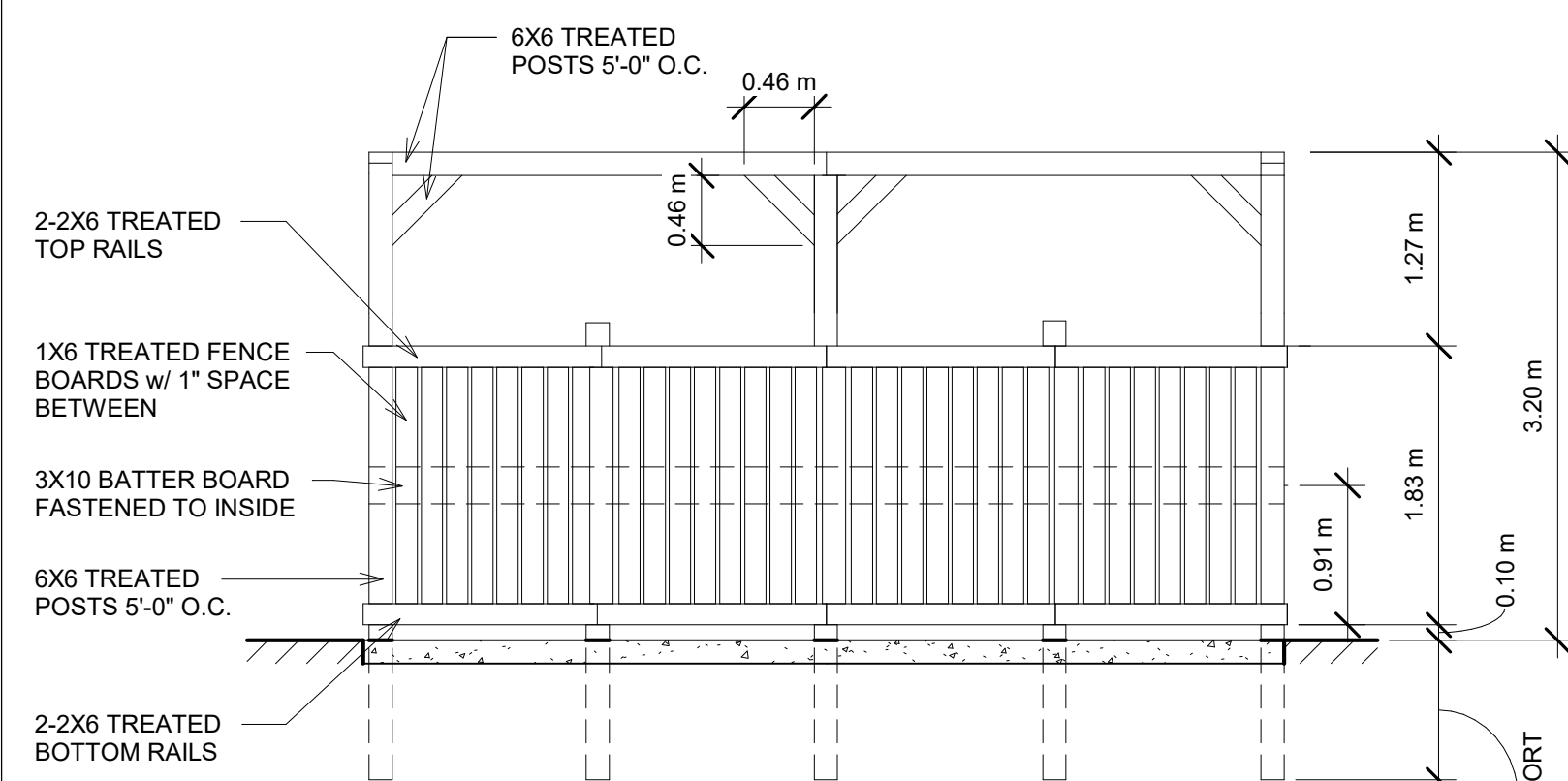


OVERALL LENGTH	10.668m
OVERALL WIDTH	2.553m
OVERALL BODY HEIGHT	3.215m
MIN. BODY GROUND CLEARANCE	0.305m
TRACK WIDTH	2.553m
LOCK-TO-LOCK TIME	6.00s
CURB TO CURB TURNING RADIUS	8.931m

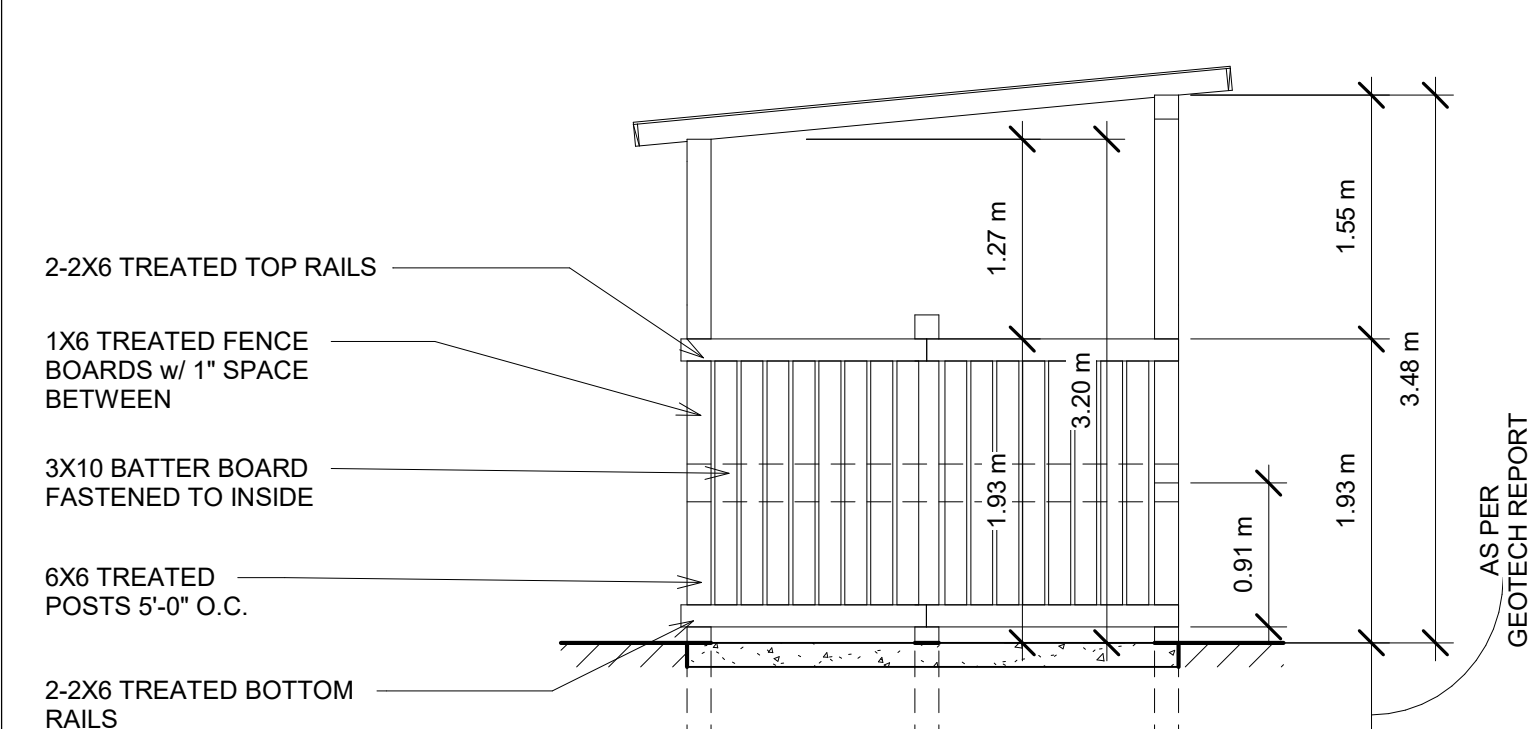
NTS



2 GARBAGE ENCLOSURE EX. (TWO BIN)
1/4" = 1'-0"



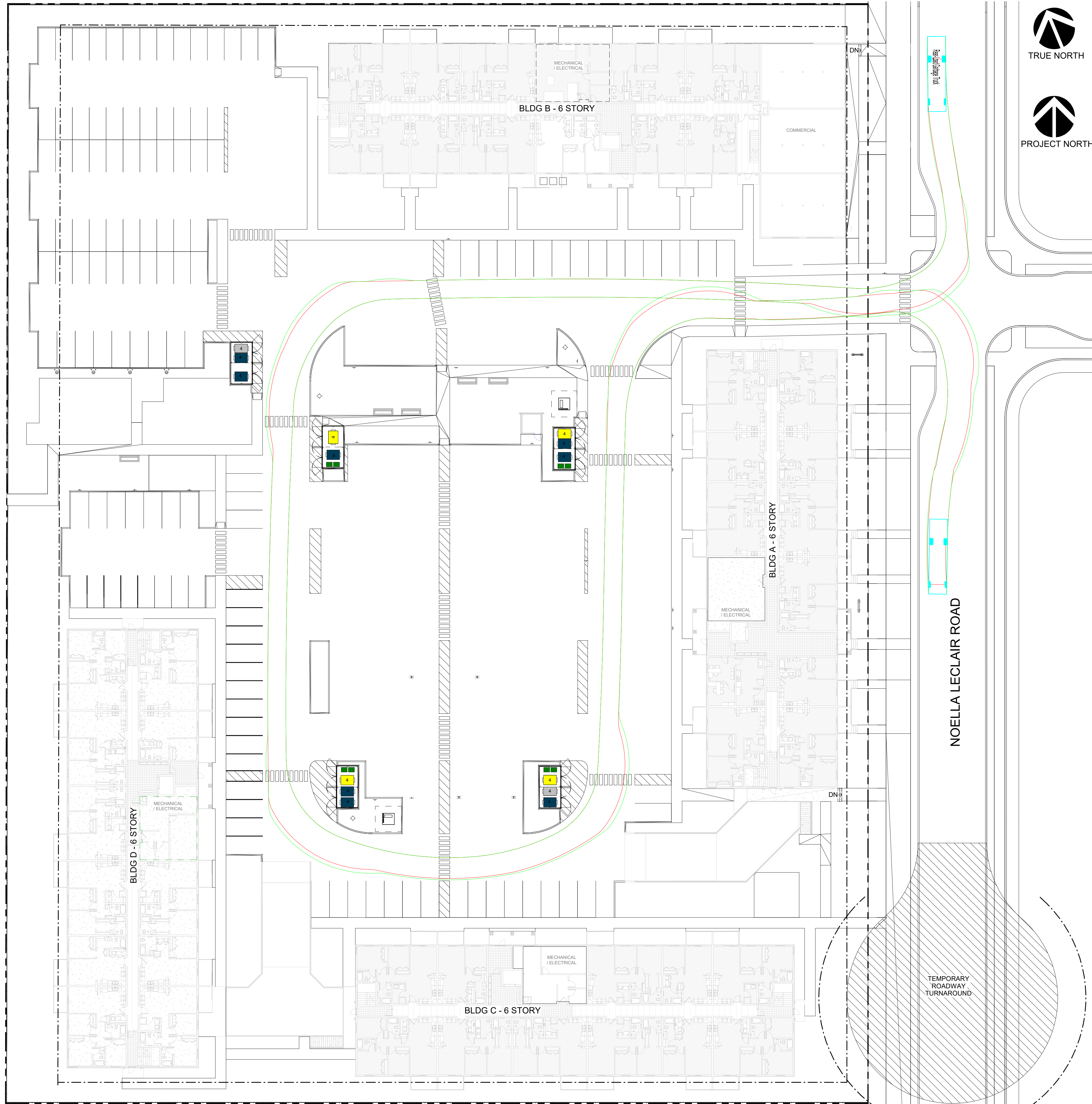
3 GARBAGE ENCLOSURE ELEVATION
1/4" = 1'-0"



4 GARBAGE ENCLOSURE SIDE ELEVATION
1/4" = 1'-0"

LEGEND

	240 L ORGANIC CANS
	GMP CANS (NUMBER REPRESENTS Y ³)
	GARBAGE CANS (NUMBER REPRESENTS Y ³)
	FIBRE BINS (NUMBER REPRESENTS Y ³)



SITE MAP:



PROJECT STATUS:

ISSUED FOR PLAN CONTROL

Revision Schedule

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2023-09-15

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

WASTE + RECYCLING PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

SCALE: As indicated

DRAWING #:

A1.03

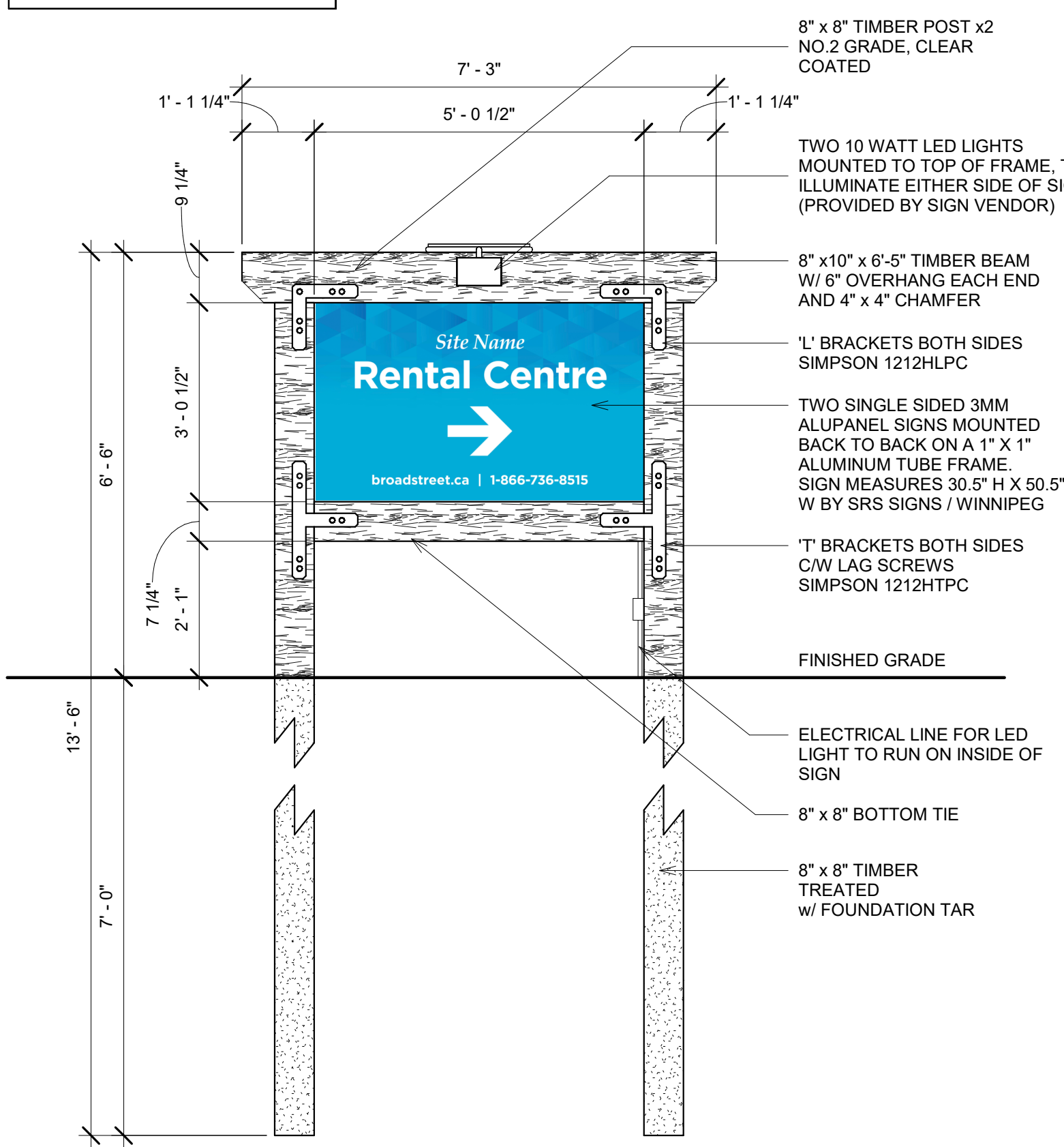
REV #:

A

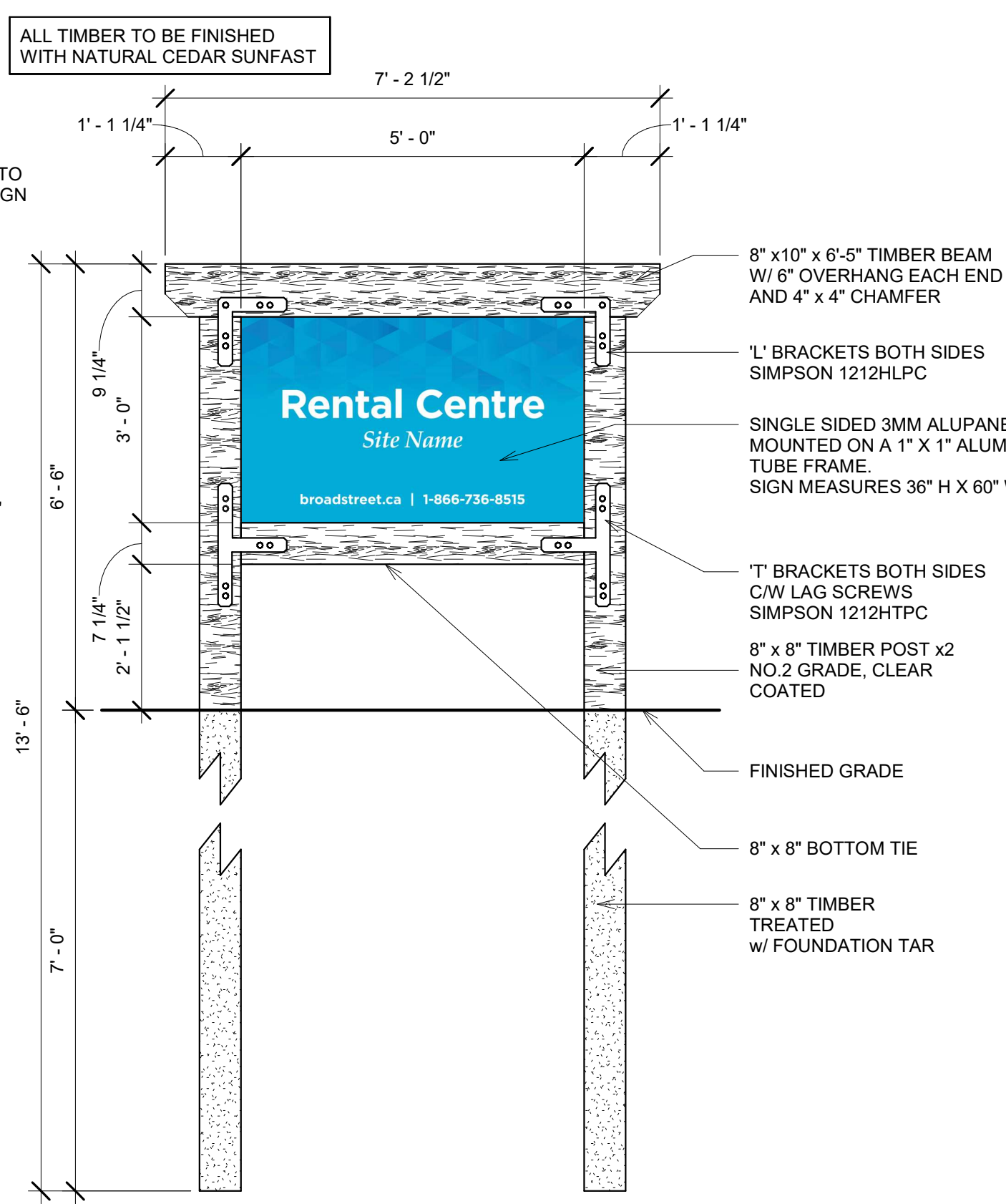
1 WASTE + RECYCLING PLAN
1 - 275

09/06/2023 9:25:09 AM

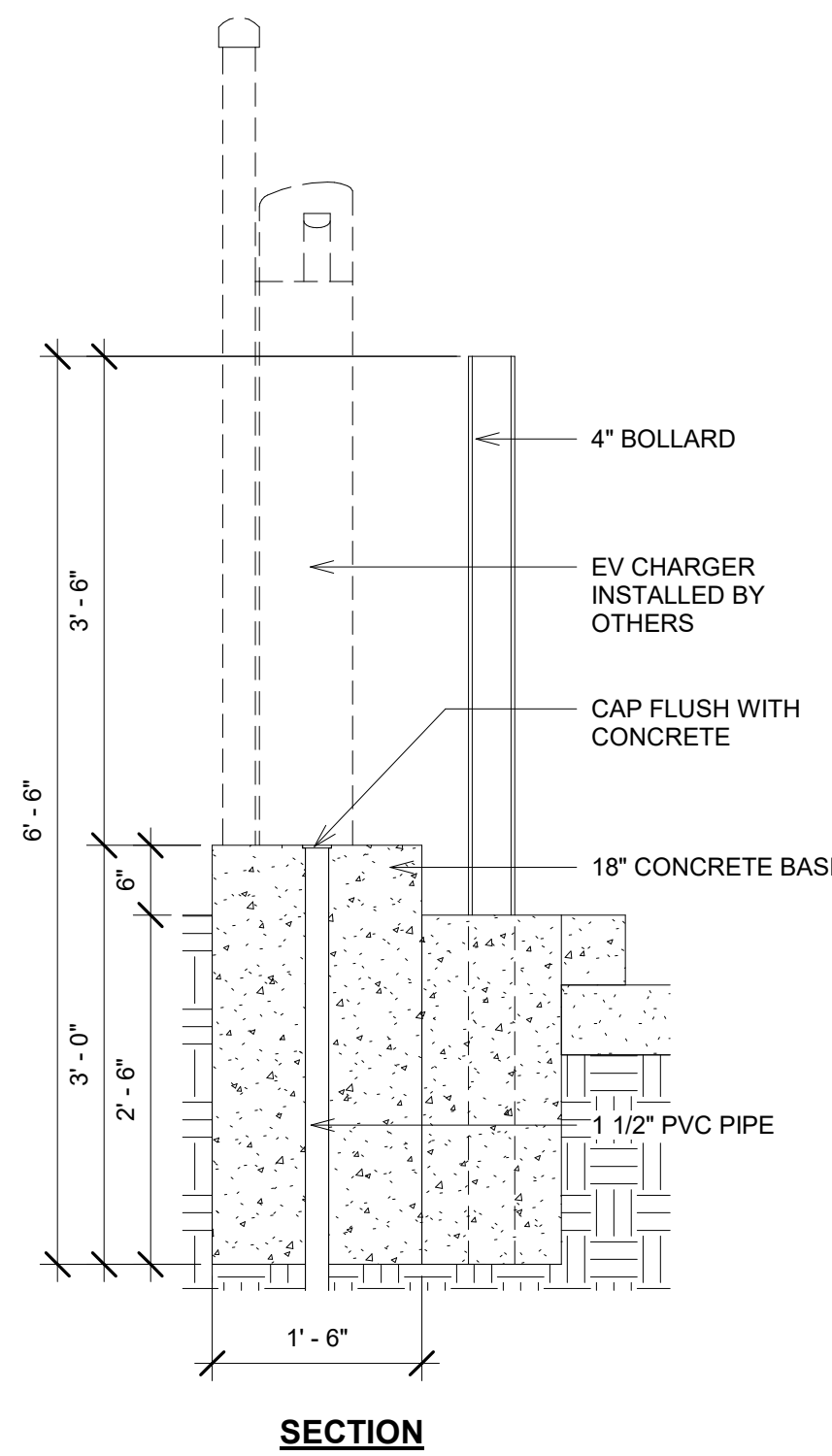
ALL TIMBER TO BE FINISHED WITH NATURAL CEDAR SUNFAST



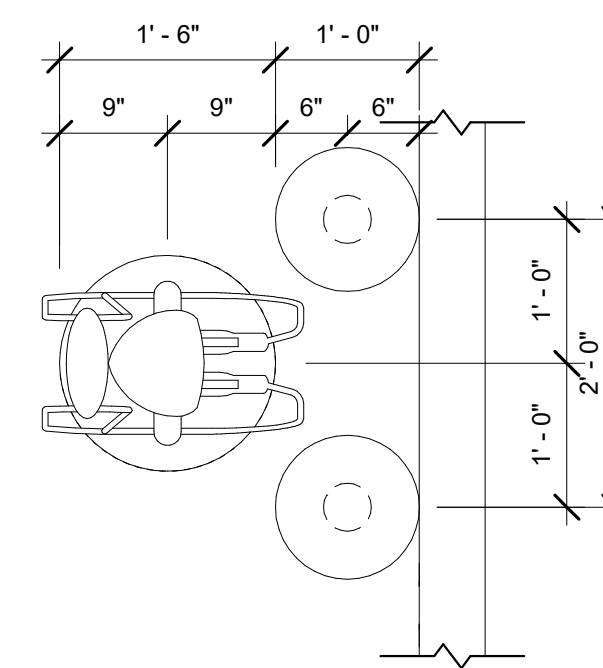
1 ENTRY SIGN
1/2" = 1'-0"



109 RENTAL OFFICE DIRECTION SIGN
1/2" = 1'-0"

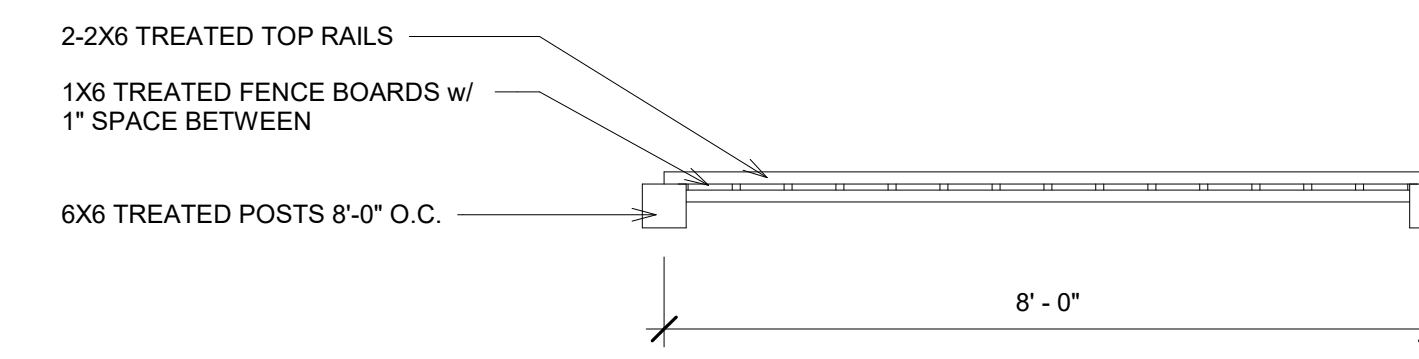


SECTION

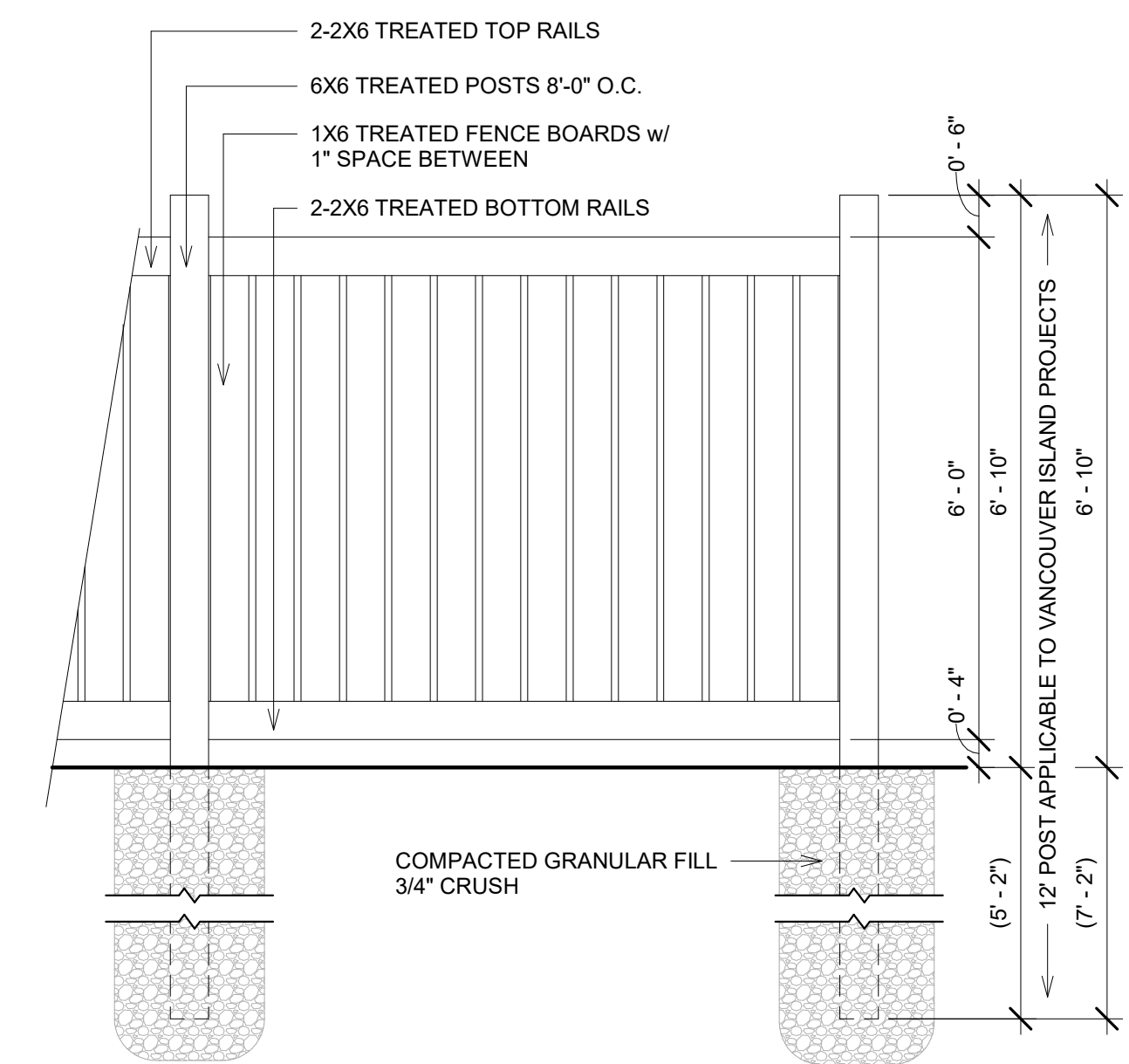


DETAIL

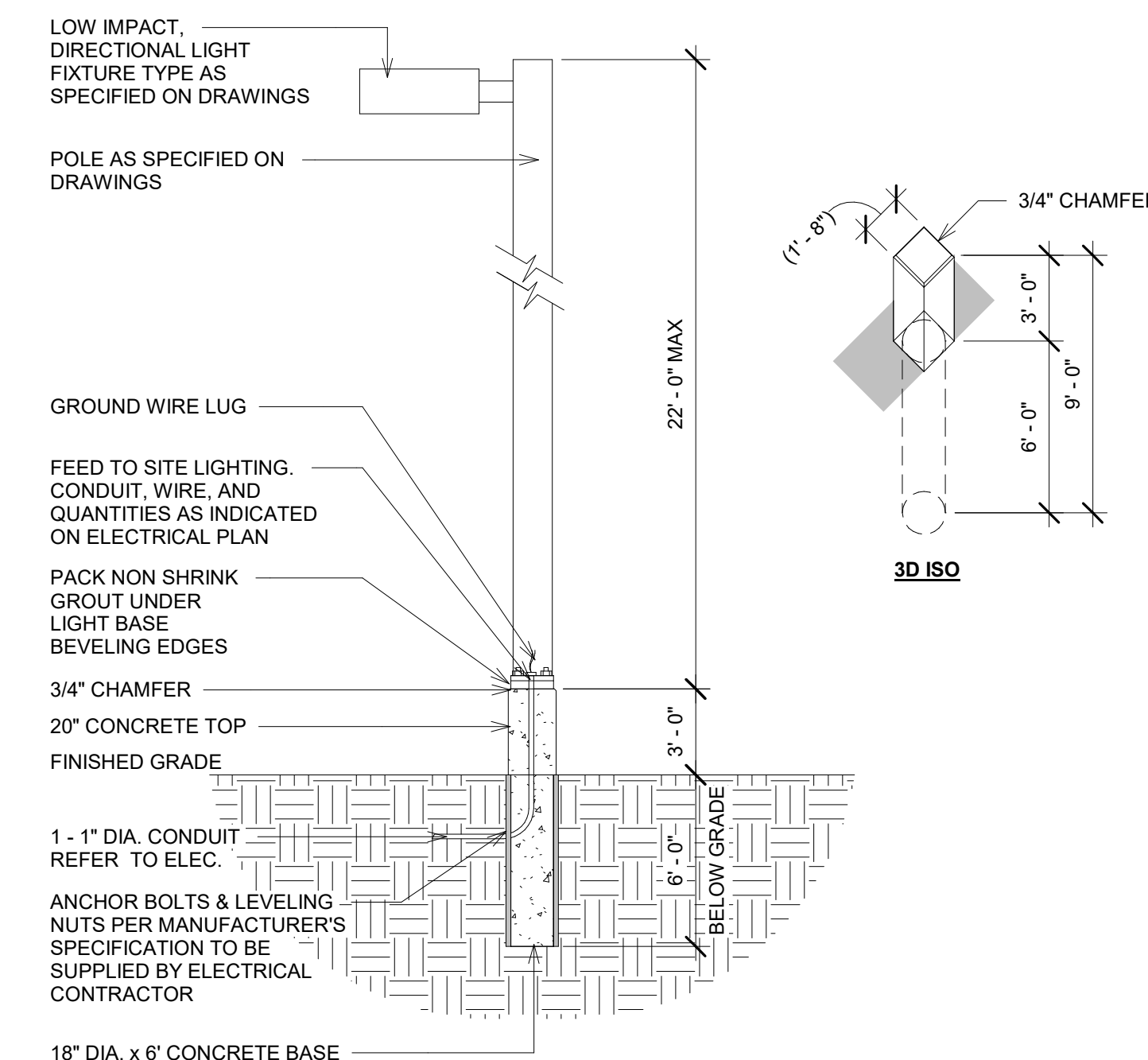
2 EV CHARGER - LANDSCAPE
3/4" = 1'-0"



5 SITE FENCE PLAN DETAIL
1/2" = 1'-0"



4 SITE FENCE TYPE (1) ELEVATION DETAIL
1/2" = 1'-0"



6 TYPICAL SITE LIGHTING
3/16" = 1'-0"

SITE MAP:



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VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

SITE ACCESSORIES

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

SCALE: As indicated

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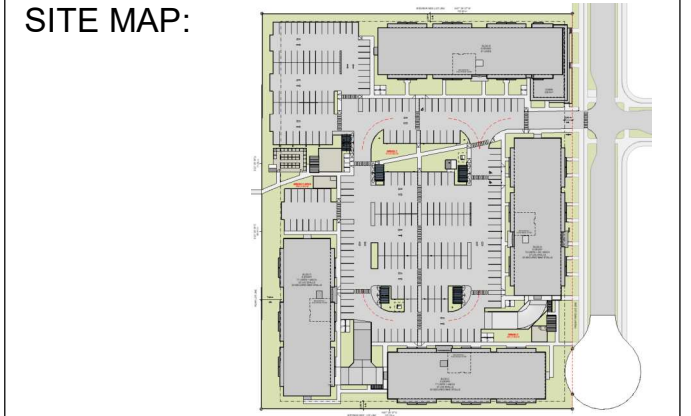
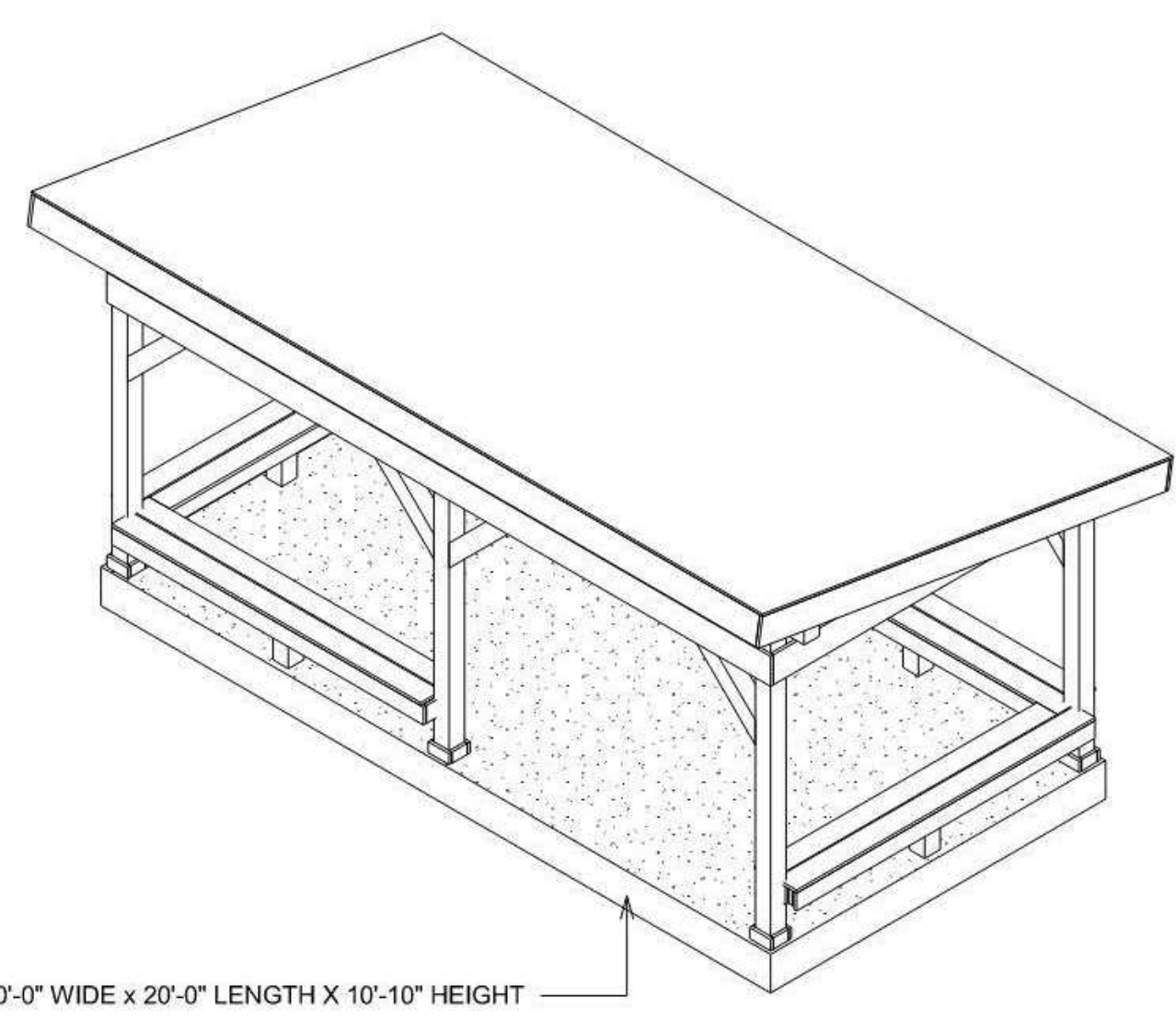
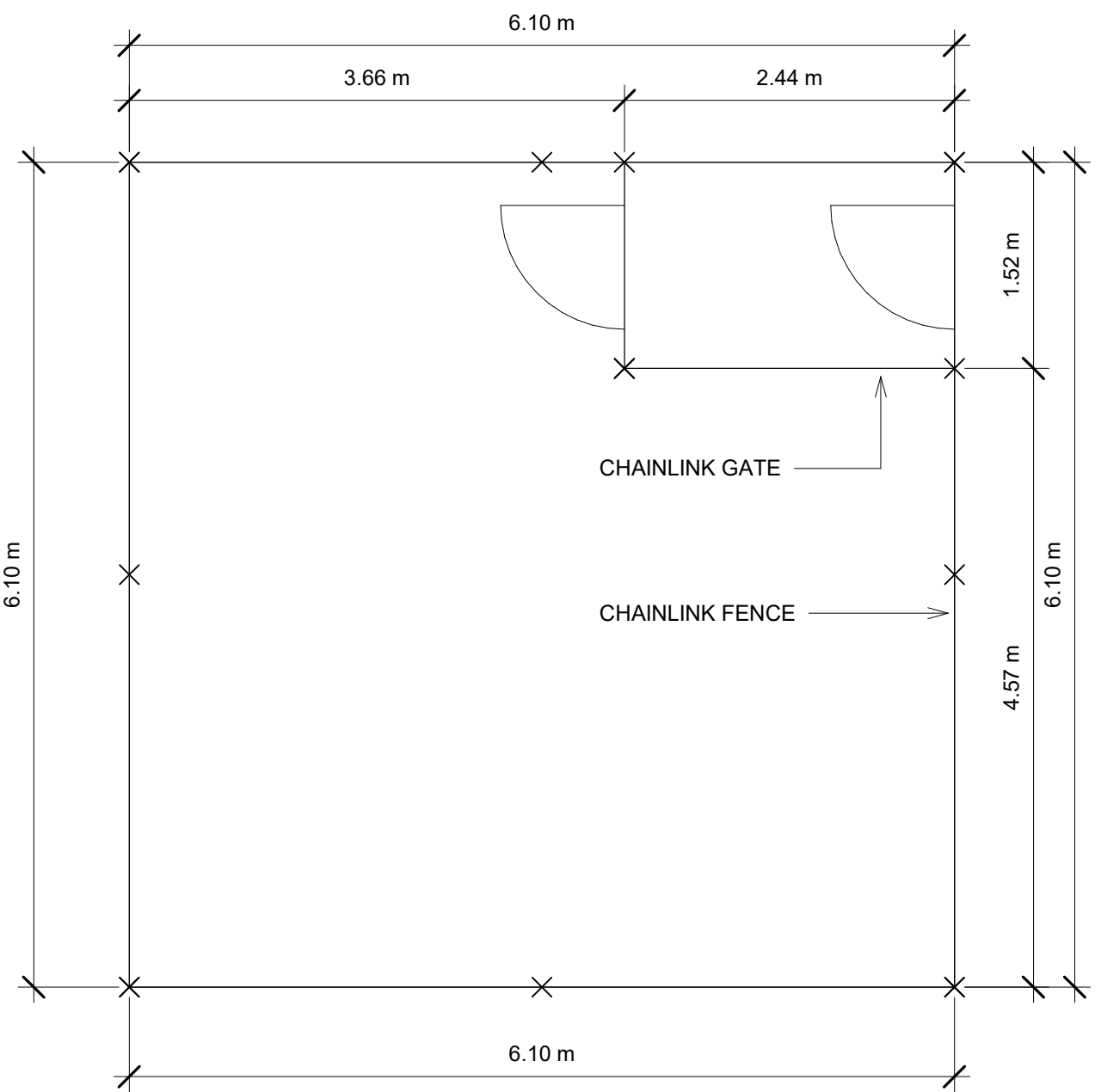
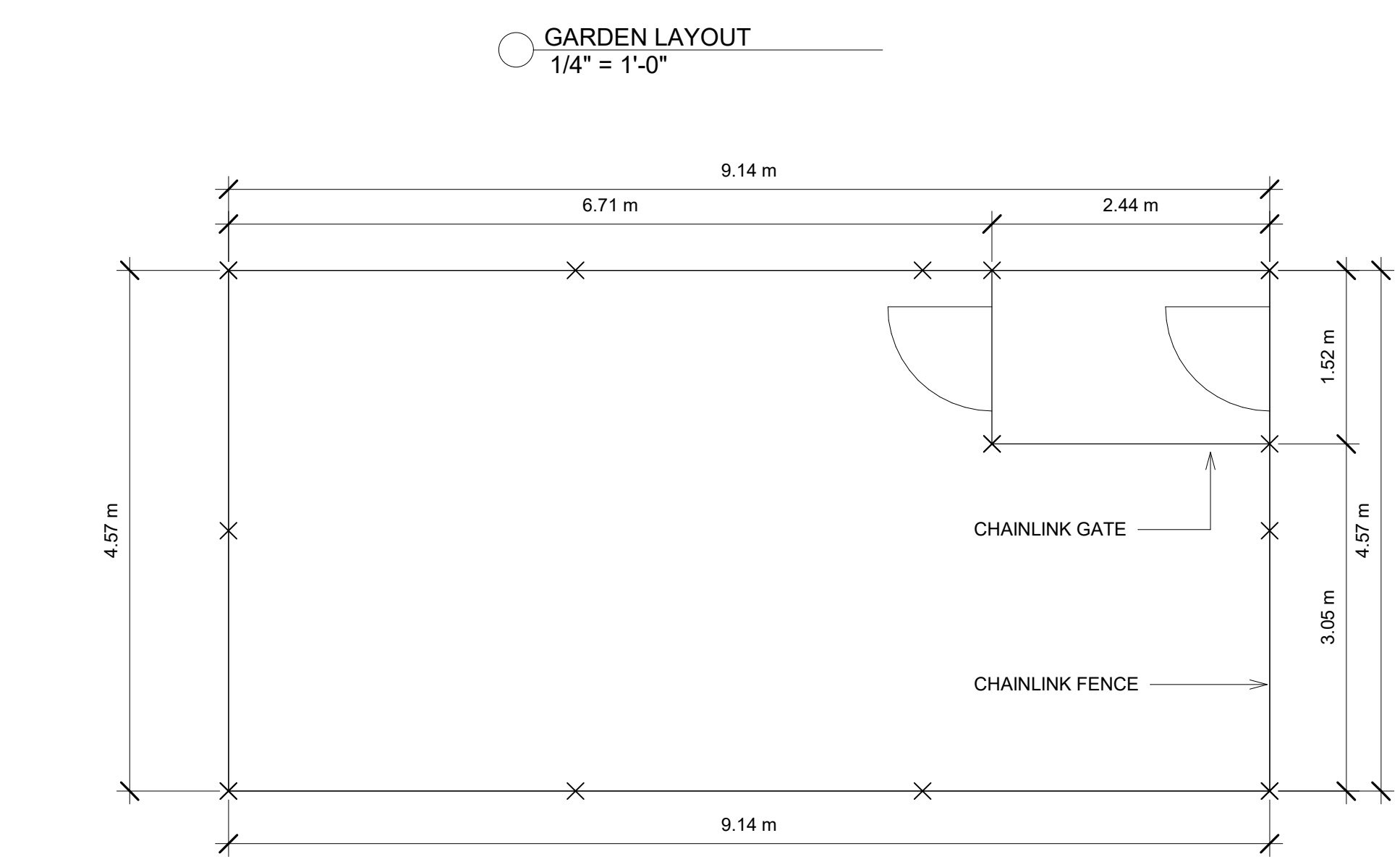
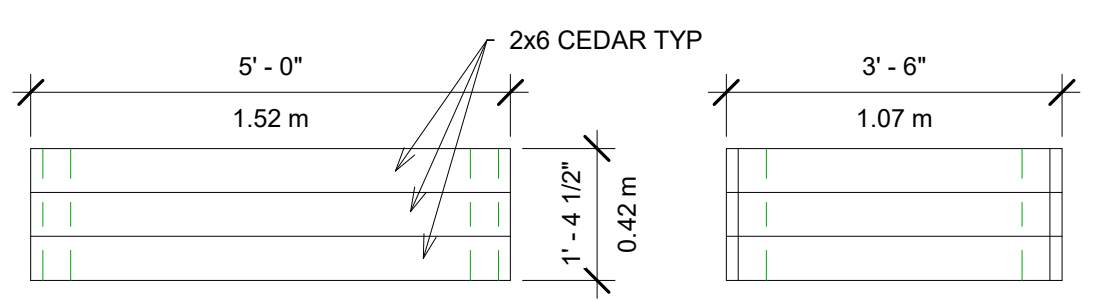
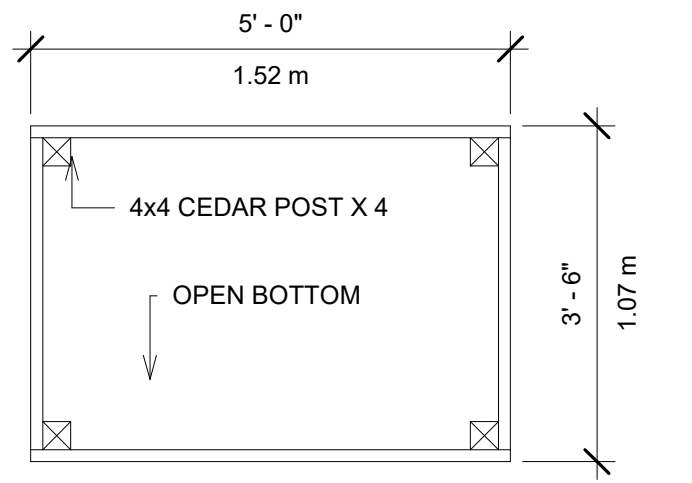
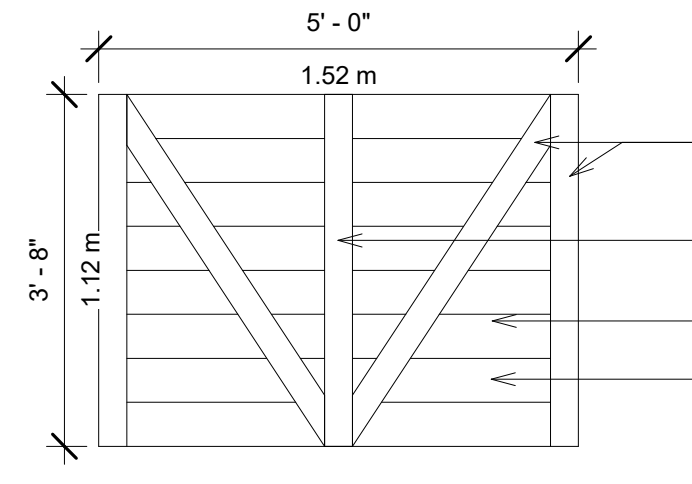
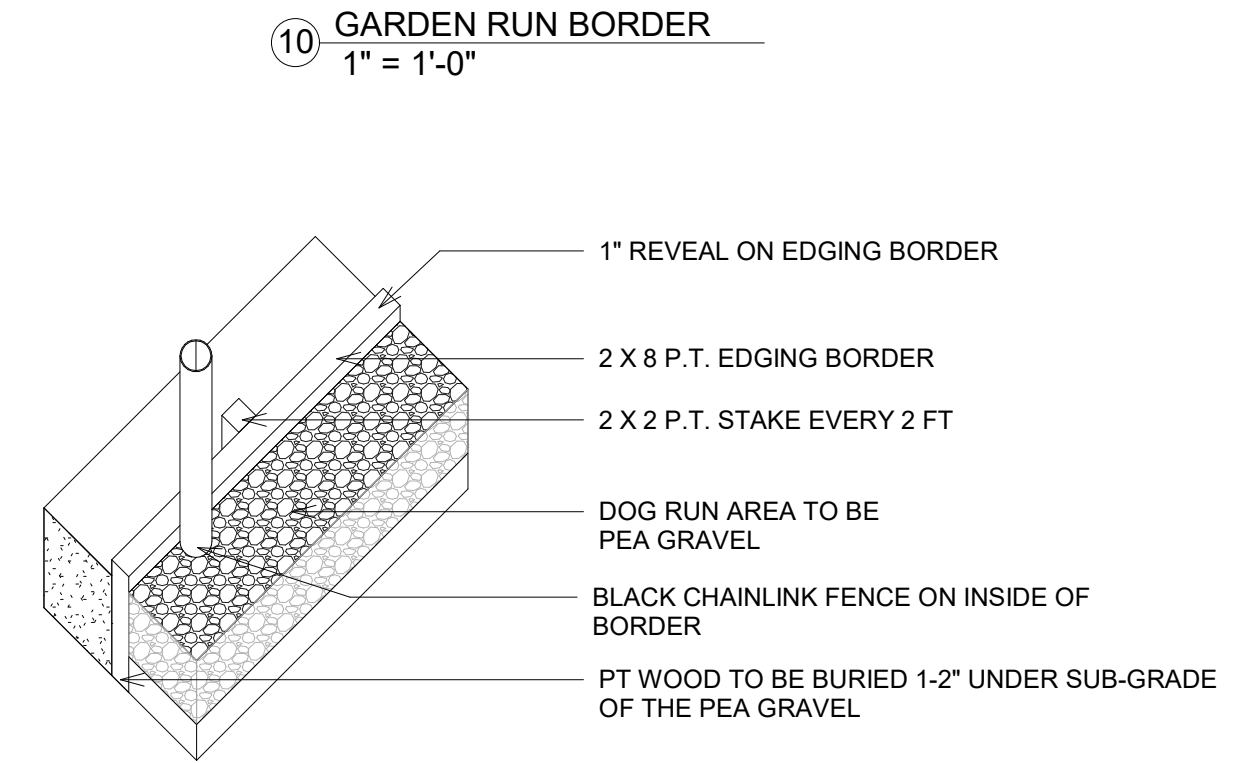
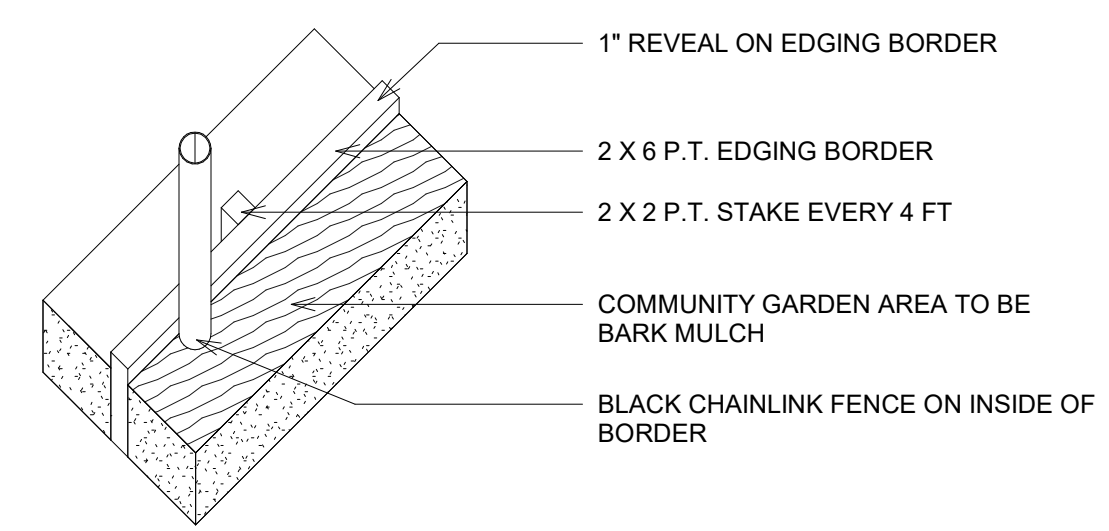
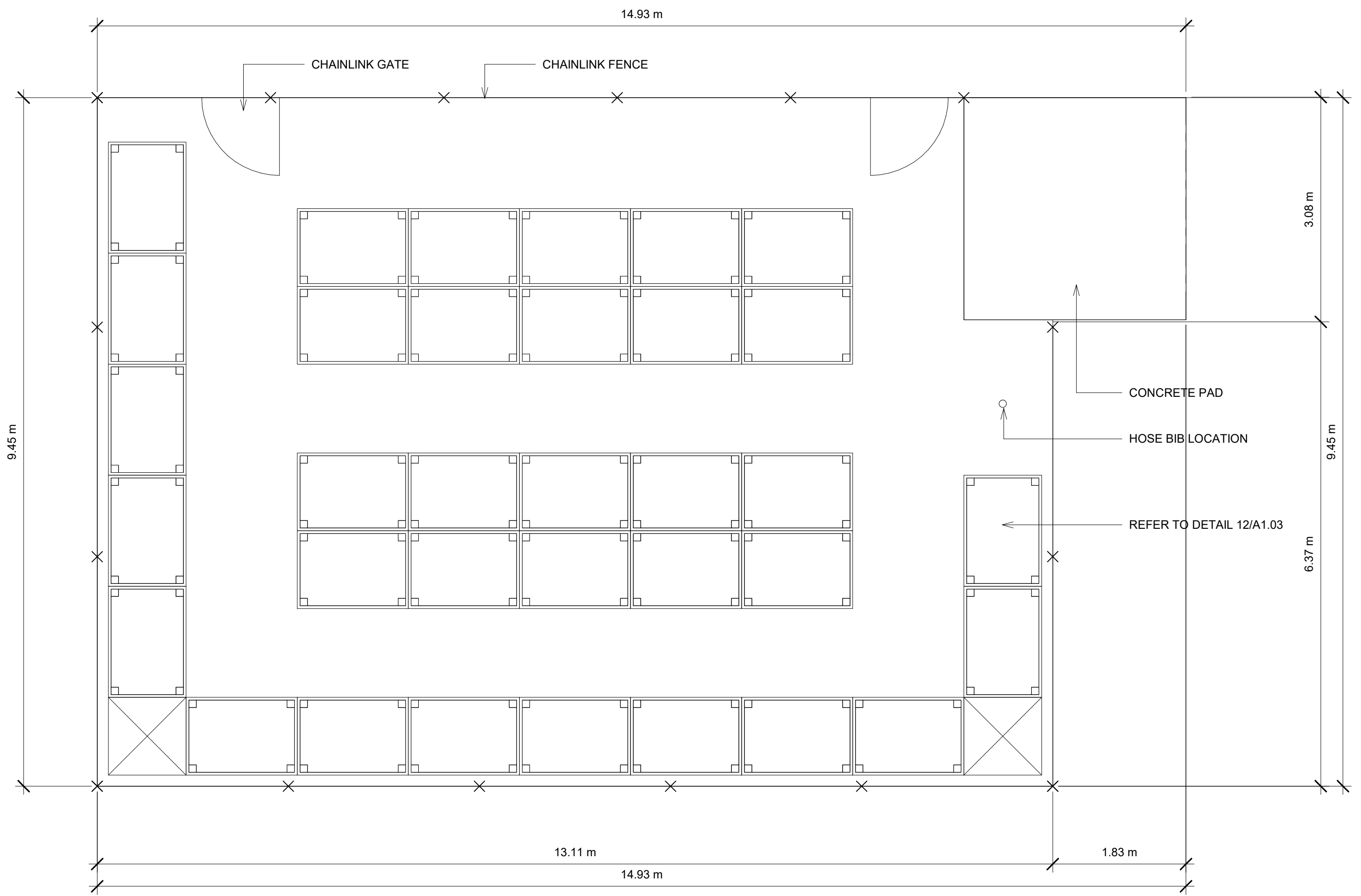
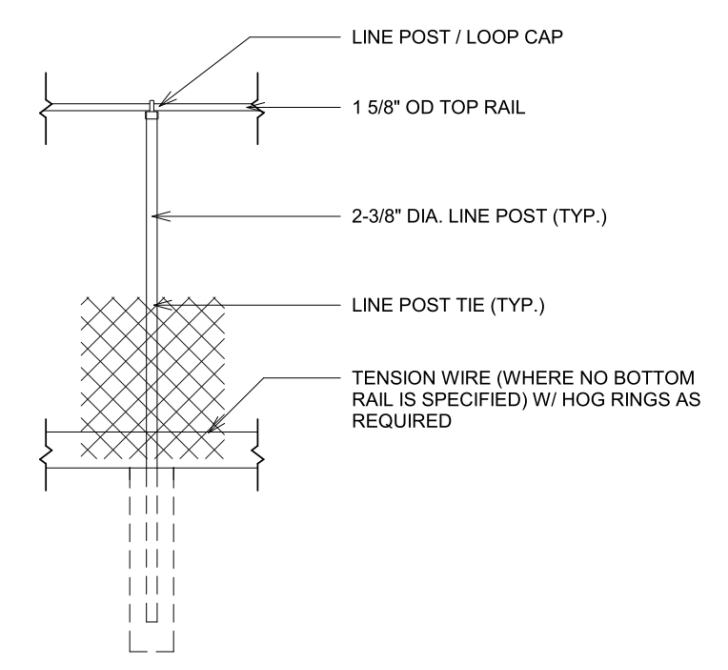
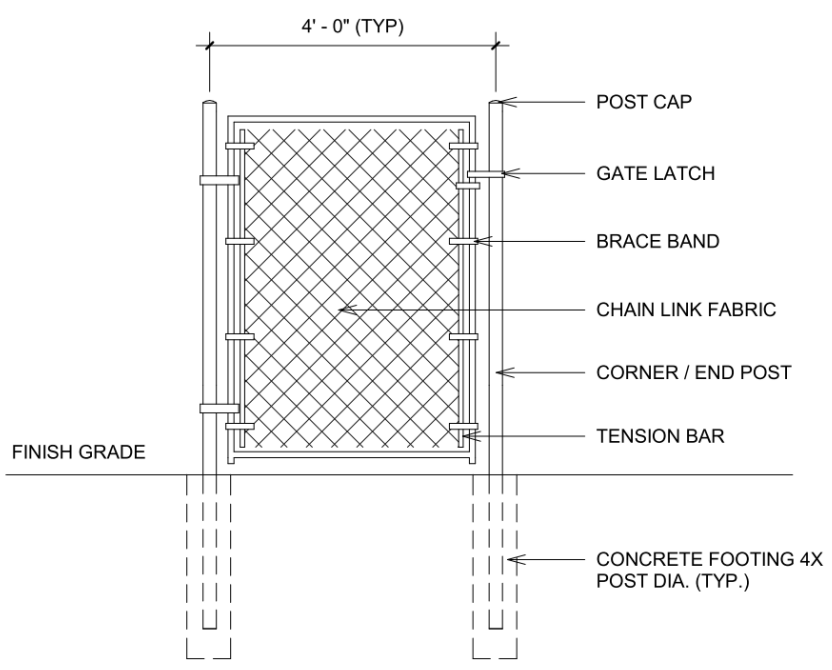
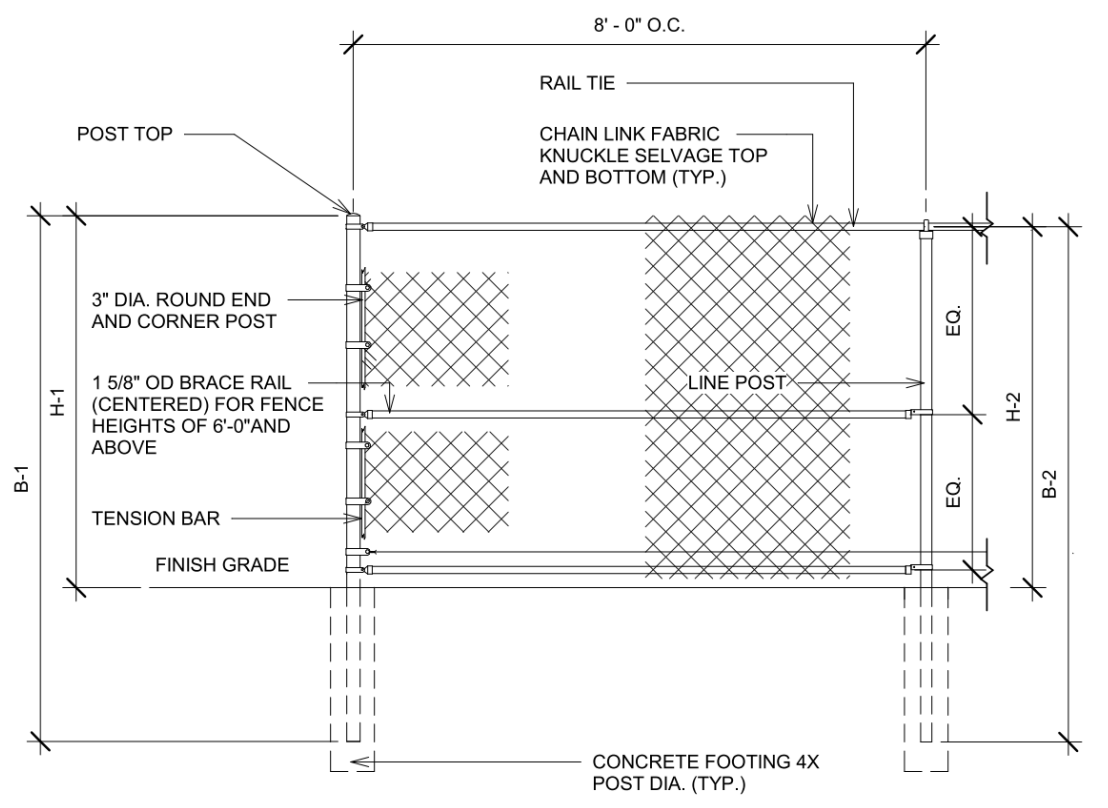
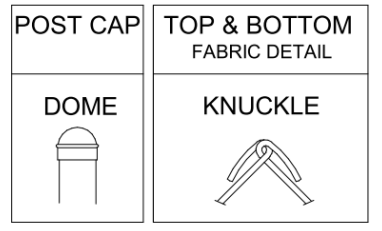
A1.04

REV #:

A

- GENERAL NOTES:**
- FOOTING WIDTH TO BE (4)X POST WIDTH.
 - ALL MATERIAL TO CONFORM TO CSA.
 - ALL GALVANIZED FITTINGS TO CONFORM TO ASTM-A153.
 - ALL FENCE COMPONENTS TO BE VINYL COATED.
 - VINYL COATING COLOR TO BE BLACK.
 - NO ALUMINUM TIES SHALL BE PERMITTED.
 - POST AND RAIL SIZES MAY REQUIRE MODIFICATION TO MEET SPECIFIC PROJECT REQUIREMENTS.

LOCATION	FENCE HEIGHT	END & CORNER POSTS		LINE POSTS	
	NOMINAL HEIGHT	B-1 BAR LENGTH	H-1 HEIGHT ABOVE GRADE	B-2 BAR LENGTH	H-2 HEIGHT ABOVE GRADE
GARDEN	4'-0"	7'-0"	4'-0 5/8"	6'-8"	3'-8 7/8"
DOG RUN	5'-0"	8'-0"	5'-0 5/8"	7'-8"	4'-8 7/8"
PARKADE	9'-0"	NA	9'-0 5/8"	NA	8'-8 7/8"



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SEAL: ABELARCHITECTURE
THOMAS C. ABELE, ARCHITECT O.A.A. T: 604.682.6818

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PROPERTY BOUNDARY & TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

PROJECT NAME:
TRINITY APARTMENTS

PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:
SITE ACCESSORIES

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

DRAWING #: A1.05
REV #: A



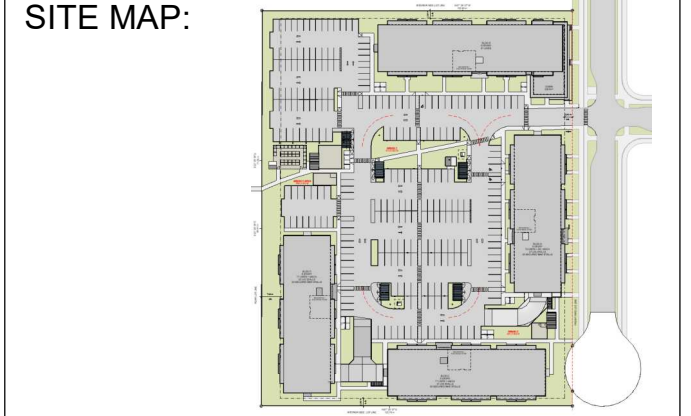
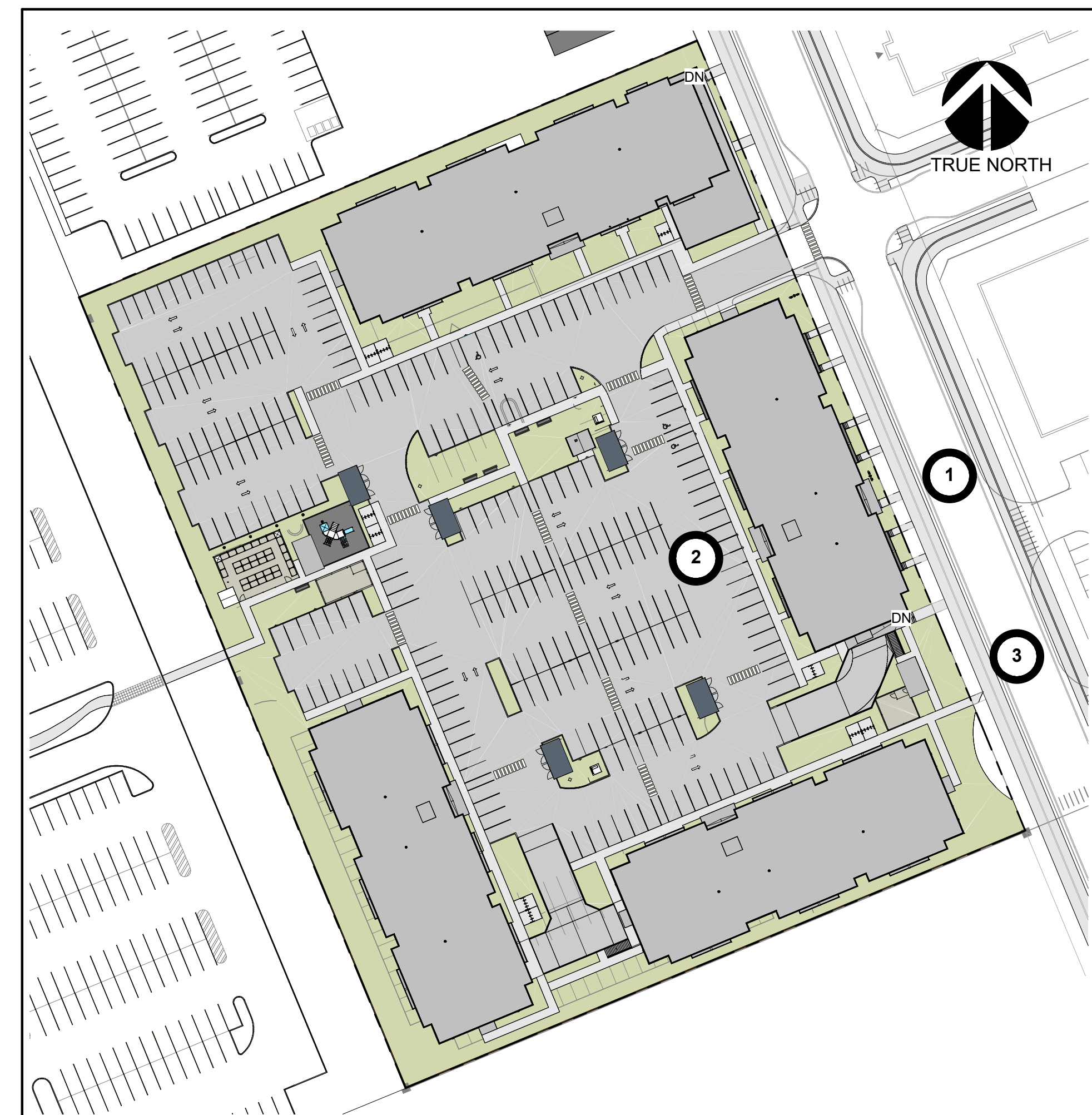
(1) BUILDING A - STREET SIDE ENTRANCE



(2) BUILDING A - PRINCIPAL ENTRANCE



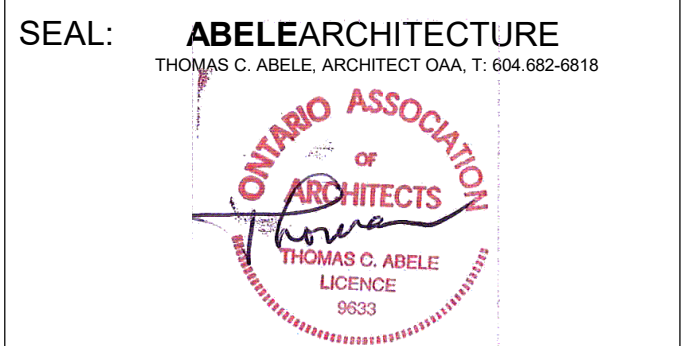
(3) WEST VIEW - LANDSCAPE / AMENITY / PARKING LOT



PROJECT STATUS:
ISSUED FOR PLAN CONTROL

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023



2023-09-15
TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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PROPERTY BOUNDARY & TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

PROJECT NAME:
TRINITY APARTMENTS

PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:
SITE PERSPECTIVE

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: 1/64" = 1'-0"

DRAWING #: **A1.07** REV #: **A**



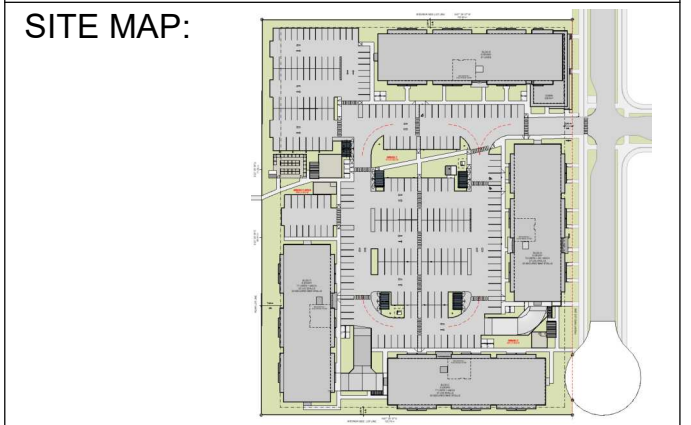
(1) BUILDING B - EAST SIDE COMMERCIAL ENTRANCES



(2) BUILDING B - PRINCIPAL ENTRANCE



(3) BUILDING C - PRINCIPAL ENTRANCE



PROJECT STATUS:
ISSUED FOR PLAN CONTROL

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE, ARCHITECT O.A.A. T. 604.682.8818

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PROJECT NAME:
TRINITY APARTMENTS

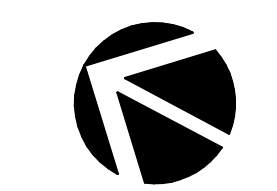
PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:
SITE PERSPECTIVE

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: 1/64" = 1'-0"

DRAWING #: **A1.08** REV #: **A**



PROJECT NORTH

SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELARCHITECTURE

THOMAS C. ABLE, ARCHITECT O.A.A. T: 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - PARKADE FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

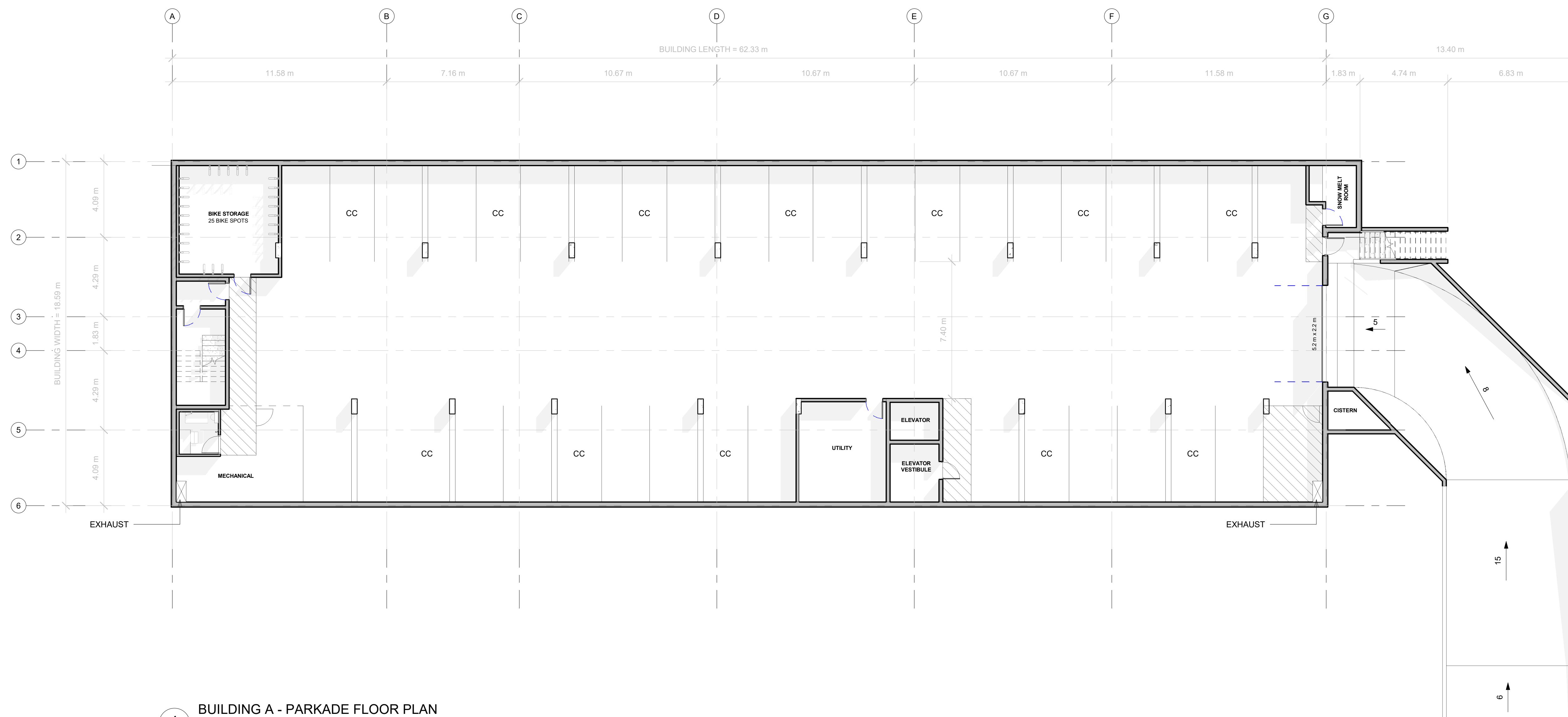
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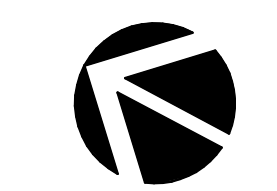
A2.00

REV #:

A



1 BUILDING A - PARKADE FLOOR PLAN
3/32" = 1'-0"



PROJECT NORTH

SITE MAP:



PROJECT STATUS:

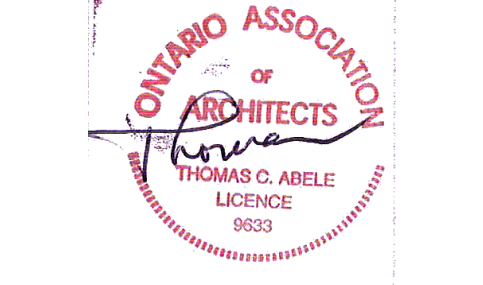
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELARCHITECTURE

THOMAS C. ABLE, ARCHITECT O.A.A. T: 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - FIRST FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

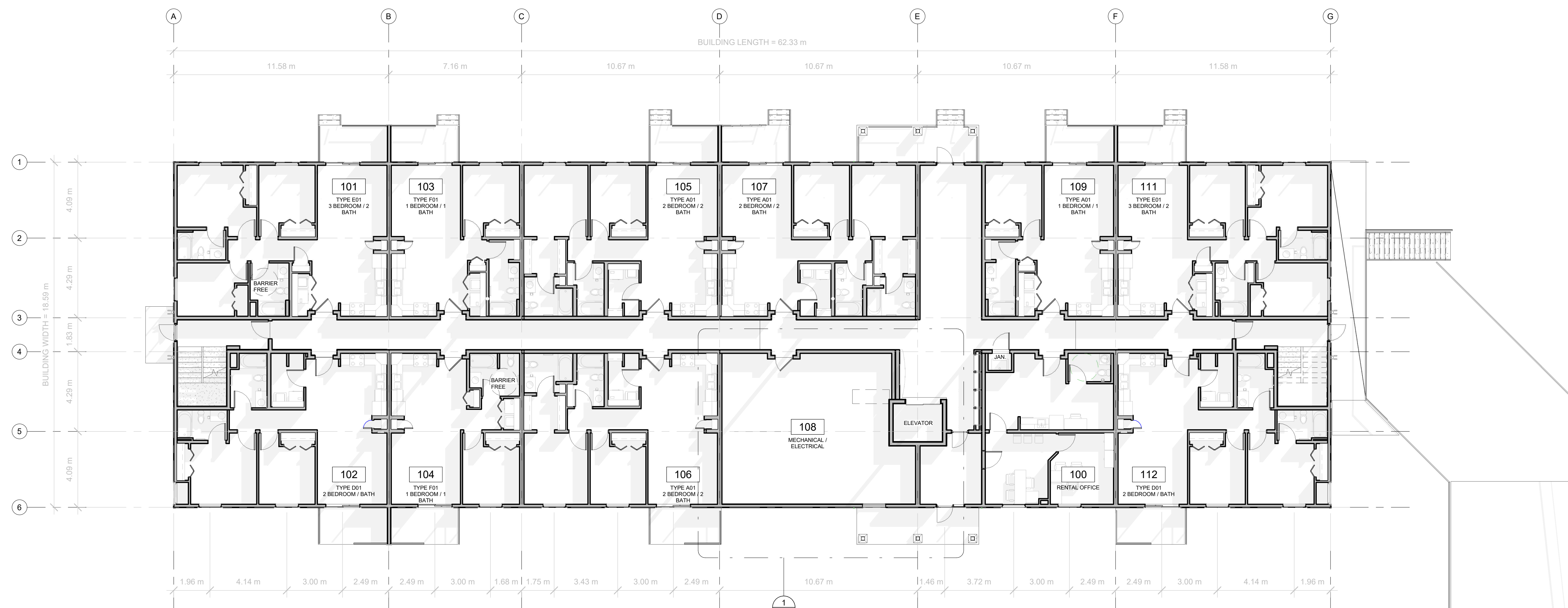
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DRAWING #:

A2.01

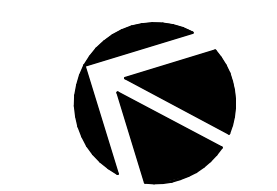
REV #:

A



1 BUILDING A - FLOOR PLAN - LEVEL 1
3/32" = 1'-0"

TOTAL FLOOR AREA = 1158.92M²



PROJECT NORTH



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELARCHITECTURE

THOMAS C. ABLE, ARCHITECT CAA, T. 604.682.6818



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PROJECT NAME: TRINITY APARTMENTS

PROJECT NUMBER: VP 2213

ADDRESS: 4200 INNES ROAD OTTAWA, ONTARIO

DRAWING TITLE: BUILDING A - SECOND / THIRD FLOOR PLAN

DRAWN BY: EC

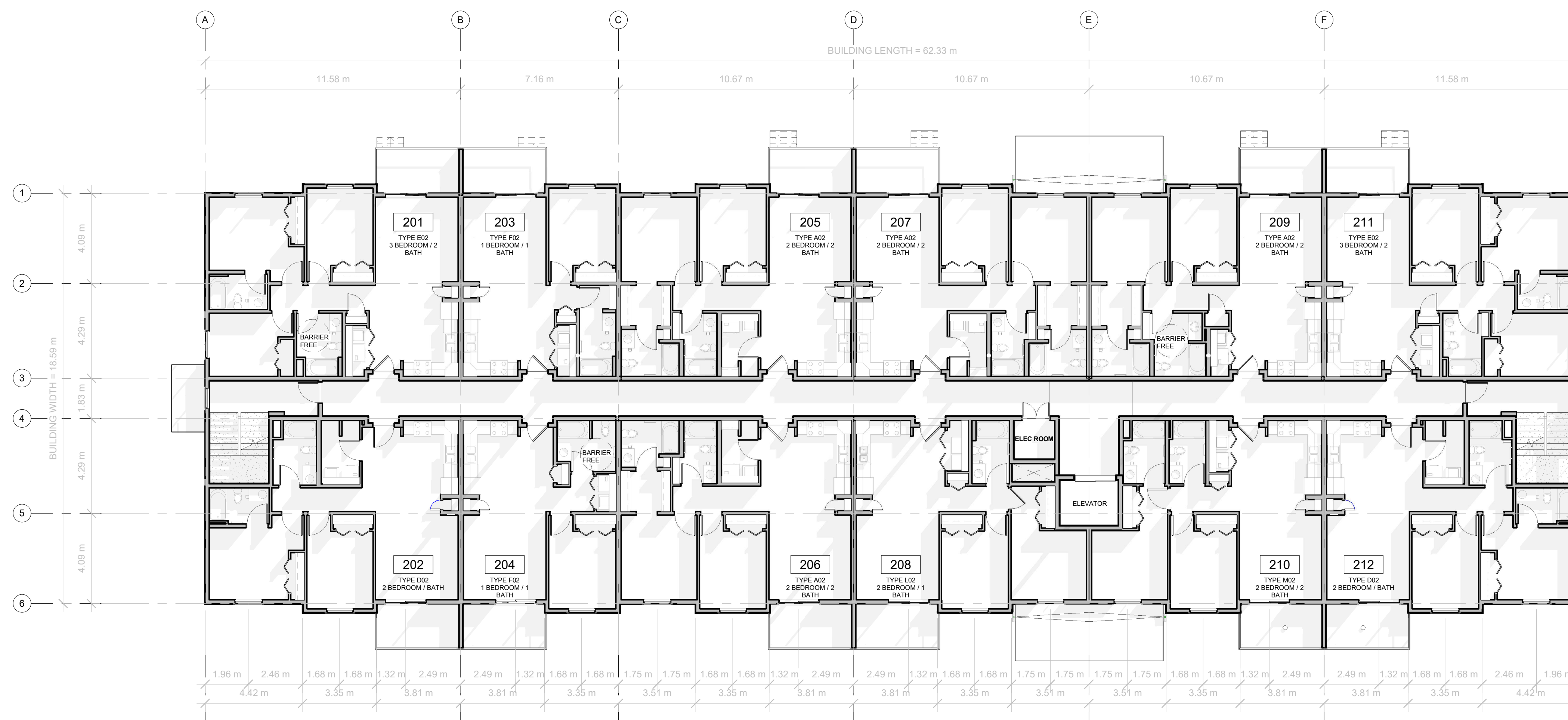
CHECKED BY: CG

DATE: SEPT 15, 2023

SCALE: As indicated

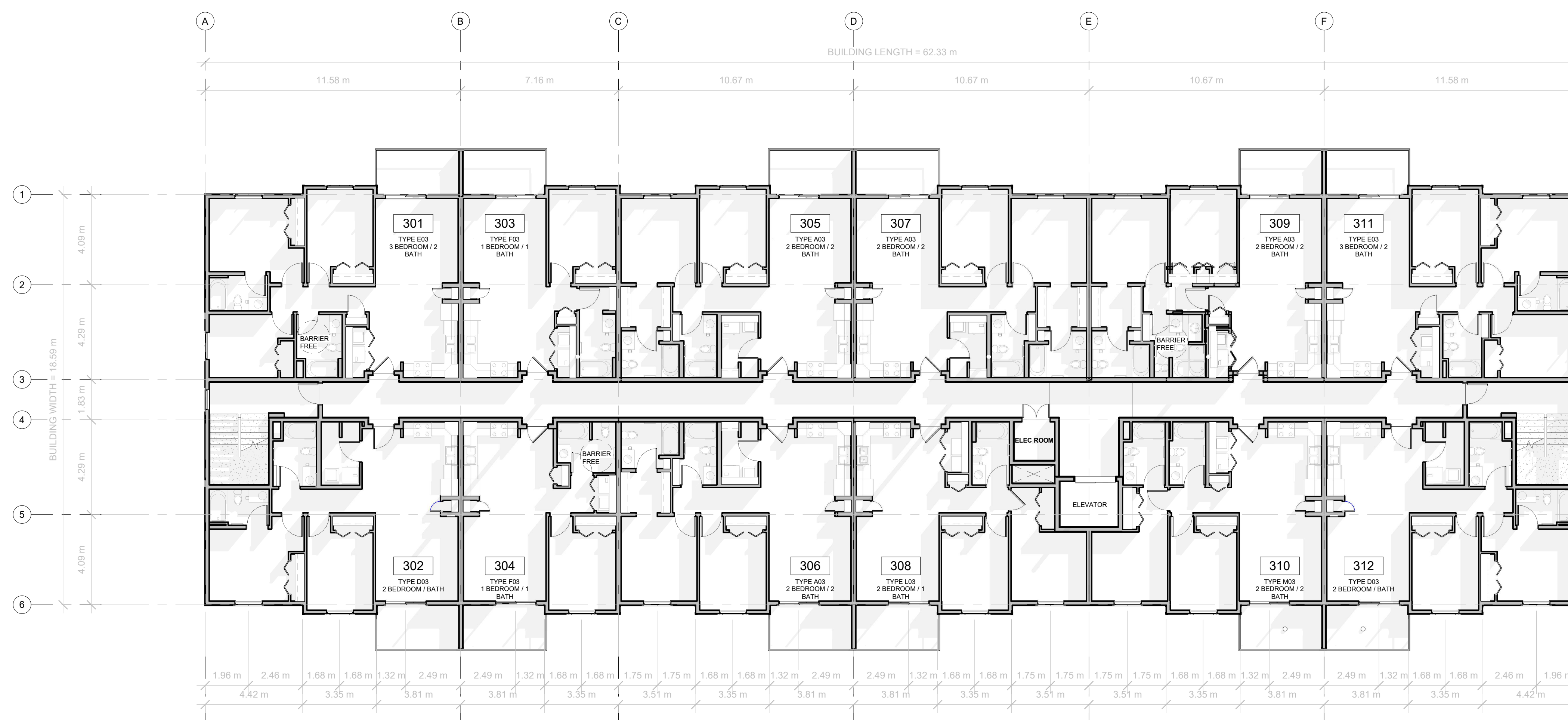
DRAWING #: REV #:

A2.02



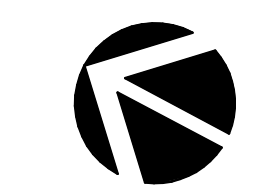
1 BUILDING A - FLOOR PLAN - LEVEL 2
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



2 BUILDING A - FLOOR PLAN - LEVEL 3
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



PROJECT NORTH

SITE MAP:



PROJECT STATUS:

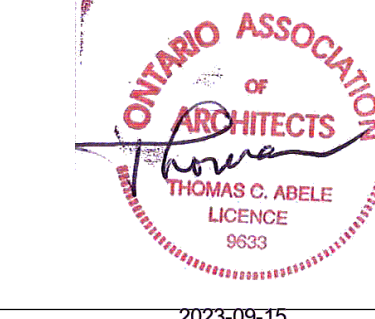
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL:

ABELEARCHITECTURE
THOMAS C. ABELE, ARCHITECT O.A.A. T: 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - FOURTH / FIFTH FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

SCALE: As indicated

DRAWING #:

A2.03

REV #:

A



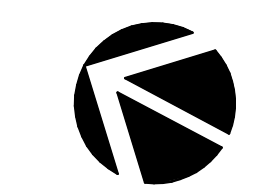
1 BUILDING A - FLOOR PLAN - LEVEL 4
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



2 BUILDING A - FLOOR PLAN - LEVEL 5
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



PROJECT NORTH

SITE MAP:



PROJECT STATUS:

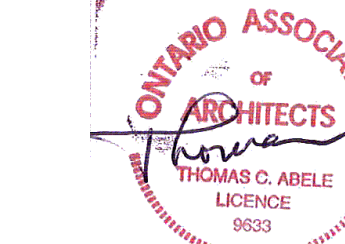
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELEARCHITECTURE

THOMAS C. ABLE, ARCHITECT C.A.A. T. 604.682-6818



2023-09-15

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - SIXTH / ROOF PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

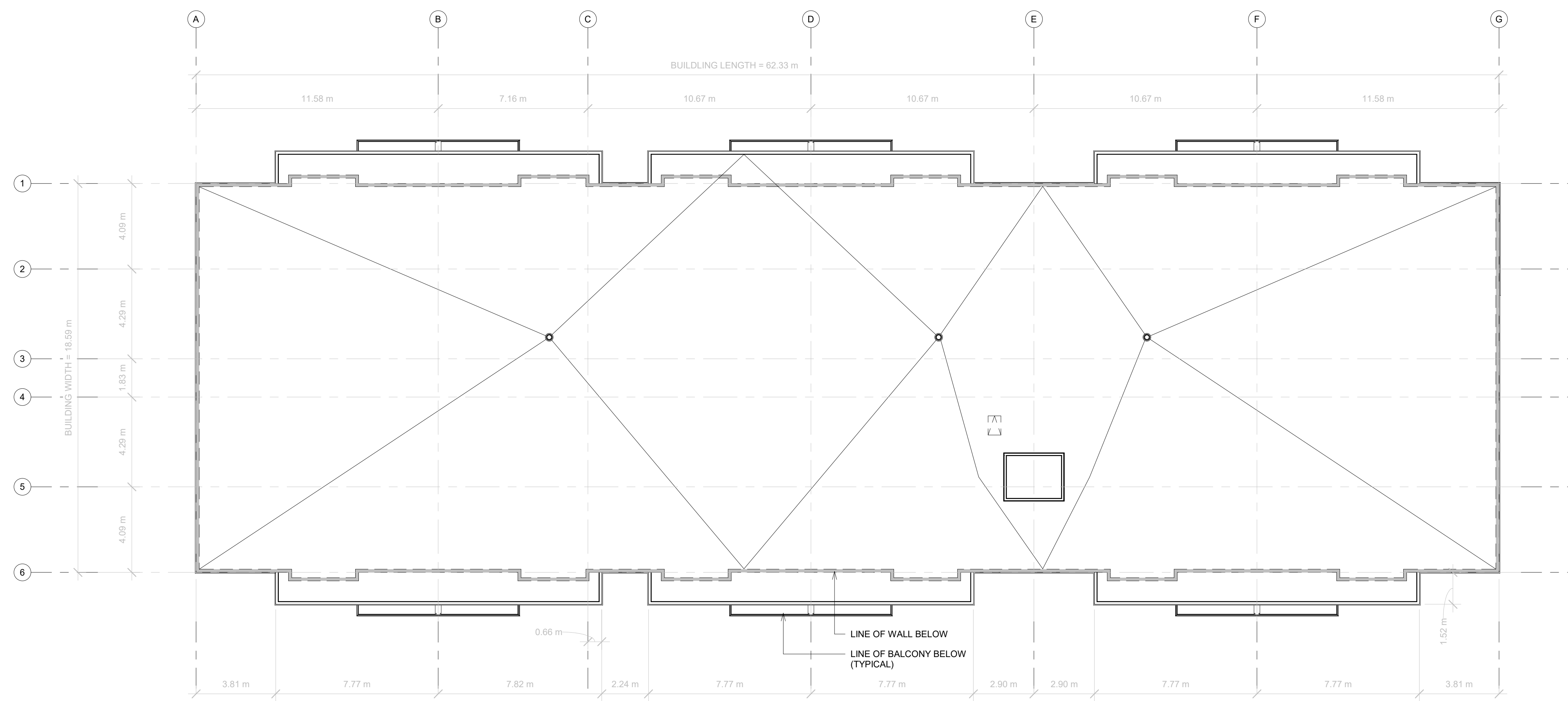
SCALE: As indicated

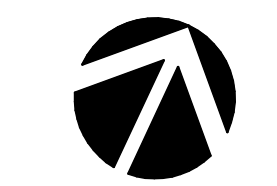
DRAWING #:

A2.04

REV #:

A





PROJECT NORTH

SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELARCHITECTURE

THOMAS C. ABELLE, ARCHITECT C.A.A. T: 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING B - FIRST FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

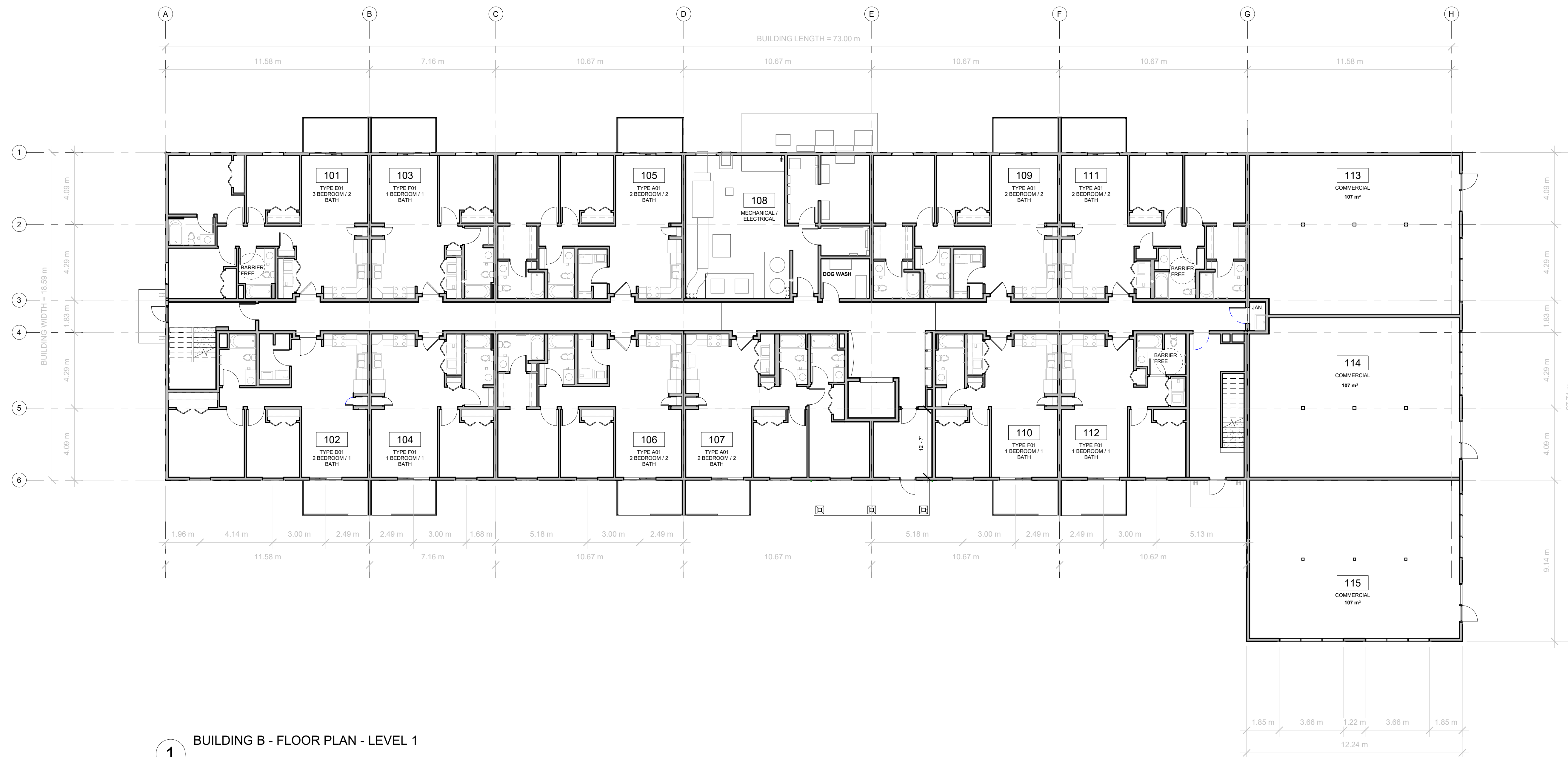
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DRAWING #:

A2.05

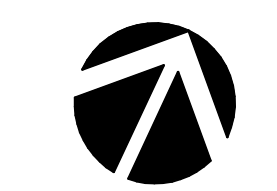
REV #:

A



1 BUILDING B - FLOOR PLAN - LEVEL 1
3/32" = 1'-0"

TOTAL FLOOR AREA = 1480.55M²



PROJECT NORTH

SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELARCHITECTURE

THOMAS C. ABLE, ARCHITECT OAA, T: 604.682.6818



2023-09-15

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING B - SECOND / THIRD FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

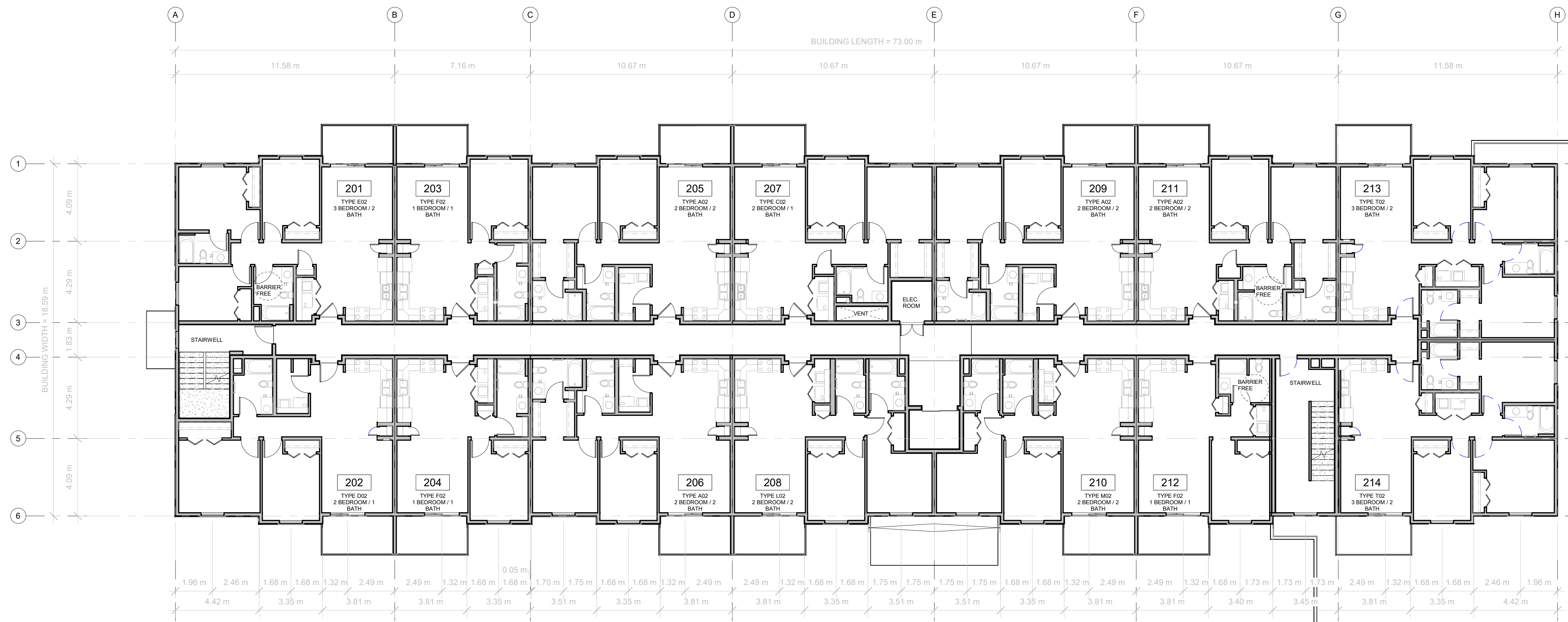
SCALE: As indicated

DRAWING #:

A2.06

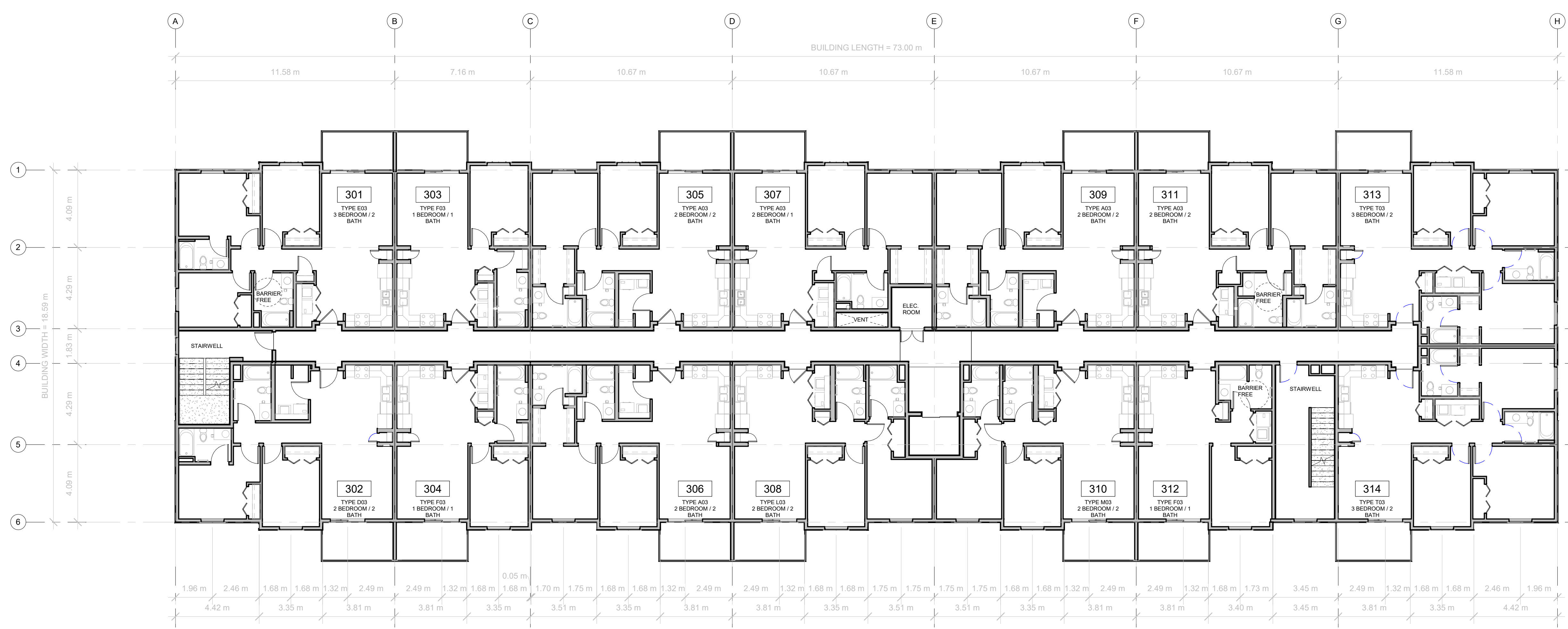
REV #:

A



1 BUILDING B - FLOOR PLAN - LEVEL 2
3/32" = 1'-0"

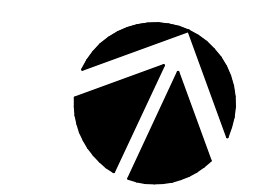
TOTAL FLOOR AREA = 1376.34M²



2 BUILDING B - FLOOR PLAN - LEVEL 3
3/32" = 1'-0"

TOTAL FLOOR AREA = 1376.34M²

09/06/2023 8:33:27 AM



PROJECT NORTH

SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELEARCHITECTURE
THOMAS C. ABLE, ARCHITECT OAA, T. 604.682.6818



TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY. FOR CLARIFICATION AND/OR CONFIRMATION, DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING B - FOURTH / FIFTH FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

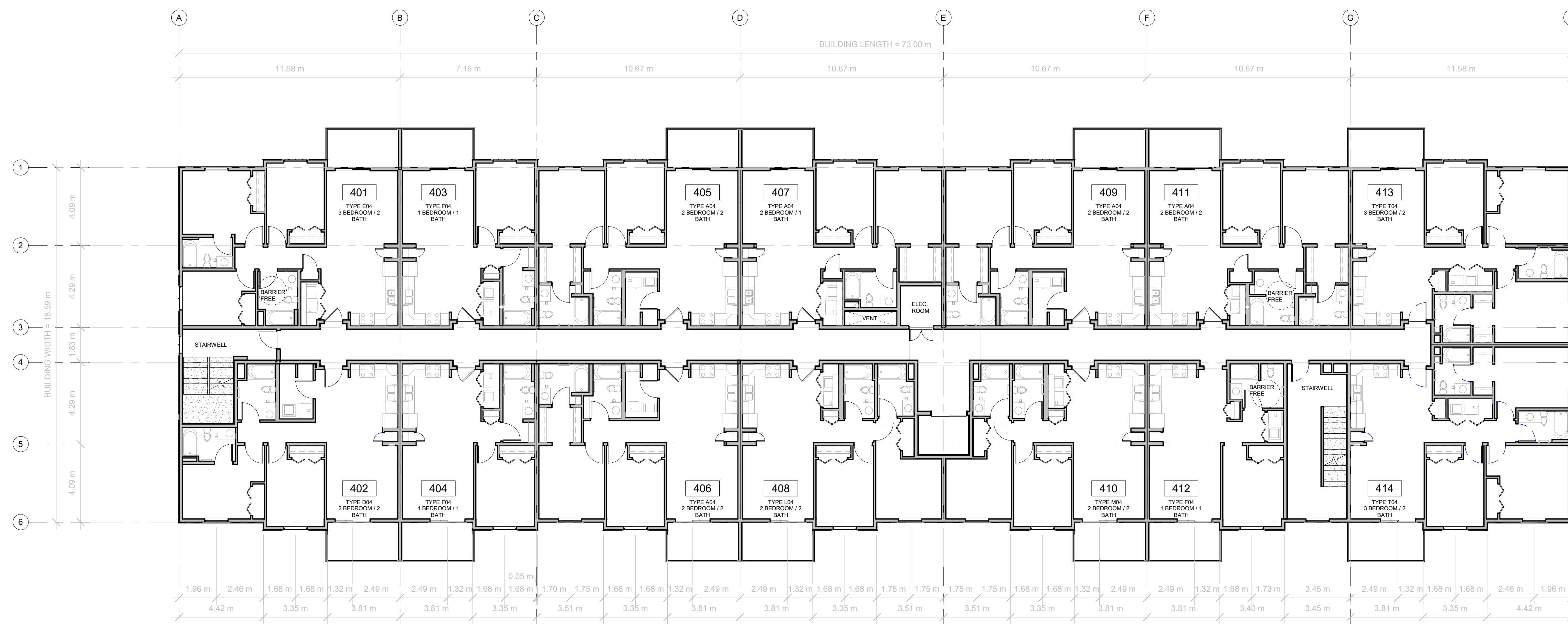
DATE: SEPT 15, 2023

SCALE: As indicated

DRAWING #:

A2.07

REV #:



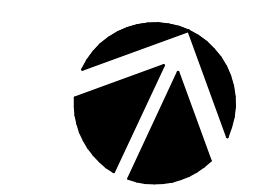
1 BUILDING B - FLOOR PLAN - LEVEL 4
3/32" = 1'-0"

TOTAL FLOOR AREA = 1376.34M²



2 BUILDING B - FLOOR PLAN - LEVEL 5
3/32" = 1'-0"

TOTAL FLOOR AREA = 1376.34M²



PROJECT NORTH

SITE MAP:



PROJECT STATUS:
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE, ARCHITECT OAA, T: 604.682-6818



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PROJECT NAME:
TRINITY APARTMENTS

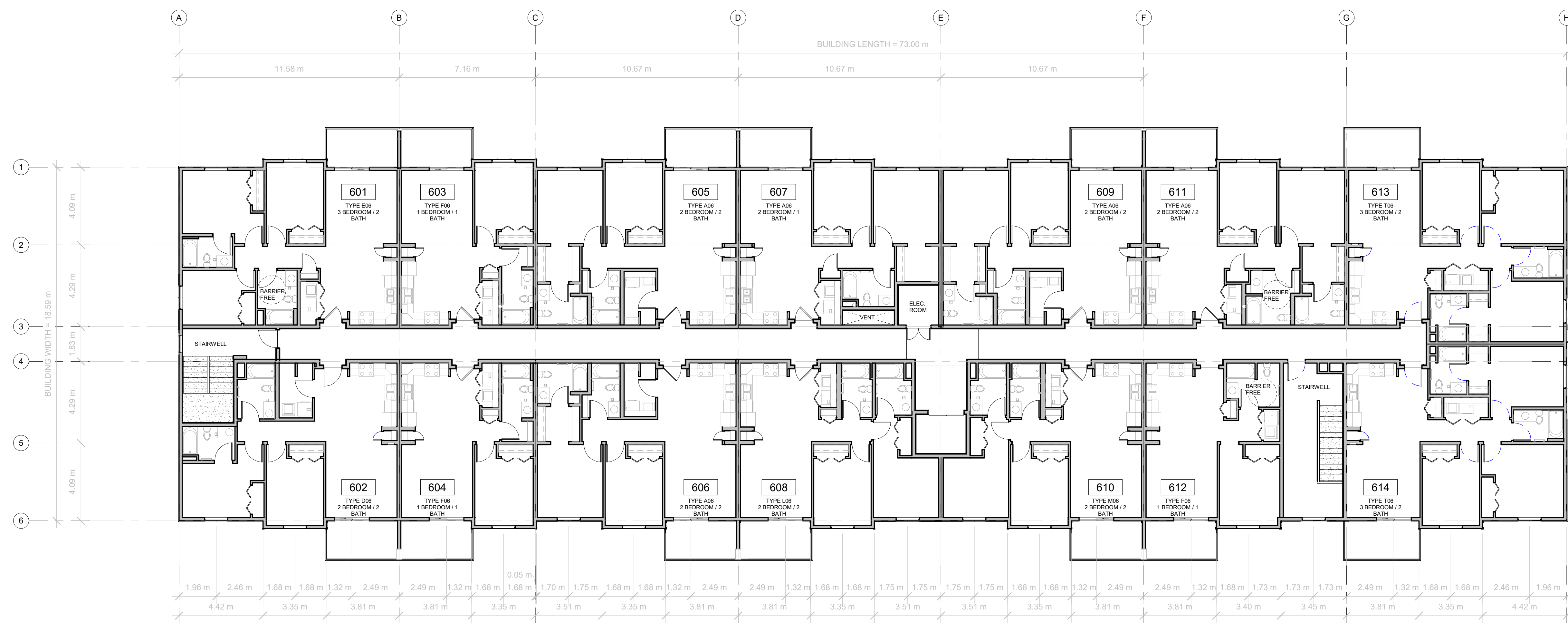
PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:
BUILDING B - SIXTH / ROOF FLOOR PLAN

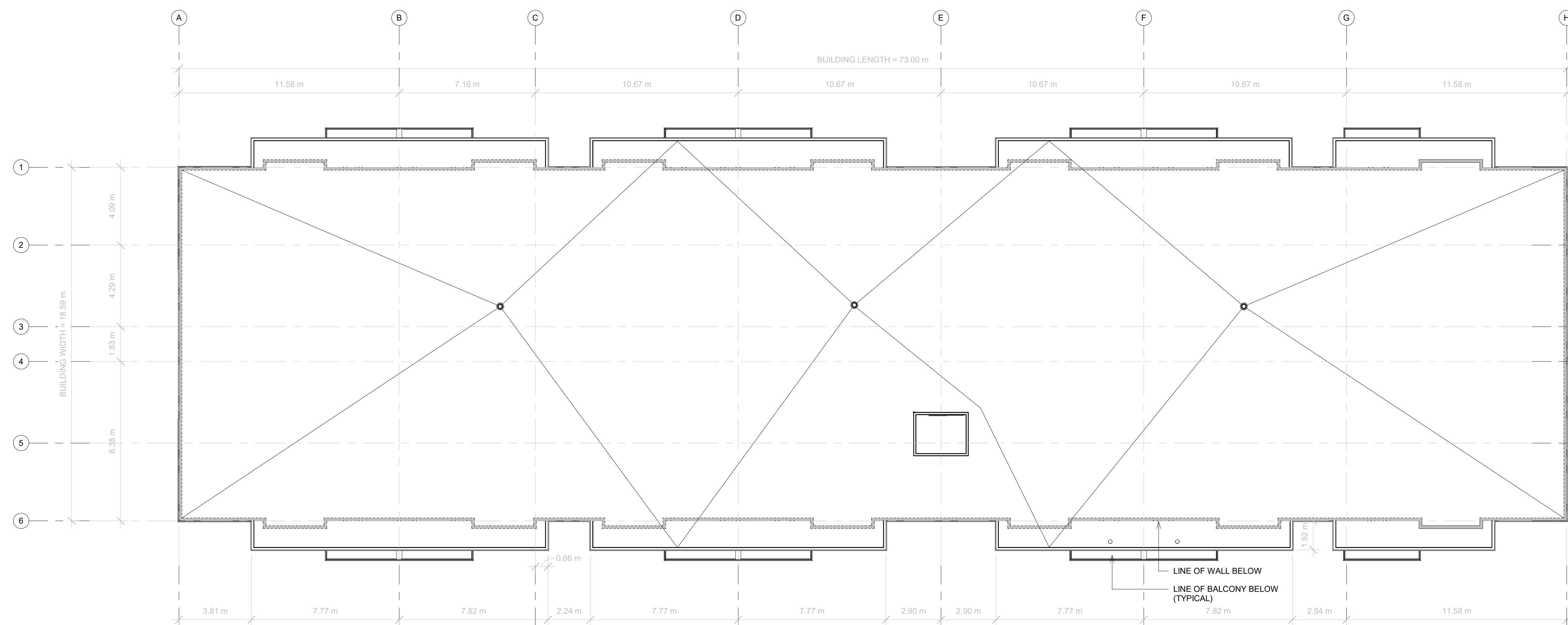
DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

DRAWING #: **A2.08** REV #:
A

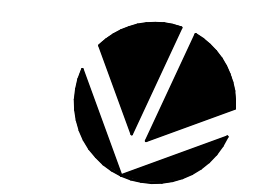


1 BUILDING B - FLOOR PLAN - LEVEL 6
3/32" = 1'-0"

TOTAL FLOOR AREA = 1376.34M²



2 ROOF PLAN
3/32" = 1'-0"



PROJECT NORTH

SITE MAP:



PROJECT STATUS:

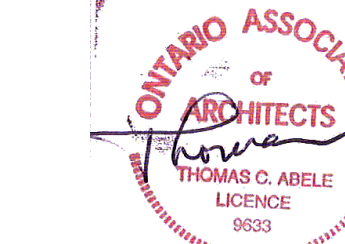
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELARCHITECTURE

THOMAS C. ABELLE, ARCHITECT CAA, T: 604.682-6818



2023-09-15

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING C - PARKADE FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

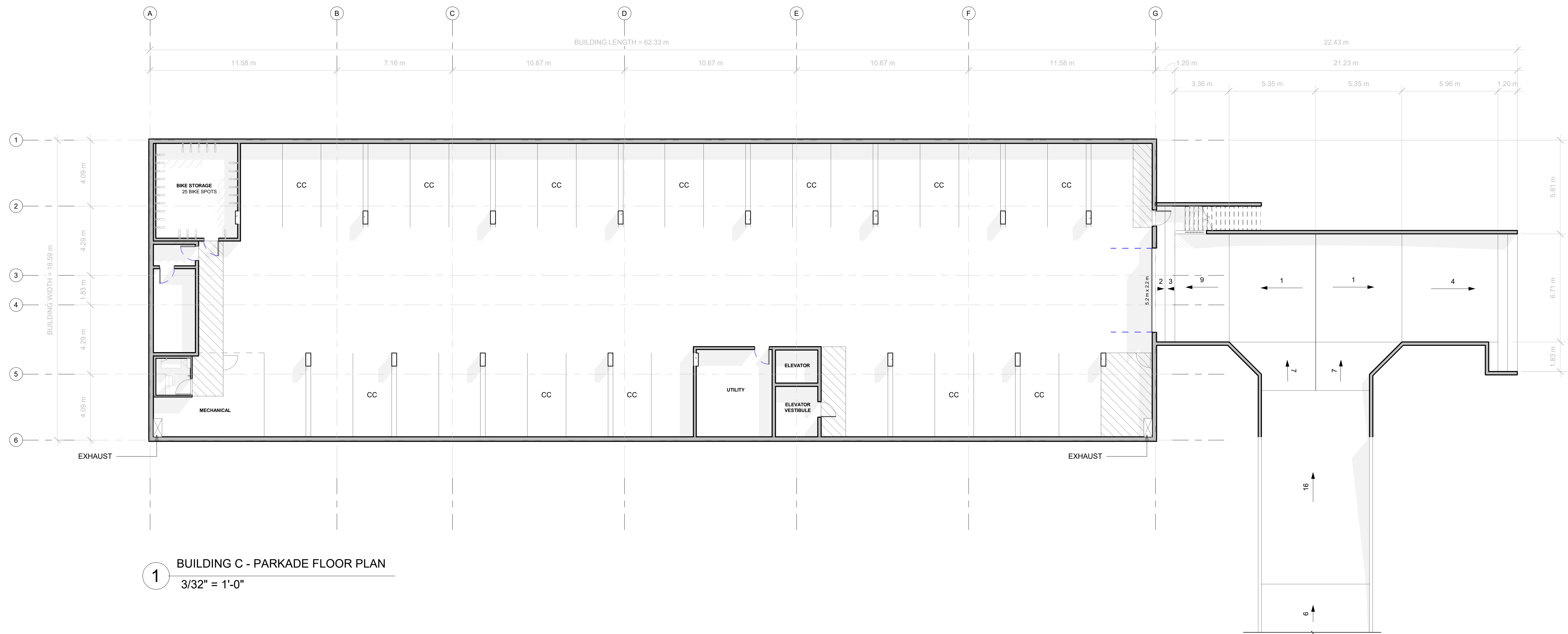
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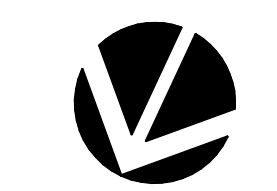
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REV #:

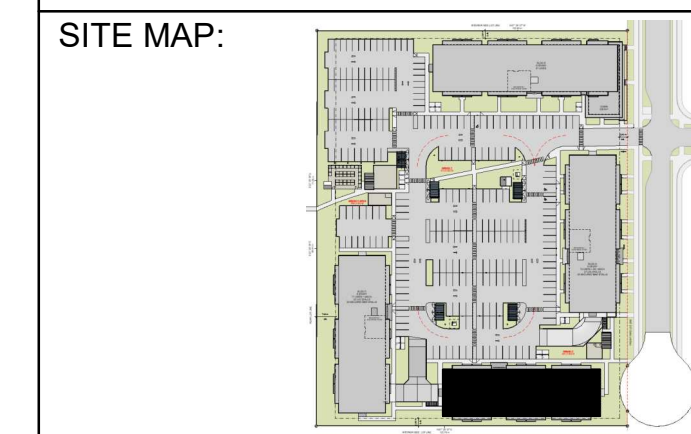
A



1 BUILDING C - PARKADE FLOOR PLAN
3/32" = 1'-0"



PROJECT NORTH



PROJECT STATUS:
ISSUED FOR SITE CONTROL PLAN

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE, ARCHITECT C.O.A. T. 604.682.6818

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PROJECT NAME:
TRINITY APARTMENTS

PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:
BUILDING C - SECOND / THIRD FLOOR PLAN

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

DRAWING #: **A2.11** REV #: **A**



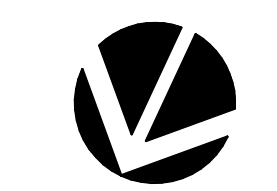
1 BUILDING C - FLOOR PLAN - LEVEL 2
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



2 BUILDING C - FLOOR PLAN - LEVEL 3
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



PROJECT NORTH

SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE, ARCHITECT C.A.A. T. 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING C - FOURTH / FIFTH FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

SCALE: As indicated

DRAWING #:

A2.12

REV #:

A



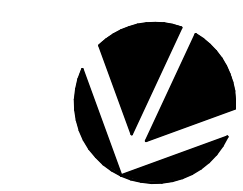
1 BUILDING C - FLOOR PLAN - LEVEL 4
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



2 BUILDING C - FLOOR PLAN - LEVEL 5
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



PROJECT NORTH

SITE MAP:



PROJECT STATUS:

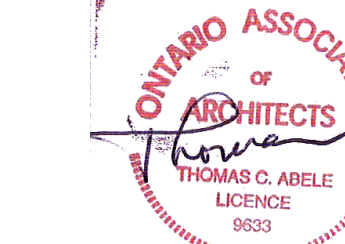
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELEARCHITECTURE

THOMAS C. ABLE, ARCHITECT O.A.A. T: 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING C - SIXTH / ROOF FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

SCALE: As indicated

DRAWING #:

A2.13

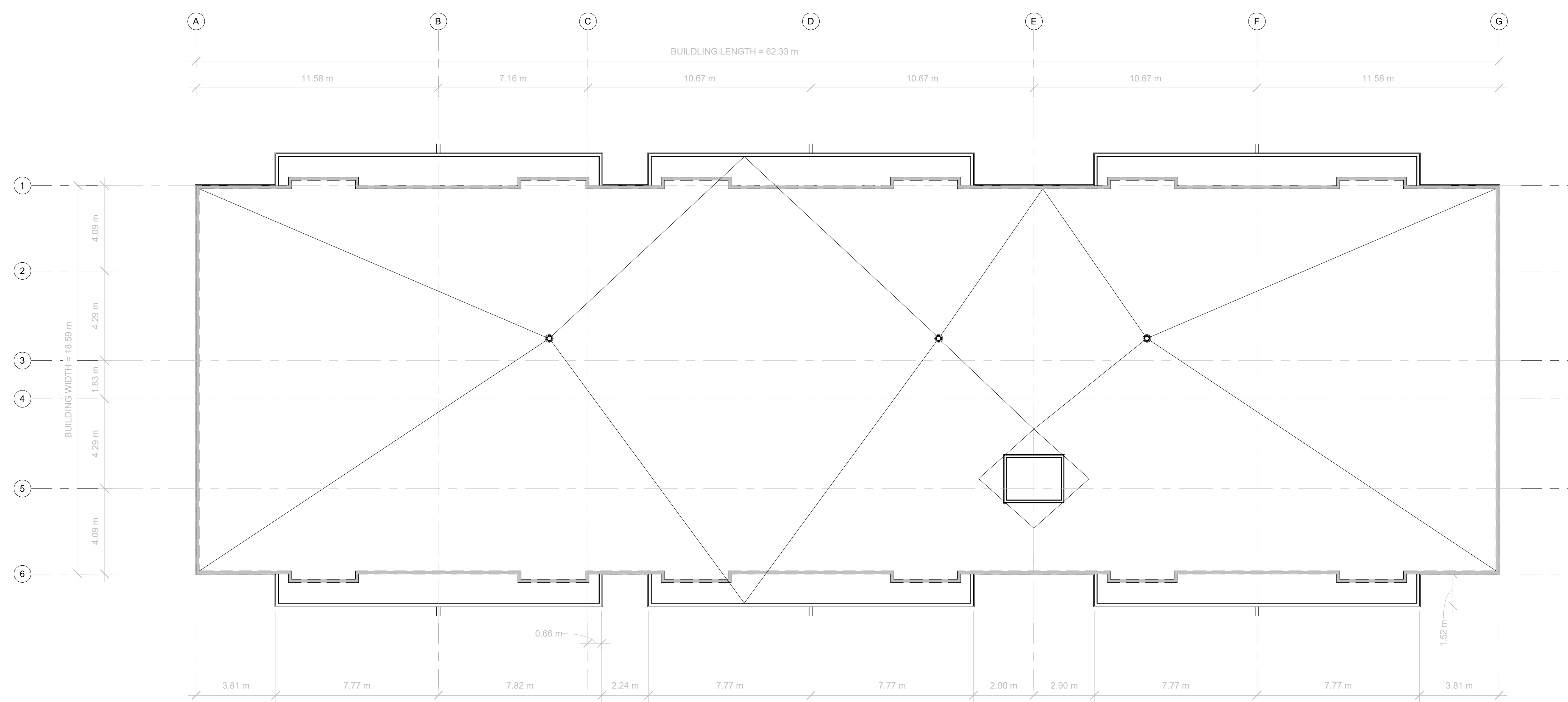
REV #:

A

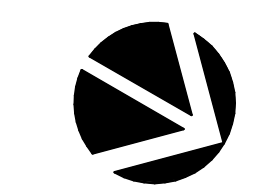


1 BUILDING C - FLOOR PLAN - LEVEL 6
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



2 BUILDING C - ROOF PLAN
3/32" = 1'-0"



PROJECT NORTH

SITE MAP:



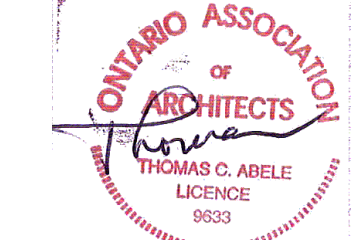
PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELARCHITECTURE
THOMAS G. ABELLE, ARCHITECT C.A.A. T. 604.682-6818



2023-09-15

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ROAD

DRAWING TITLE:

BUILDING D - PARKADE FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

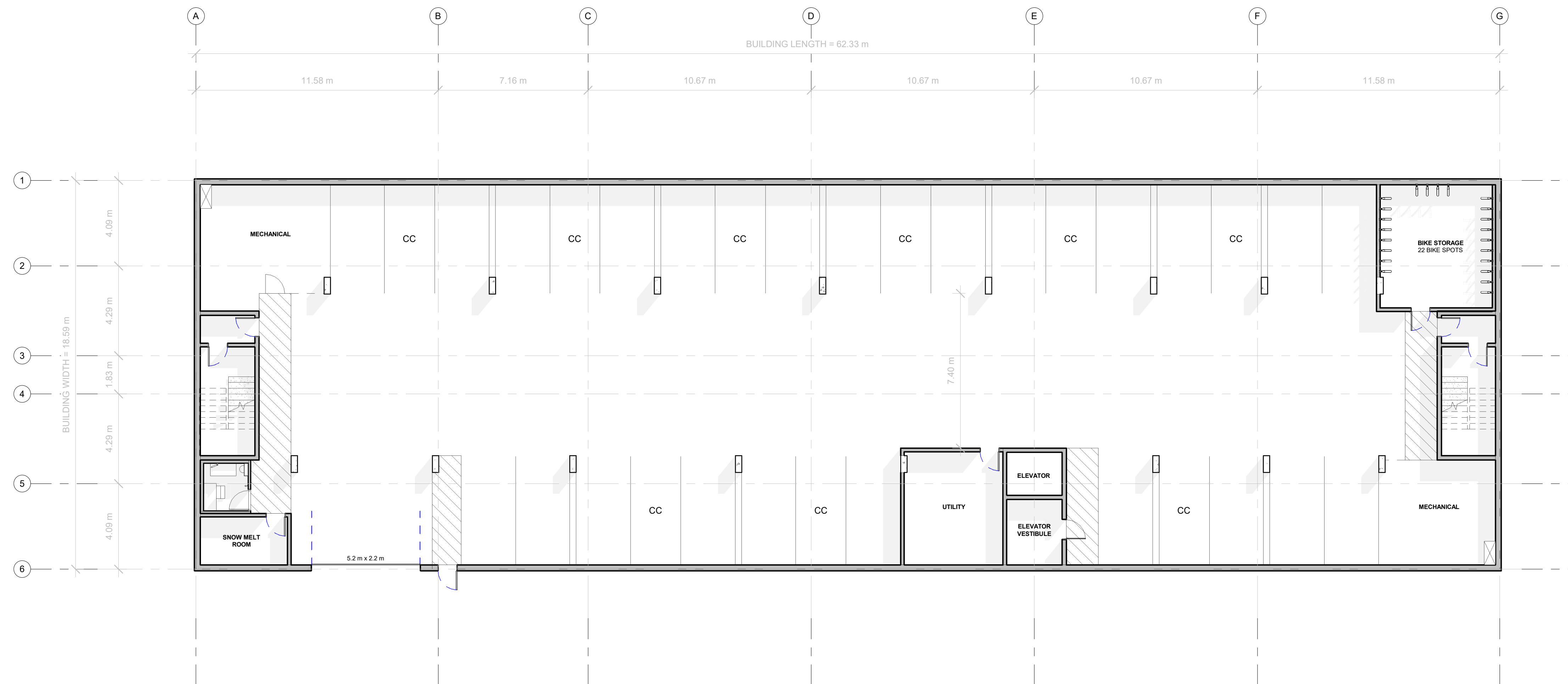
SCALE: As indicated

DRAWING #:

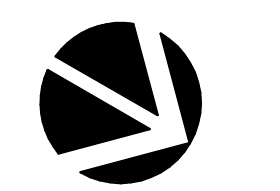
A2.14

REV #:

A



1 BUILDING D - PARKADE FLOOR PLAN
3/32" = 1'-0"



PROJECT NORTH

SITE MAP:

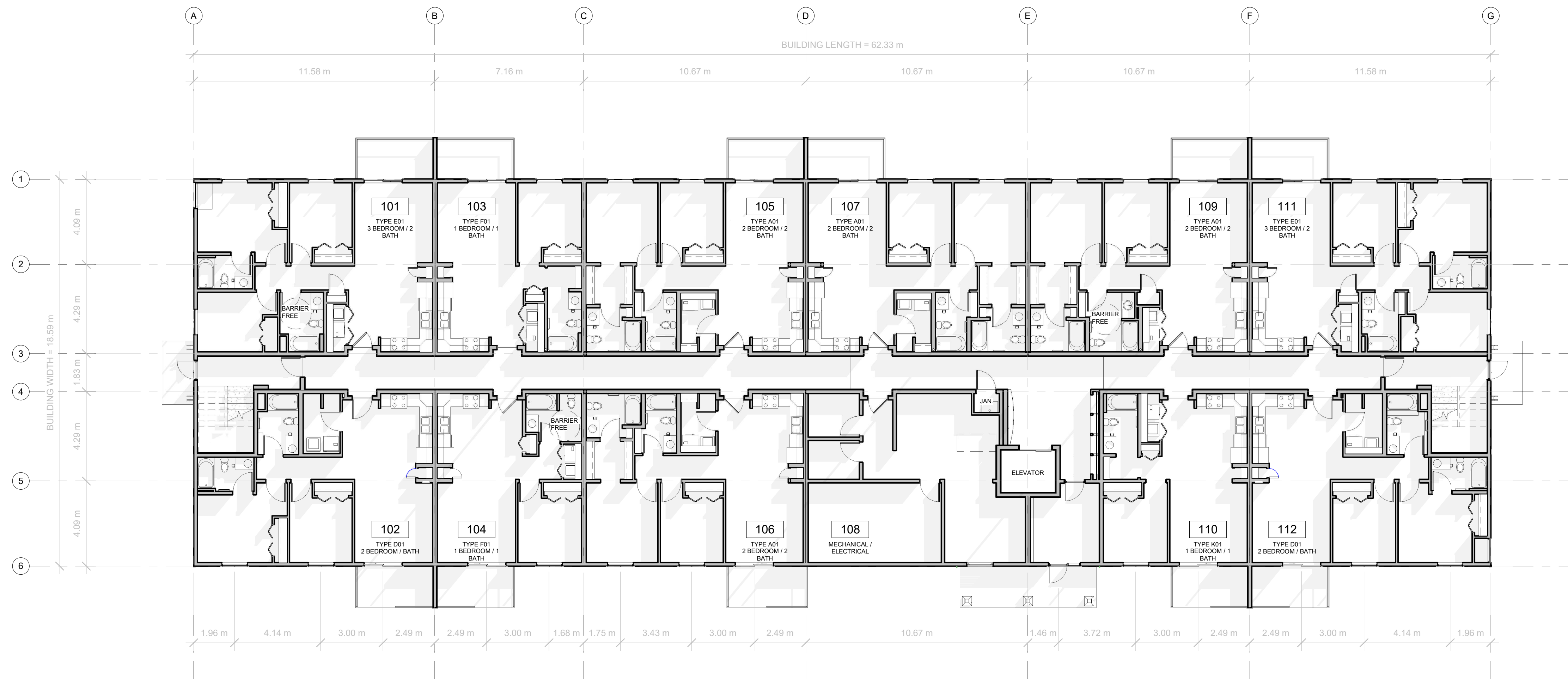


PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

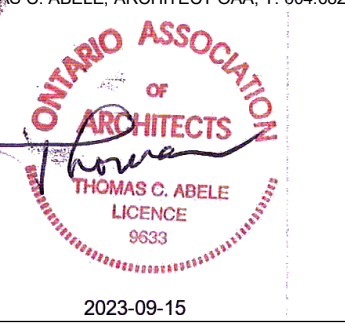
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023



1 BUILDING D - FLOOR PLAN - LEVEL 1
3/32" = 1'-0"

TOTAL FLOOR AREA = 1158.92M²

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE, ARCHITECT O.A.A. T: 604.682-6818



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PROJECT NAME: TRINITY APARTMENTS

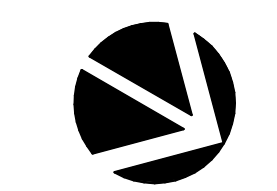
PROJECT NUMBER: VP 2213

ADDRESS: 4200 INNES ROAD OTTAWA, ROAD

DRAWING TITLE: BUILDING D - FIRST FLOOR PLAN

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

DRAWING #: **A2.15** REV #: **A**



PROJECT NORTH

SITE MAP:



PROJECT STATUS:
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: **ABELEARCHITECTURE**
THOMAS G. ABELE, ARCHITECT CAA, T: 604.682-6818



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PROJECT NAME: TRINITY APARTMENTS

PROJECT NUMBER: VP 2213

ADDRESS: 4200 INNES ROAD OTTAWA, ROAD

DRAWING TITLE: BUILDING D - SECOND / THIRD FLOOR PLAN

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

DRAWING #: **A2.16** REV #: **A**



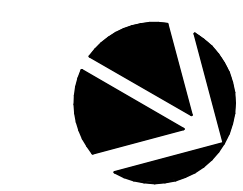
1 BUILDING D - FLOOR PLAN - LEVEL 2
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



2 BUILDING D - FLOOR PLAN - LEVEL 3
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



PROJECT NORTH

SITE MAP:



PROJECT STATUS:

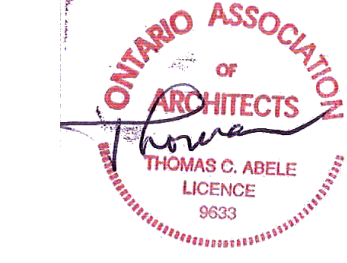
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: ABELEARCHITECTURE

THOMAS C. ABLE, ARCHITECT GAA, T: 604.682-6818



2023-09-15

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ROAD

DRAWING TITLE:

BUILDING D - FOURTH / FIFTH FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

SCALE: As indicated

DRAWING #:

A2.17

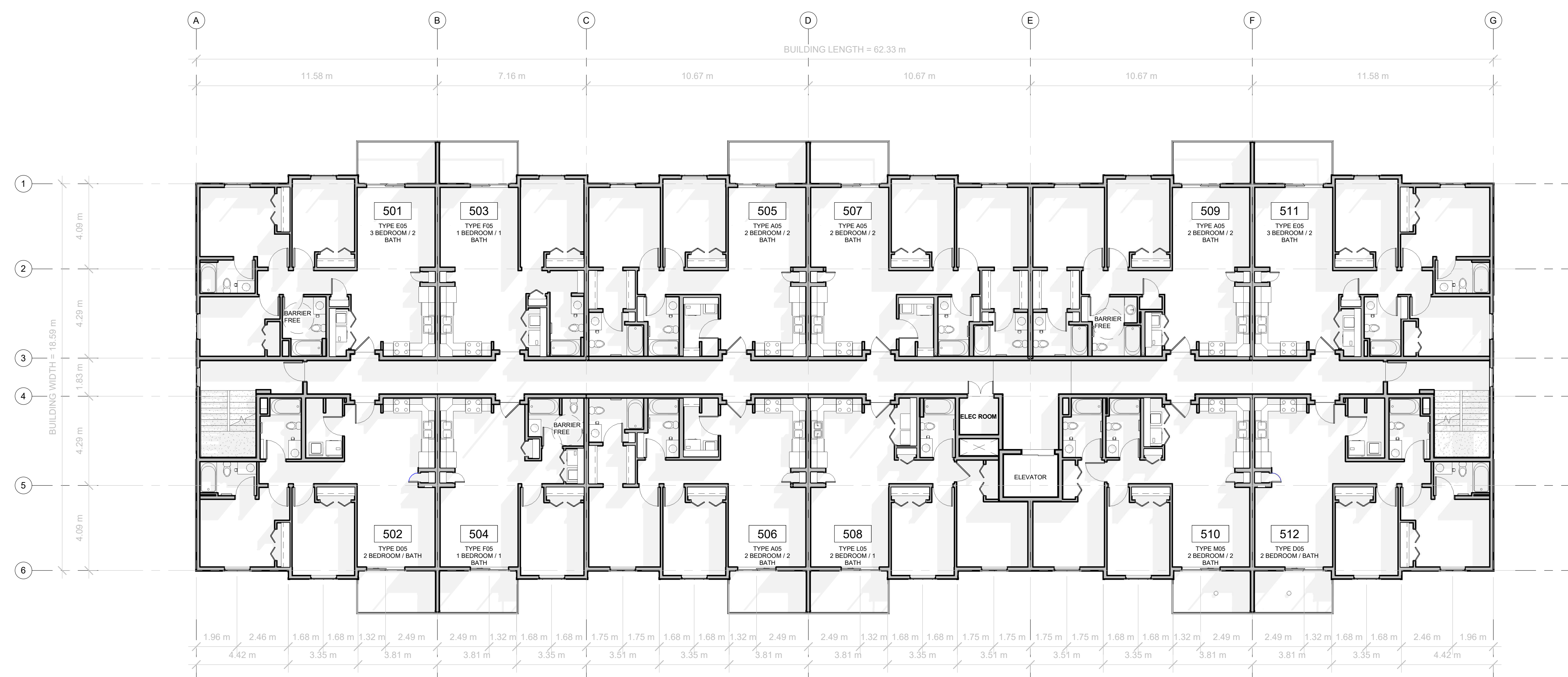
REV #:

A



1 BUILDING D - FLOOR PLAN - LEVEL 4
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



2 BUILDING D - FLOOR PLAN - LEVEL 5
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



PROJECT NORTH

SITE MAP:



PROJECT STATUS:
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE, ARCHITECT C.O.A. T. 604.682.6818



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PROJECT NAME:
TRINITY APARTMENTS

PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ROAD

DRAWING TITLE:
BUILDING D - SIXTH / ROOF PLAN

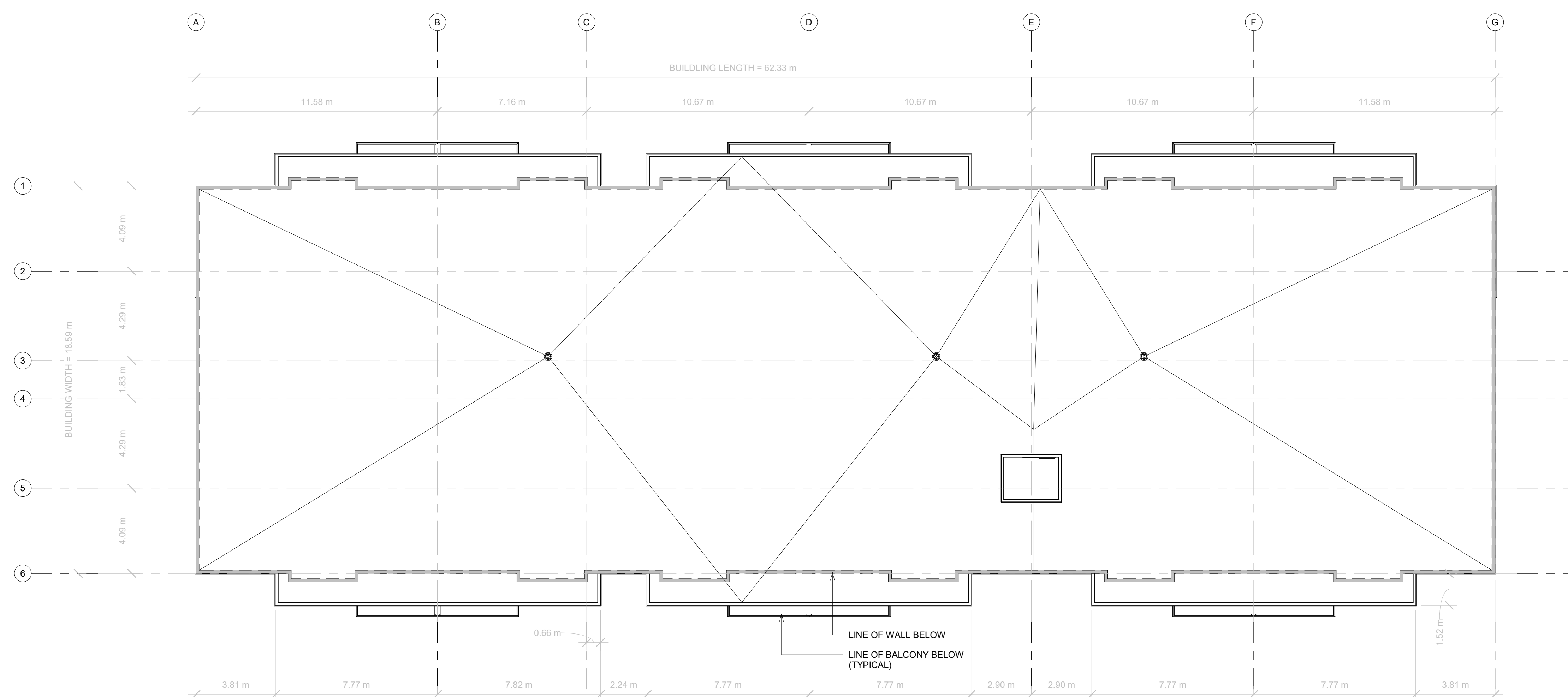
DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

DRAWING #: **A2.18** REV #: **A**



1 BUILDING D - FLOOR PLAN - LEVEL 6
3/32" = 1'-0"

TOTAL FLOOR AREA = 1175.25M²



2 BUILDING D - ROOF PLAN
3/32" = 1'-0"

SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - ELEVATION

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

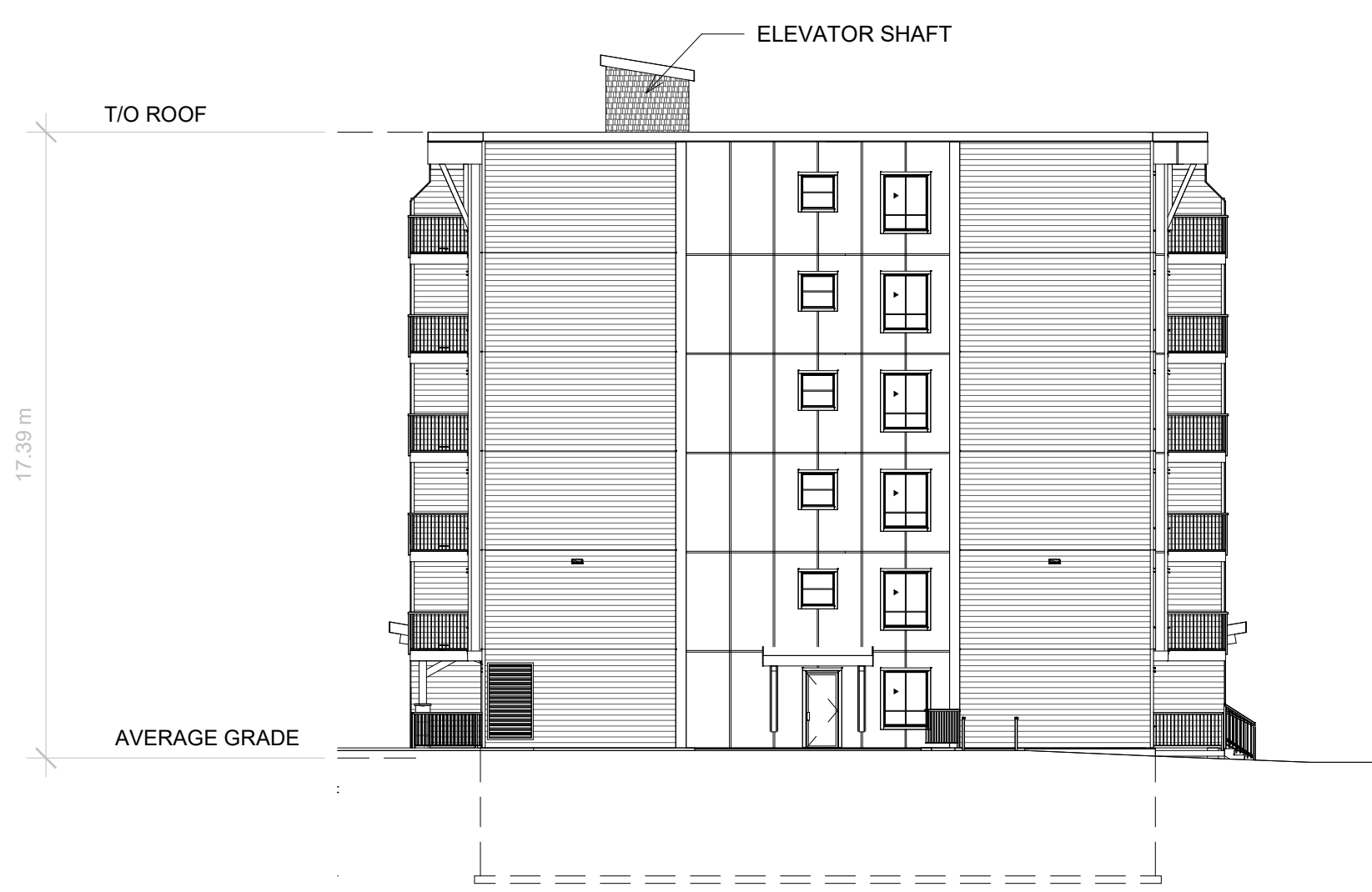
SCALE: As indicated

DRAWING #:

A3.00

REV #:

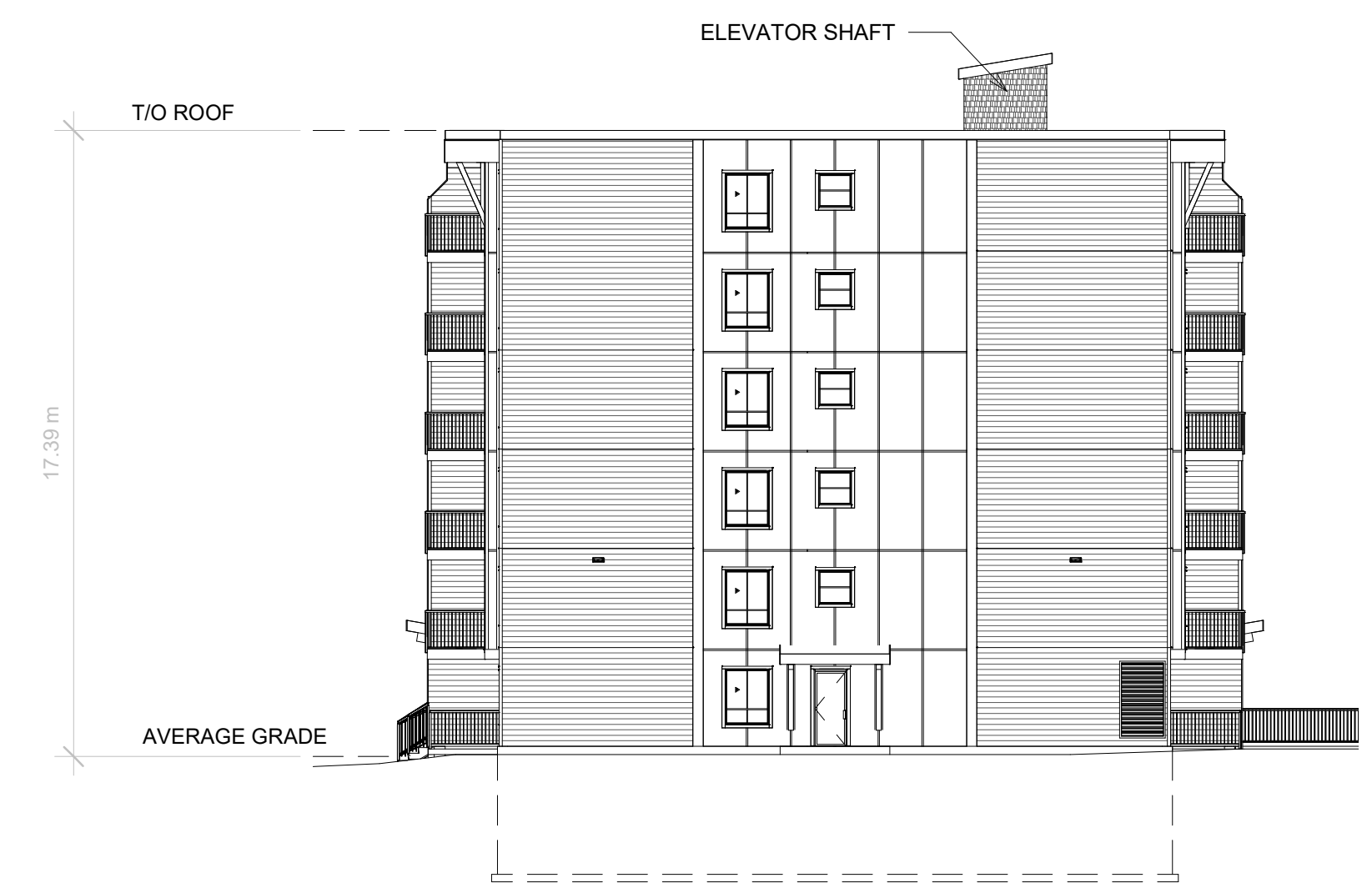
A



1 NORTH ELEVATION
1 : 175



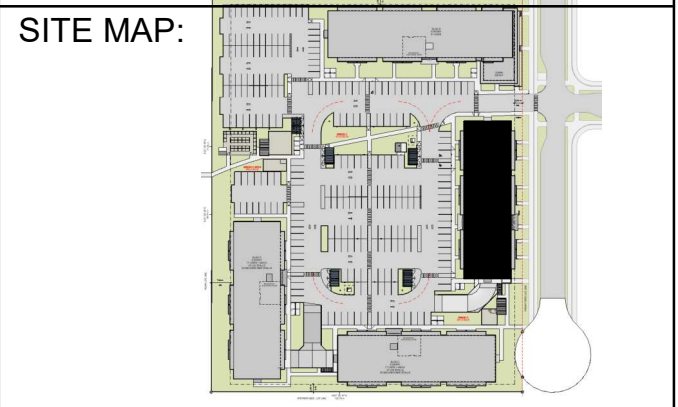
2 EAST ELEVATION
1 : 175



3 SOUTH ELEVATION
1 : 175



4 WEST ELEVATION
1 : 175



PROJECT STATUS:
ISSUED FOR SITE CONTROL PLAN

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

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THOMAS C. ABELE, ARCHITECT C.M.A. T. 604.682-6818



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PROJECT NAME:
TRINITY APARTMENTS

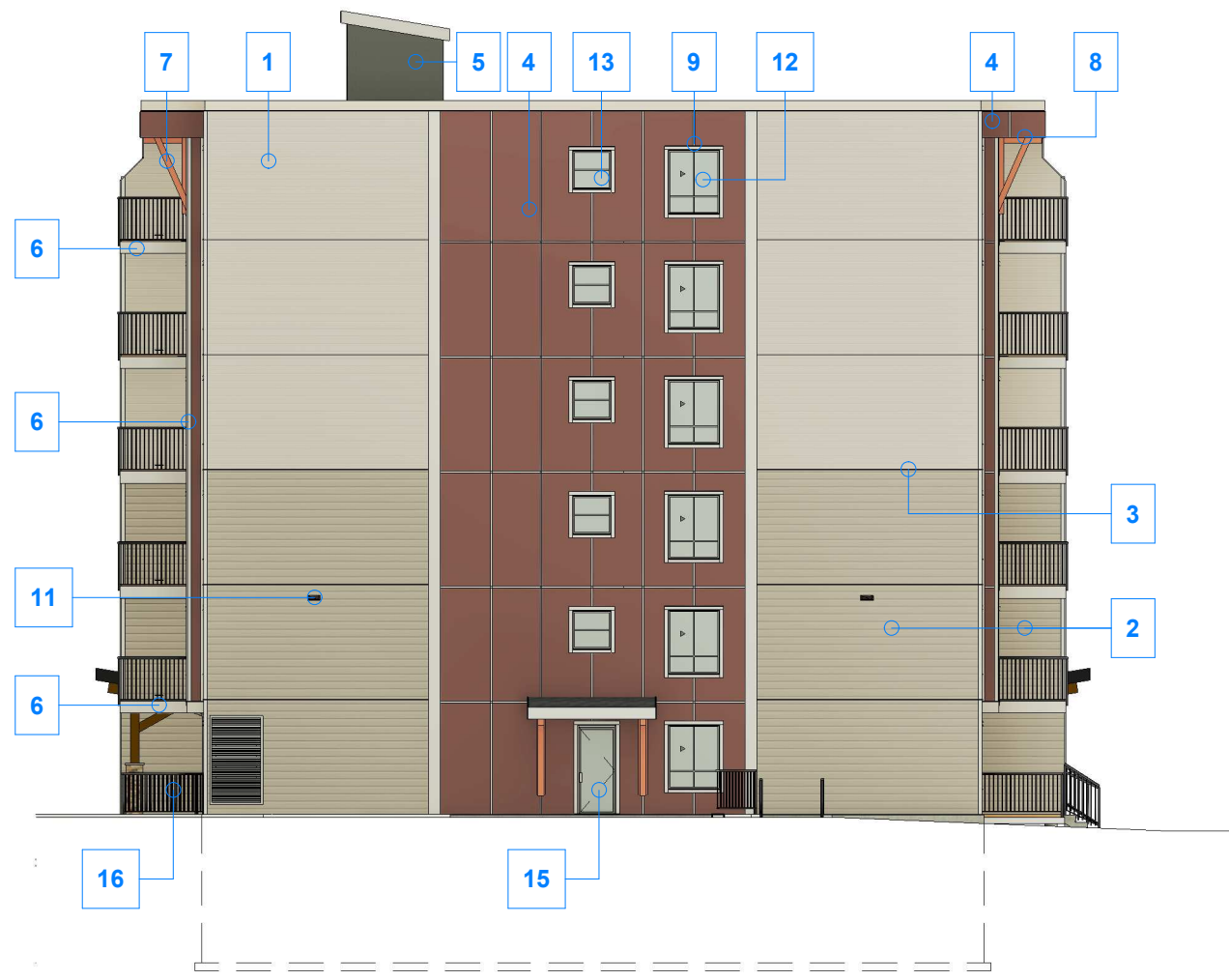
PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

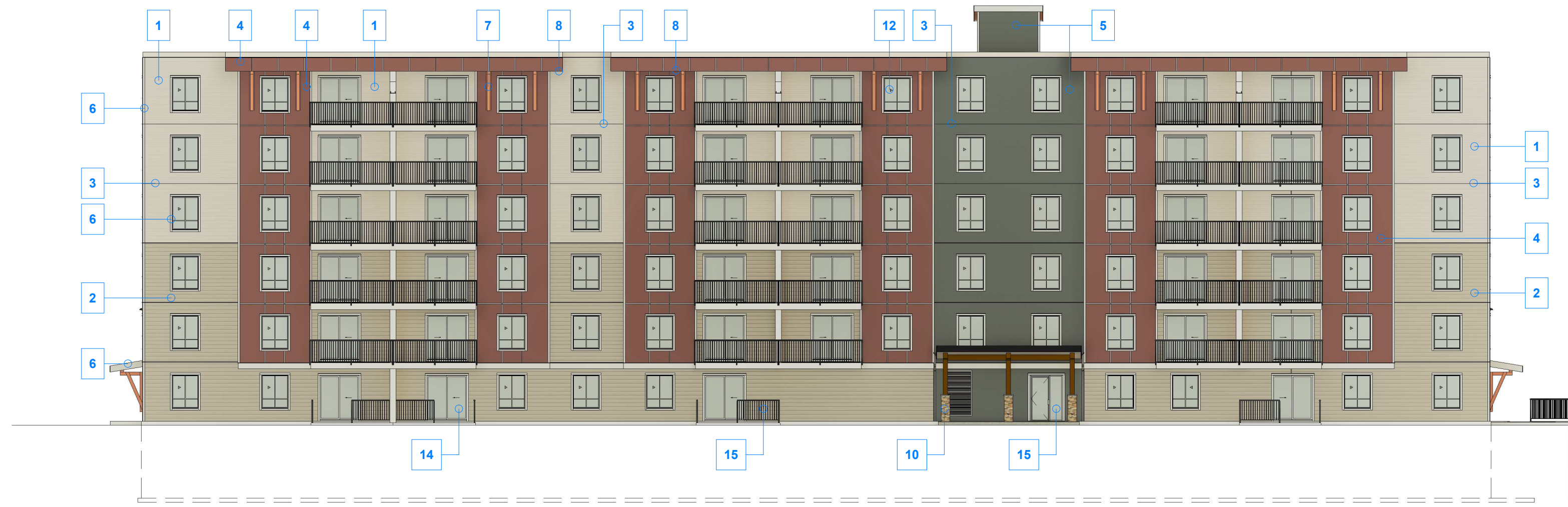
DRAWING TITLE:
BUILDING A - COLOUR ELEVATION

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

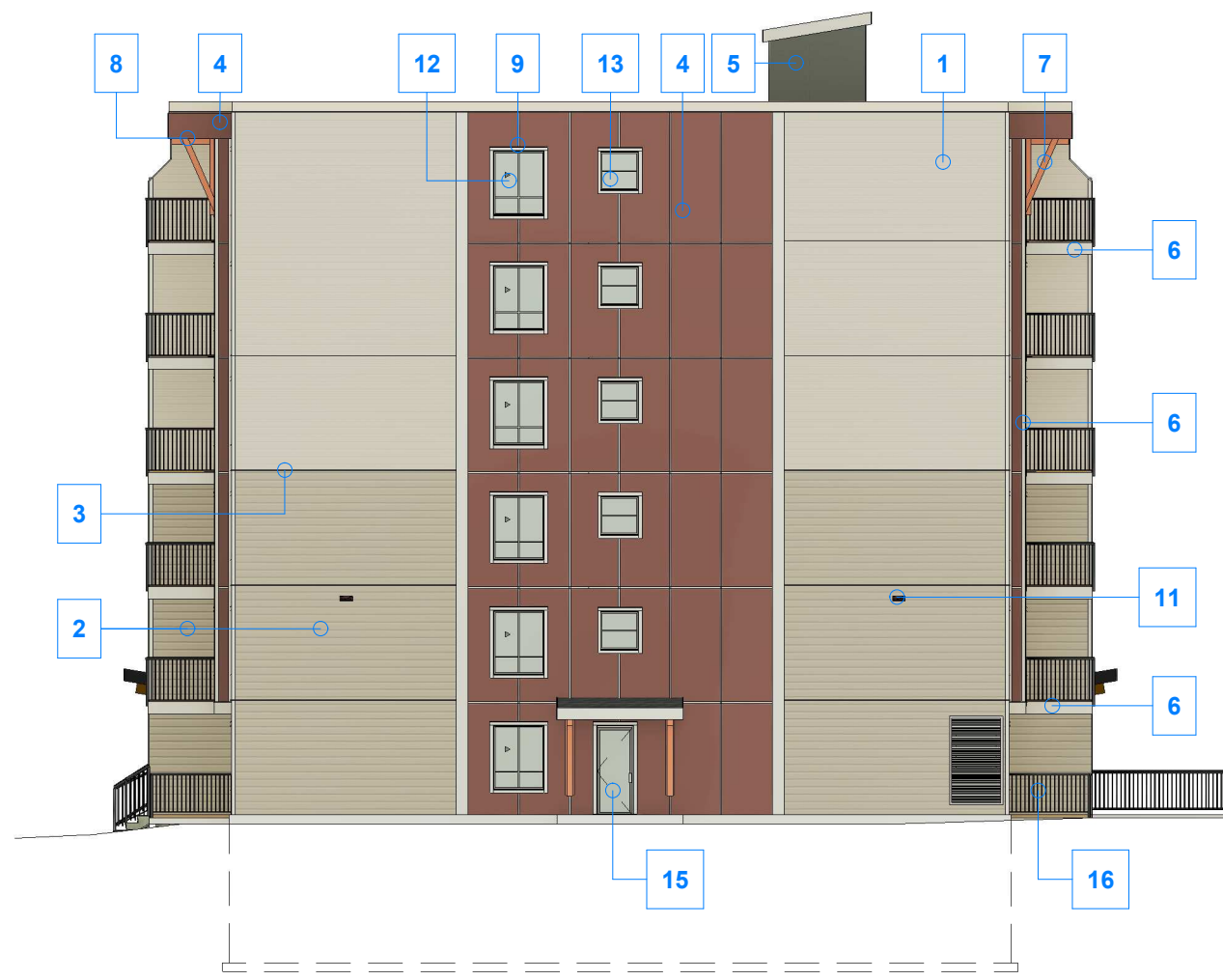
DRAWING #: **A3.01** REV #: **A**



1 COLOUR NORTH ELEVATION
1 : 175



2 COLOUR EAST ELEVATION
1 : 175

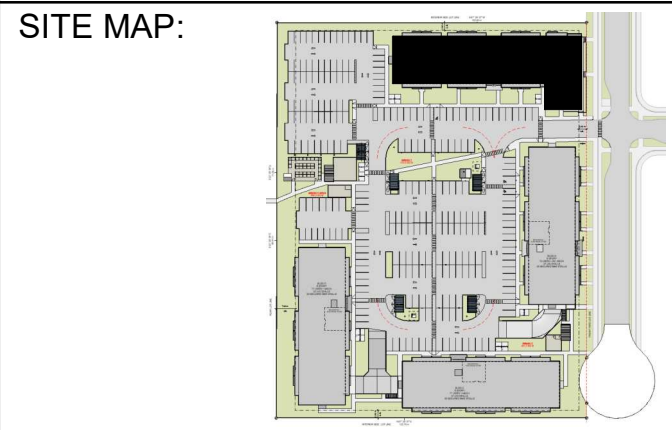


3 COLOUR SOUTH ELEVATION
1 : 175



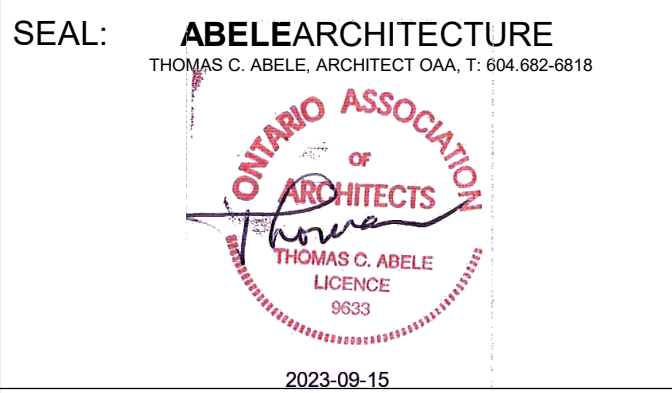
4 COLOUR WEST ELEVATION
1 : 175

	1 PLANK - CEDARMILL (COBBLE STONE)		7 CEDAR ACCENTS - STAIN TBC		13 WINDOW - AWNING - WHITE
	2 PLANK - CEDARMILL (MONTERAY TAUPE)		8 3 PANEL CLASSIC SOFFIT - WHITE		14 PATIO DOOR - SLIDER - WHITE
	3 FLASHING		9 EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED		15 ENTRY DOOR - SWING - ALUMINUM
	4 PANEL - SMOOTH (COUNTRYLANE RED)		10 CULTURED STONE - TBC		16 ALUMINUM RAILING - WELDED SYSTEM - BLACK
	5 STRAIGHT EDGE SHAKE (IRON GRAY)		11 LED WALL SCONCE		
	6 HARDIE TRIM - SMOOTH (ARCTIC WHITE)		12 WINDOW - SLIDER - WHITE		



PROJECT STATUS:
ISSUED FOR SITE CONTROL PLAN

Revision Schedule		
No.	Description	Revision Date
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PROJECT NAME:
TRINITY APARTMENTS

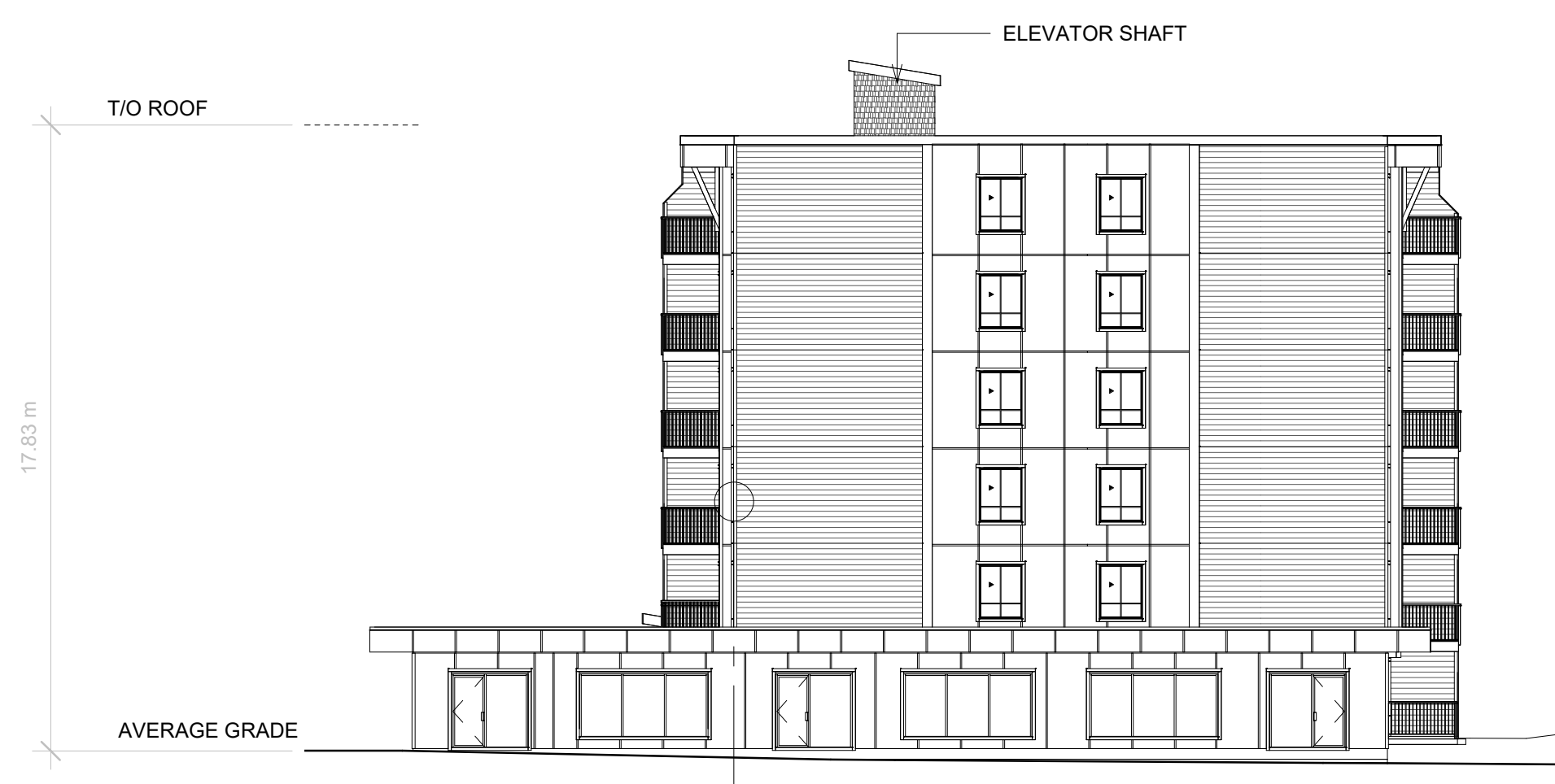
PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:
BUILDING B - ELEVATION

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

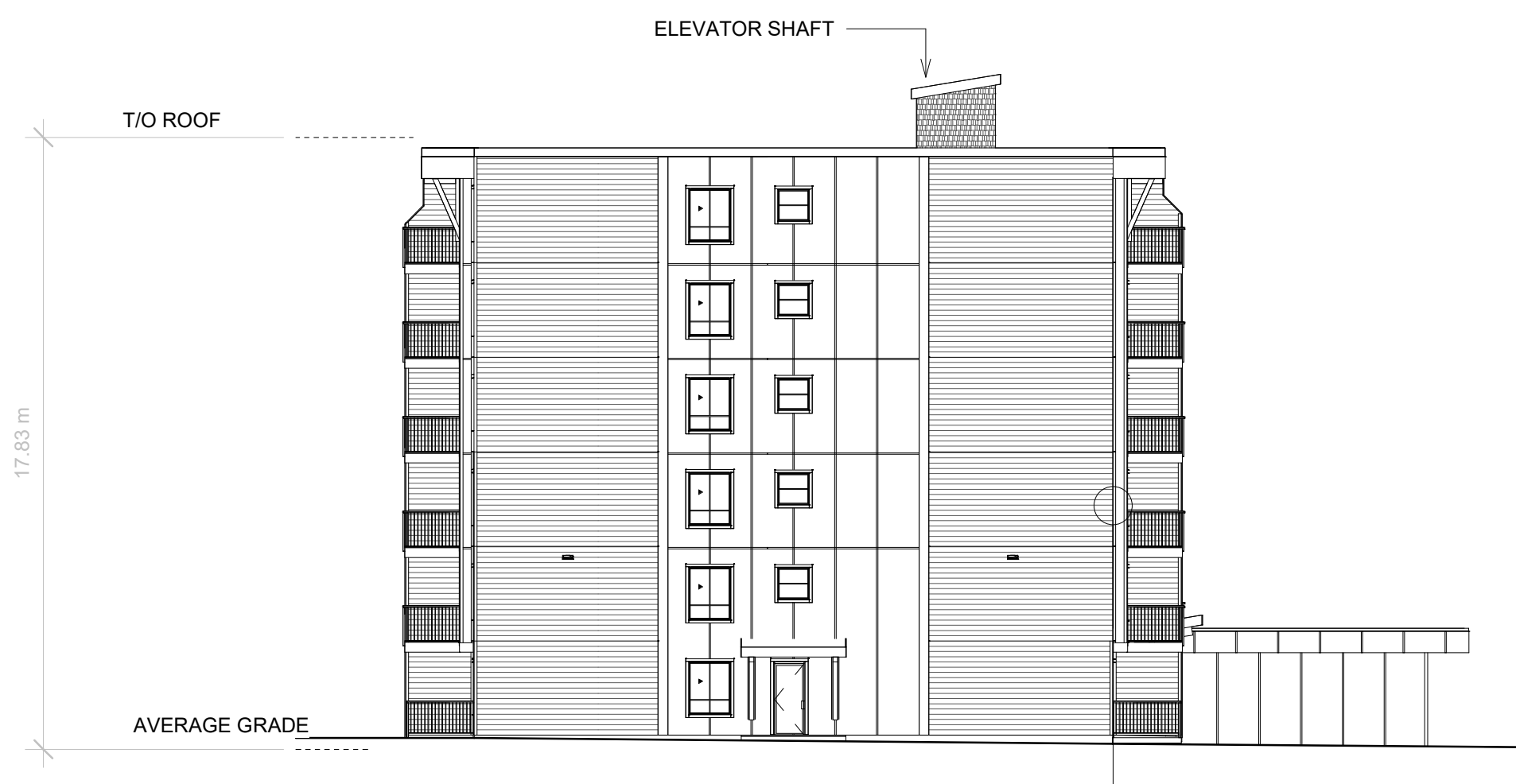
DRAWING #: **A3.02** REV #: **A**



1 WEST ELEVATION
1 : 175



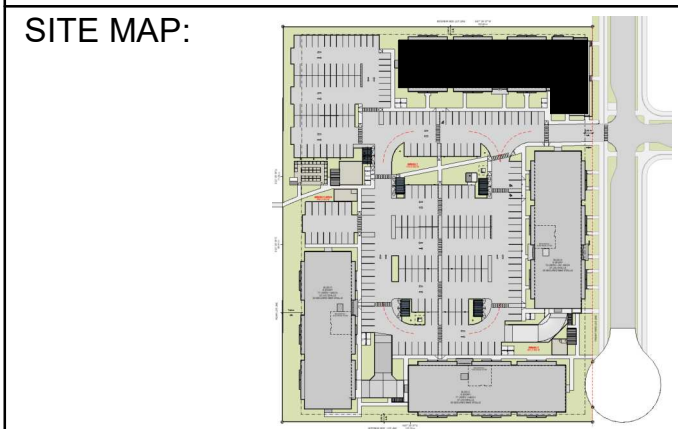
2 NORTH ELEVATION
1 : 175



3 EAST ELEVATION
1 : 175

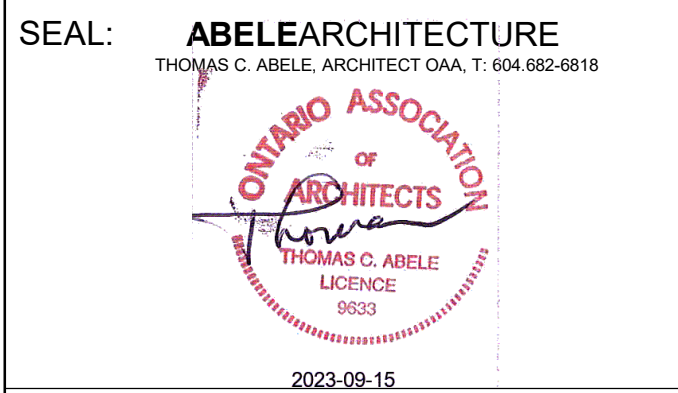


4 SOUTH ELEVATION
1 : 175



PROJECT STATUS:
ISSUED FOR SITE CONTROL PLAN

Revision Schedule		
No.	Description	Revision Date
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PROJECT NAME:
TRINITY APARTMENTS

PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:
BUILDING B - COLOUR ELEVATION

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

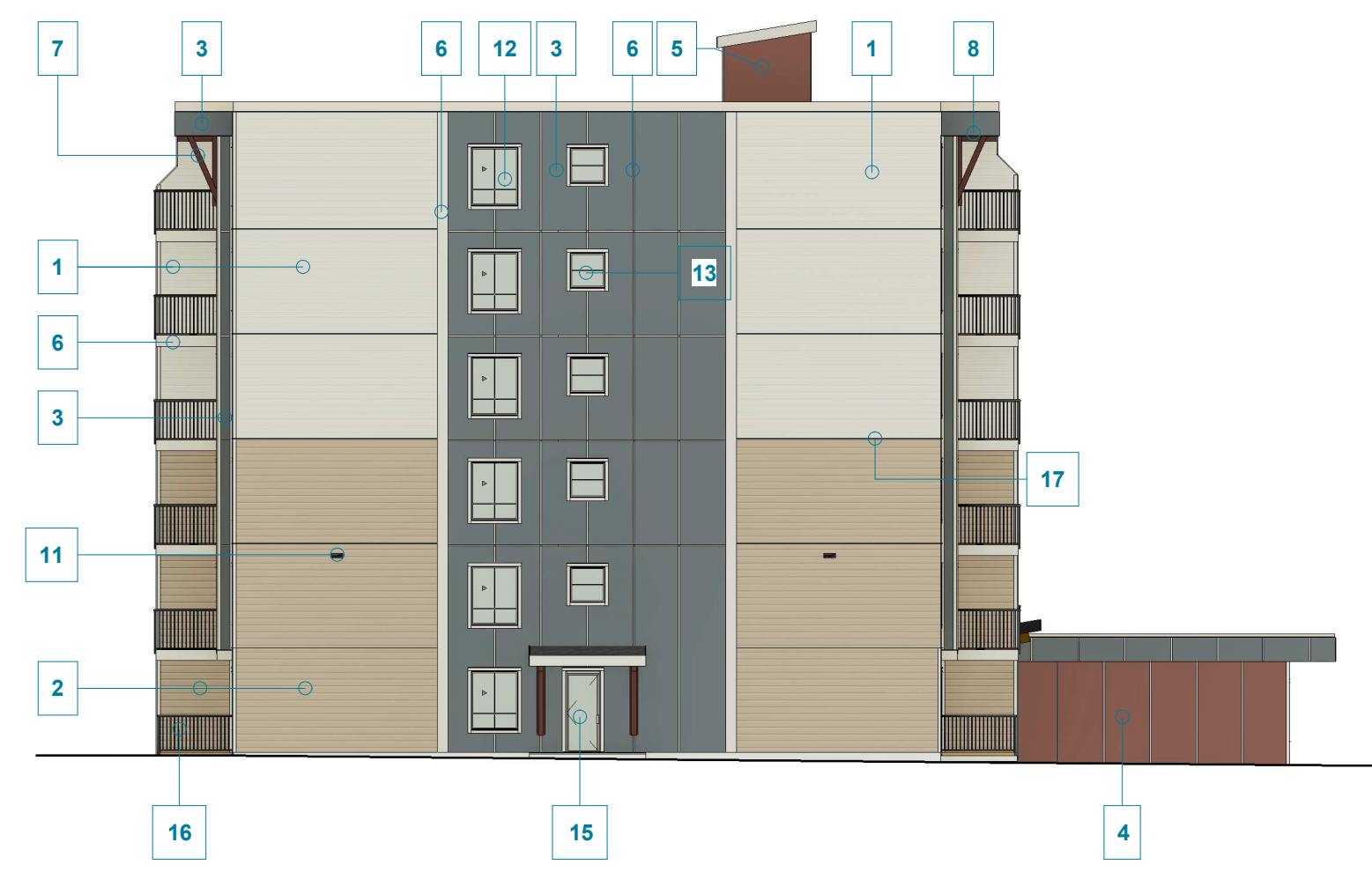
DRAWING #: **A3.03** REV #: **A**



1 COLOUR WEST ELEVATION
1 : 175



2 COLOUR NORTH ELEVATION
1 : 175

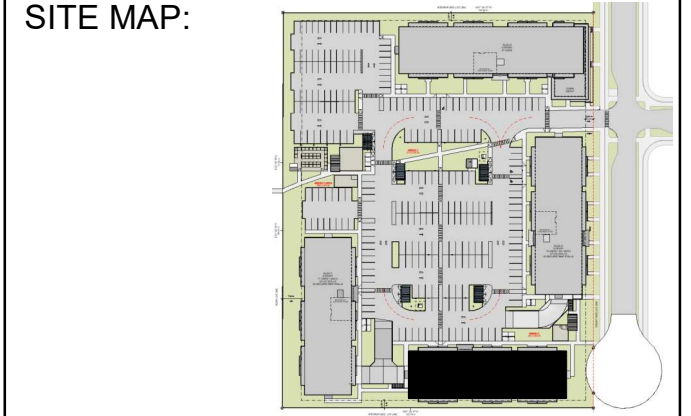


3 COLOUR EAST ELEVATION
1 : 175



4 COLOUR SOUTH ELEVATION
1 : 175

1 PLANK - CEDARMILL (ARTIC WHITE)	7 CEDAR ACCENTS - STAIN TBC	13 WINDOW - AWNING - WHITE
2 PLANK - CEDARMILL (KHAKI BROWN)	8 3 PANEL CLASSIC SOFFIT - WHITE	14 PATIO DOOR - SLIDER - WHITE
3 PANEL - SMOOTH (DEEP OCEAN)	9 EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED	15 ENTRY DOOR - SWING - ALUMINUM
4 PANEL - SMOOTH (COUNTRYLANE RED)	10 CULTURED STONE - TBC	16 ALUMINUM RAILING - WELDED SYSTEM - BLACK
5 STRAIGHT EDGE SHAKE (COUNTRYLANE RED)	11 LED WALL SCONCE	17 FLASHING
6 HARDIE TRIM - SMOOTH (ARCTIC WHITE)	12 WINDOW - SLIDER - WHITE	



PROJECT STATUS:
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: **ABELEARCHITECTURE**
THOMAS G. ABELE, ARCHITECT C.A.A. T. 604.682.6818

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PROJECT NAME:
TRINITY APARTMENTS

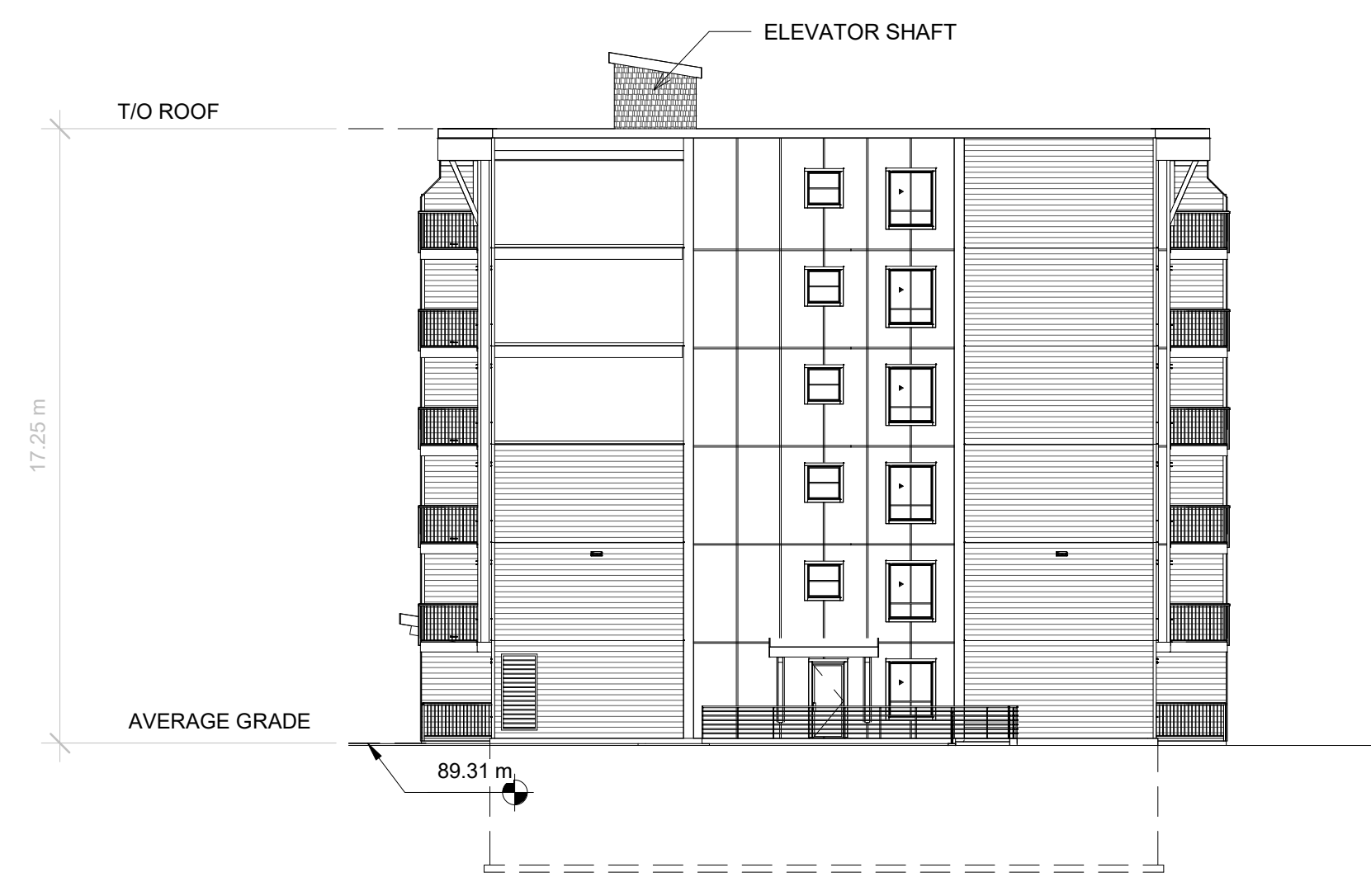
PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:
BUILDING C - ELEVATION

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

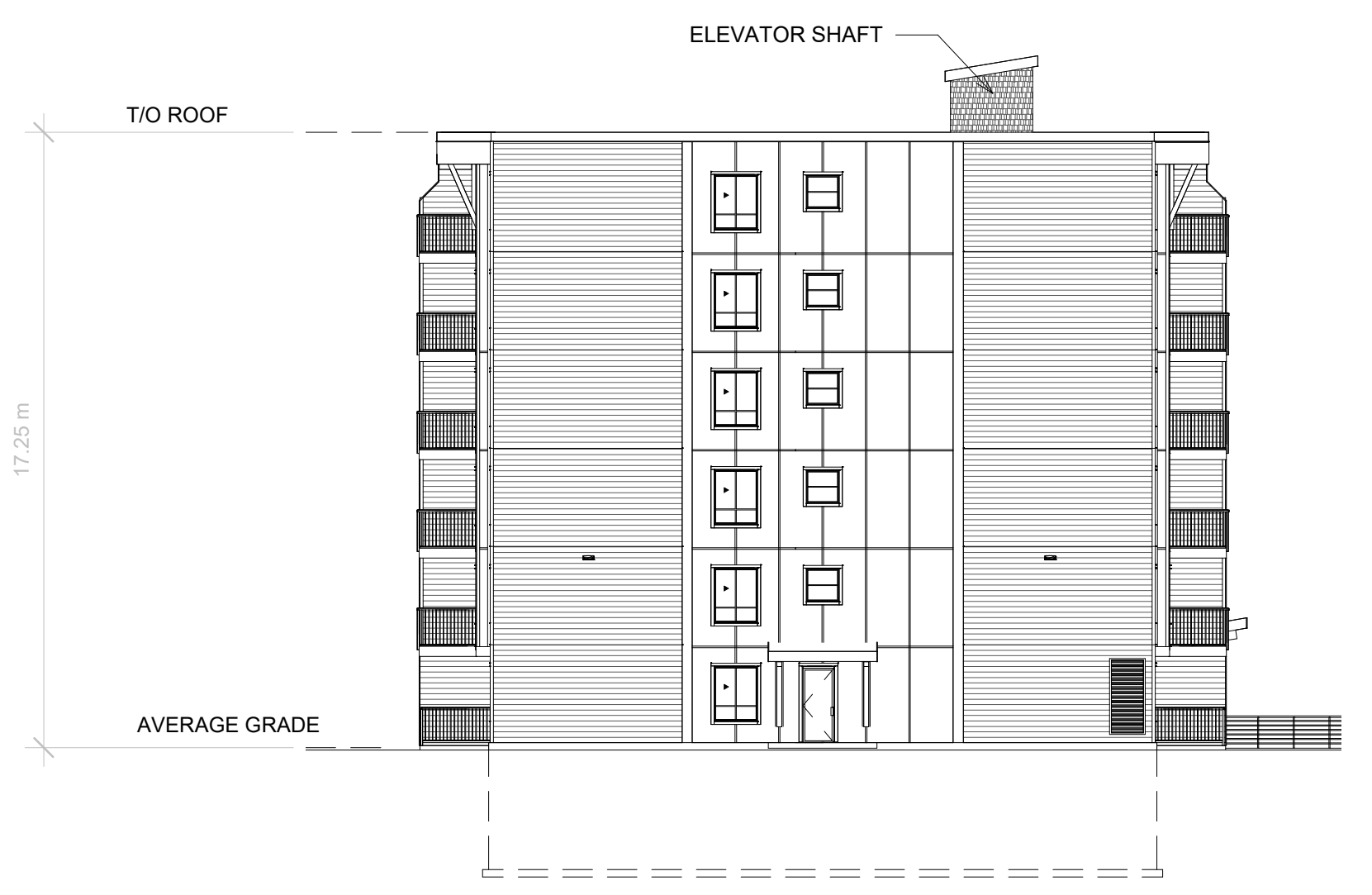
DRAWING #: **A3.04** REV #: **A**



1 EAST ELEVATION
1 : 175



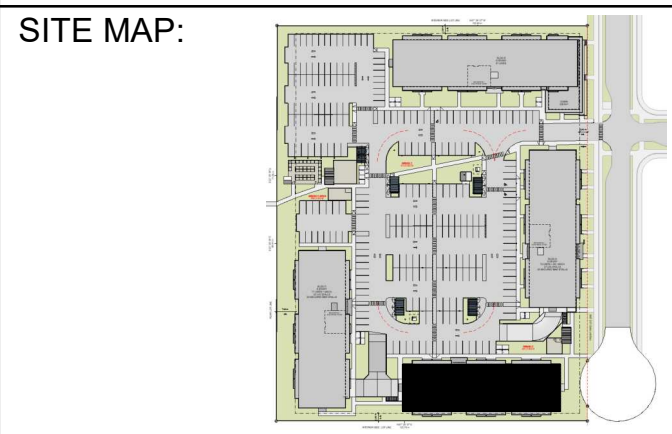
2 SOUTH ELEVATION
1 : 175



3 WEST ELEVATION
1 : 175



4 NORTH ELEVATION
1 : 175



PROJECT STATUS:
ISSUED FOR SITE CONTROL PLAN

Revision Schedule		
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PROJECT NAME:
TRINITY APARTMENTS

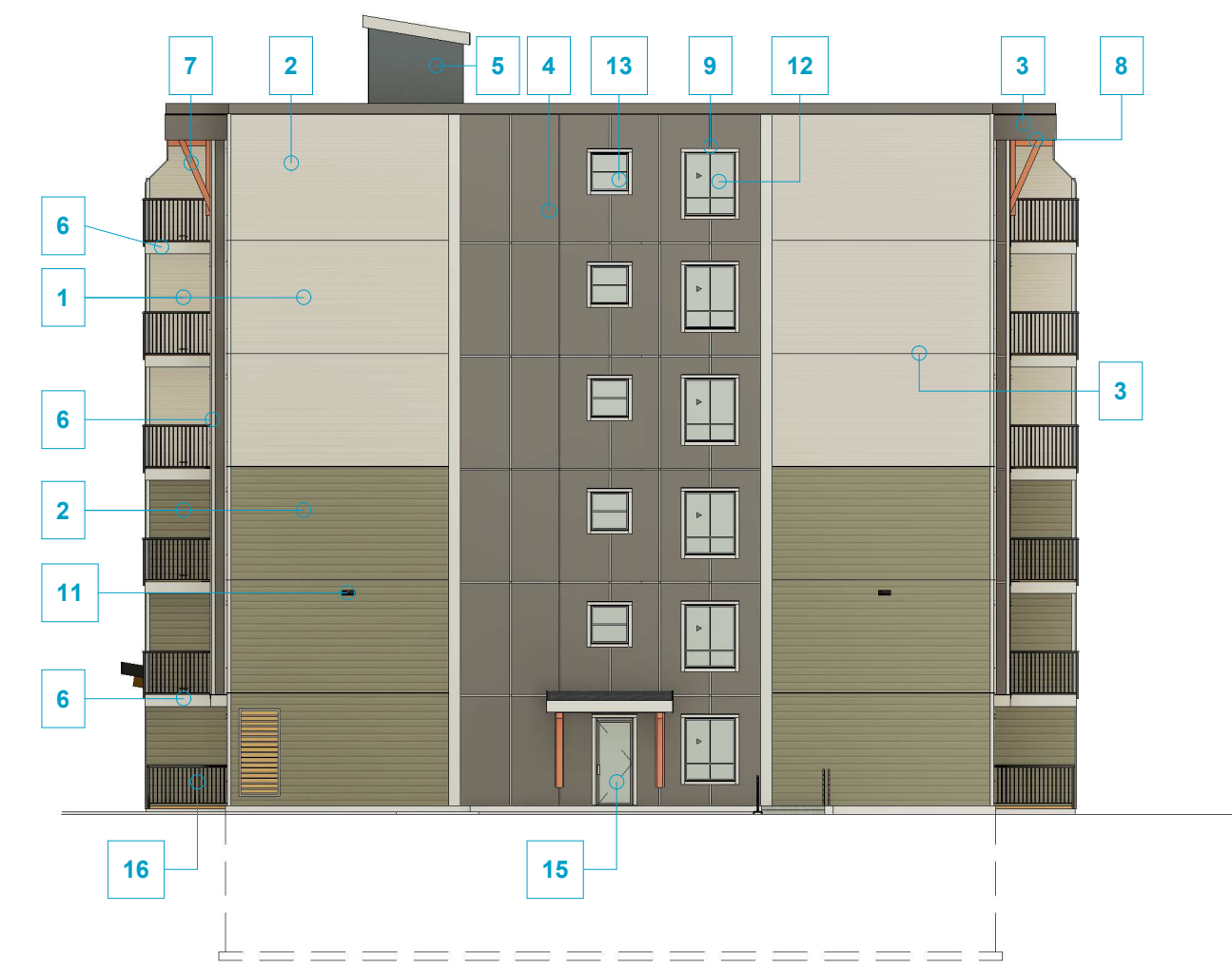
PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

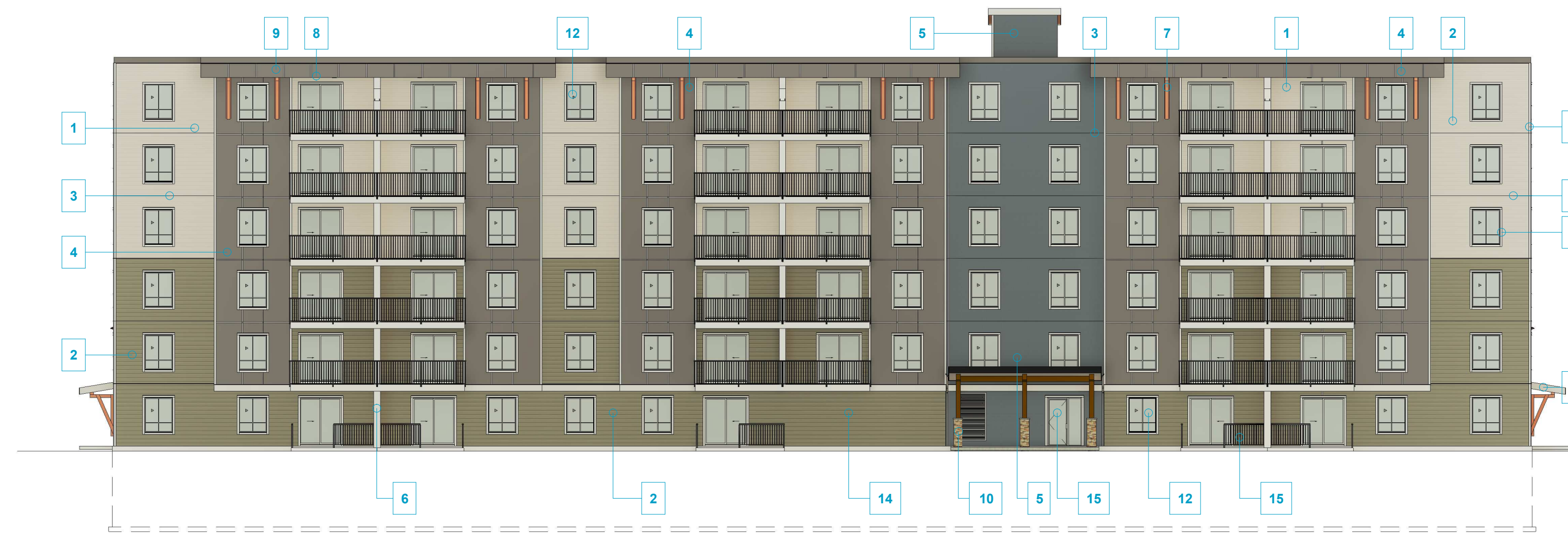
DRAWING TITLE:
BUILDING C - COLOUR ELEVATION

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

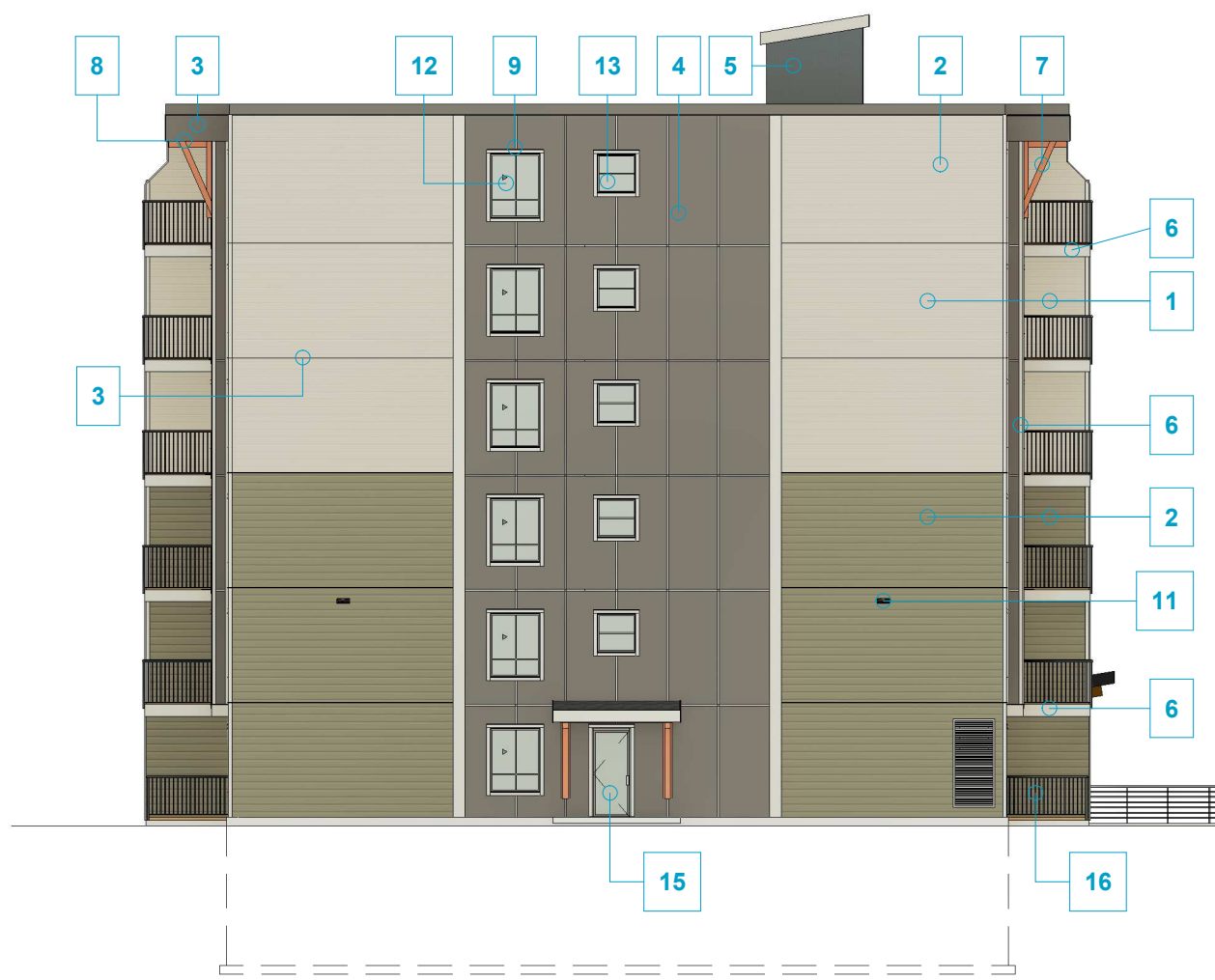
DRAWING #: **A3.05** REV #: **A**



1 COLOUR EAST ELEVATION
1 : 175



2 COLOUR SOUTH ELEVATION
1 : 175



3 COLOUR WEST ELEVATION
1 : 175



4 COLOUR NORTH ELEVATION
1 : 175

	1 PLANK - CEDARMILL (COBBLE STONE)		7 CEDAR ACCENTS - STAIN TBC		13 WINDOW - AWNING - WHITE
	2 PLANK - CEDARMILL (MOUNTAIN SAGE)		8 3 PANEL CLASSIC SOFFIT - WHITE		14 PATIO DOOR - SLIDER - WHITE
	3 FLASHING		9 EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED		15 ENTRY DOOR - SWING - ALUMINUM
	4 PANEL - SMOOTH (RICH ESPRESSO)		10 CULTURED STONE - TBC		16 ALUMINUM RAILING - WELDED SYSTEM - BLACK
	5 STRAIGHT EDGE SHAKE (DEEP OCEAN)		11 LED WALL SCONCE		
	6 HARDIE TRIM - SMOOTH (ARCTIC WHITE)		12 WINDOW - SLIDER - WHITE		

SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: **ABELEARCHITECTURE**

THOMAS C. ABELE, ARCHITECT C.M.A., T. 604.682-6818



2023-09-15

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD
OTTAWA, ROAD

DRAWING TITLE:

BUILDING D - ELEVATION

DRAWN BY: EC

CHECKED BY: CG

DATE: SEPT 15, 2023

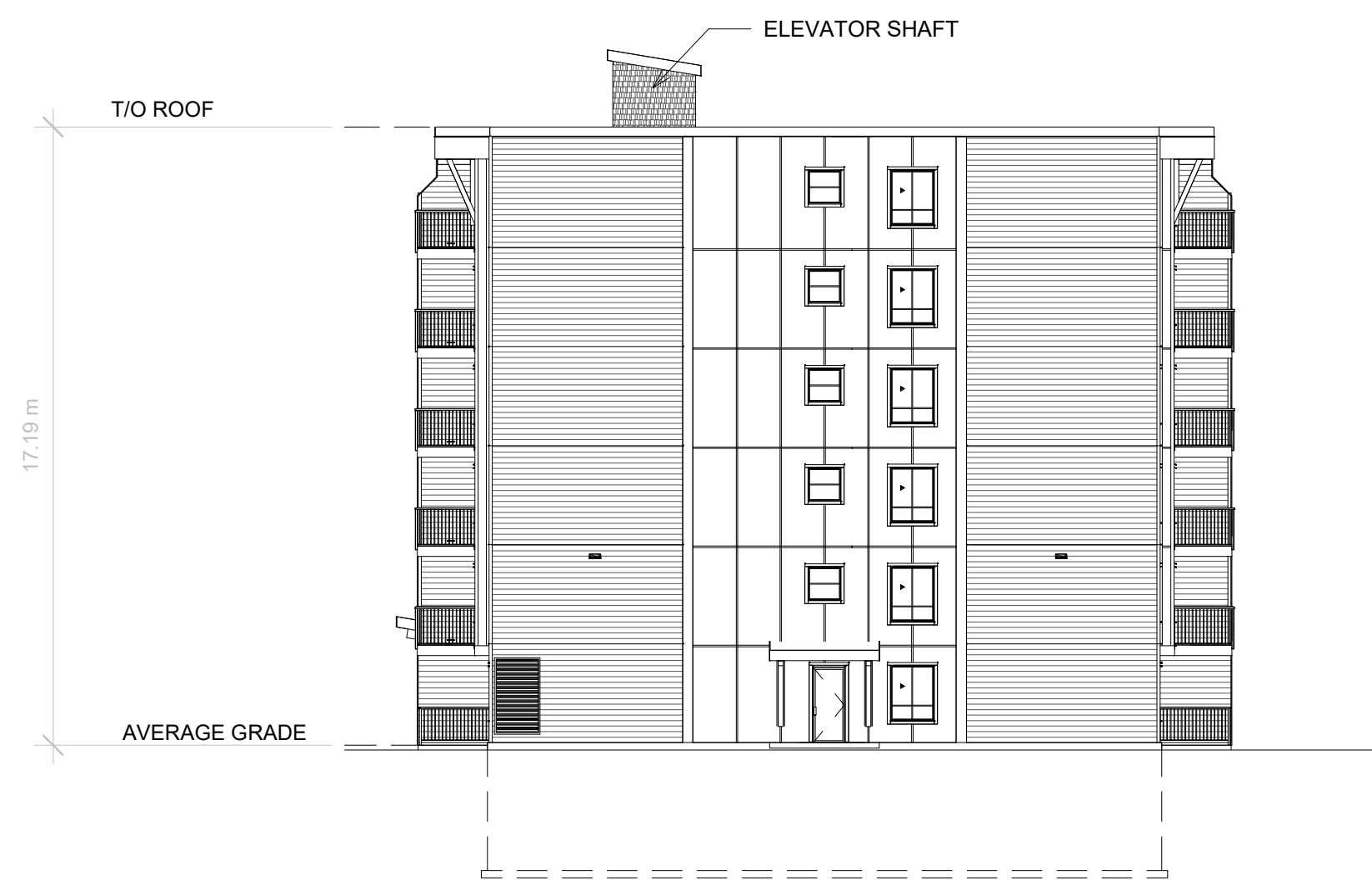
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DRAWING #:

A3.06

REV #:

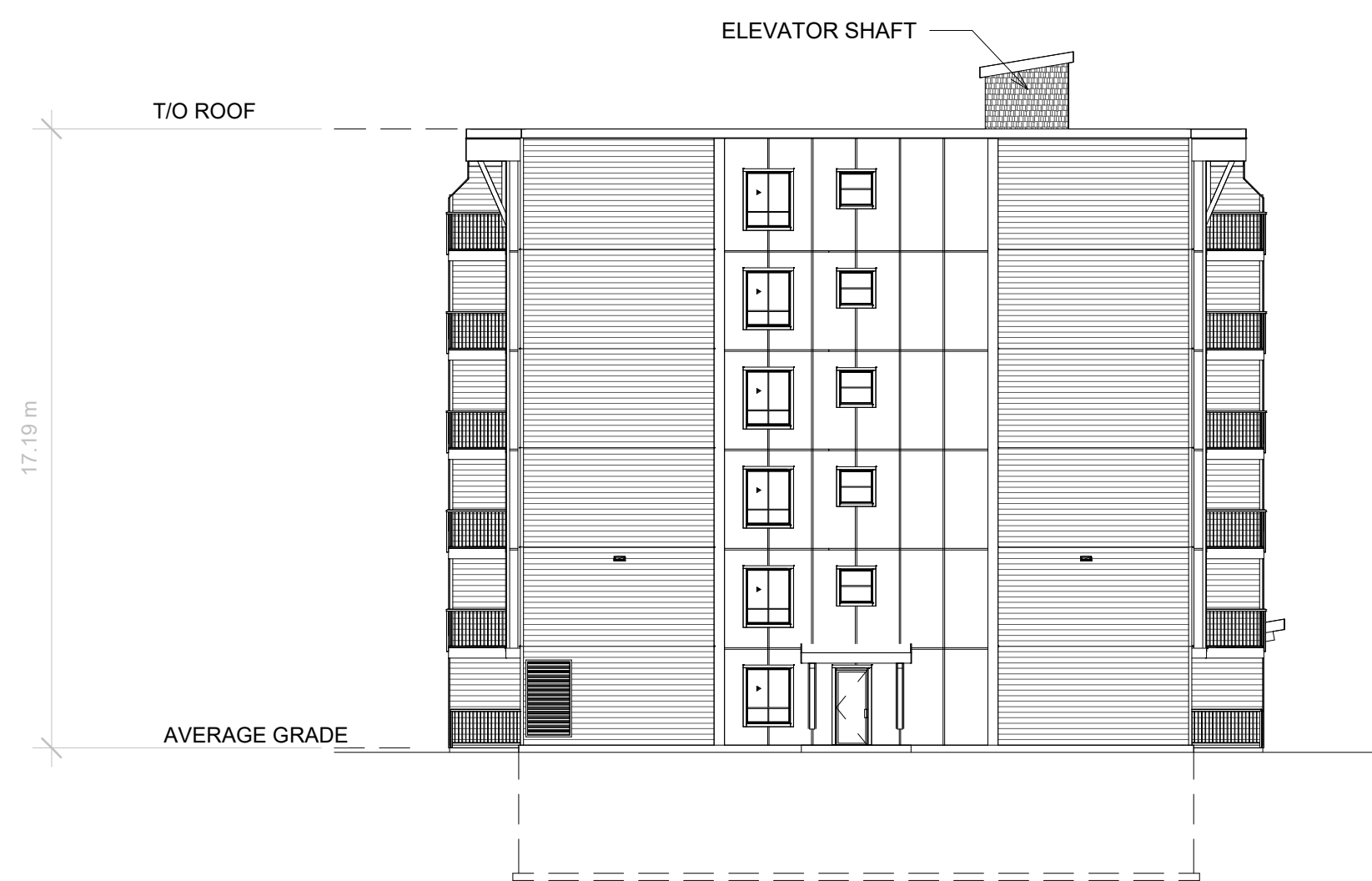
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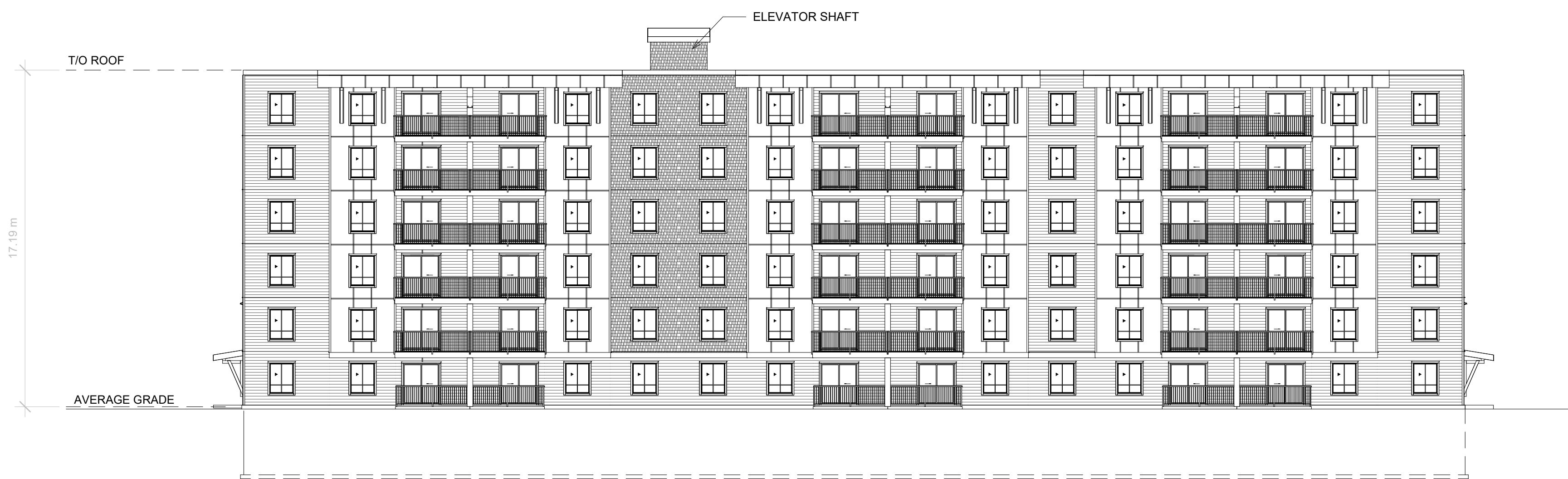
1 SOUTH ELEVATION
1 : 175



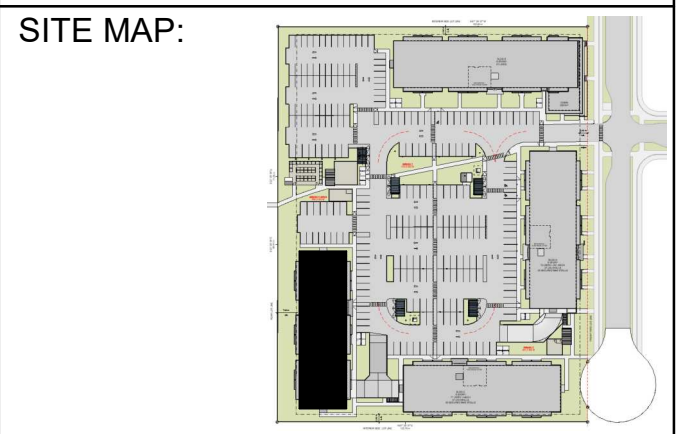
2 WEST ELEVATION
1 : 175



3 NORTH ELEVATION
1 : 175



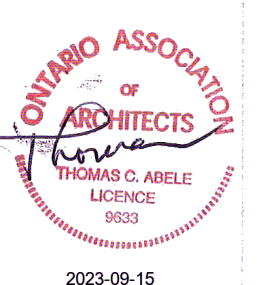
4 EAST ELEVATION
1 : 175



PROJECT STATUS:
ISSUED FOR SITE CONTROL PLAN

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE, ARCHITECT OAA, T. 604.682-6818



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PROJECT NAME:
TRINITY APARTMENTS

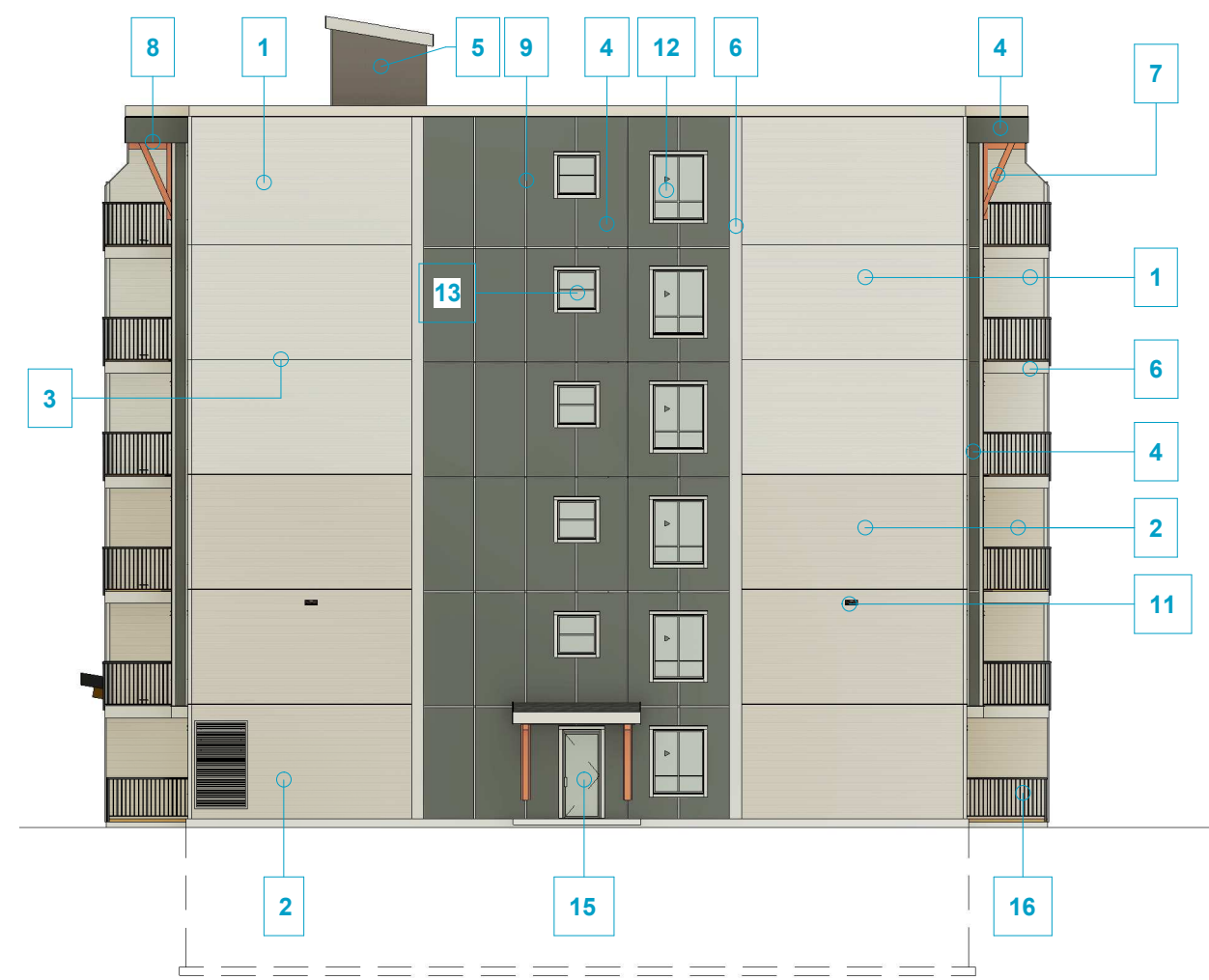
PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ROAD

DRAWING TITLE:
BUILDING D - COLOUR ELEVATION

DRAWN BY: EC
CHECKED BY: CG
DATE: SEPT 15, 2023
SCALE: As indicated

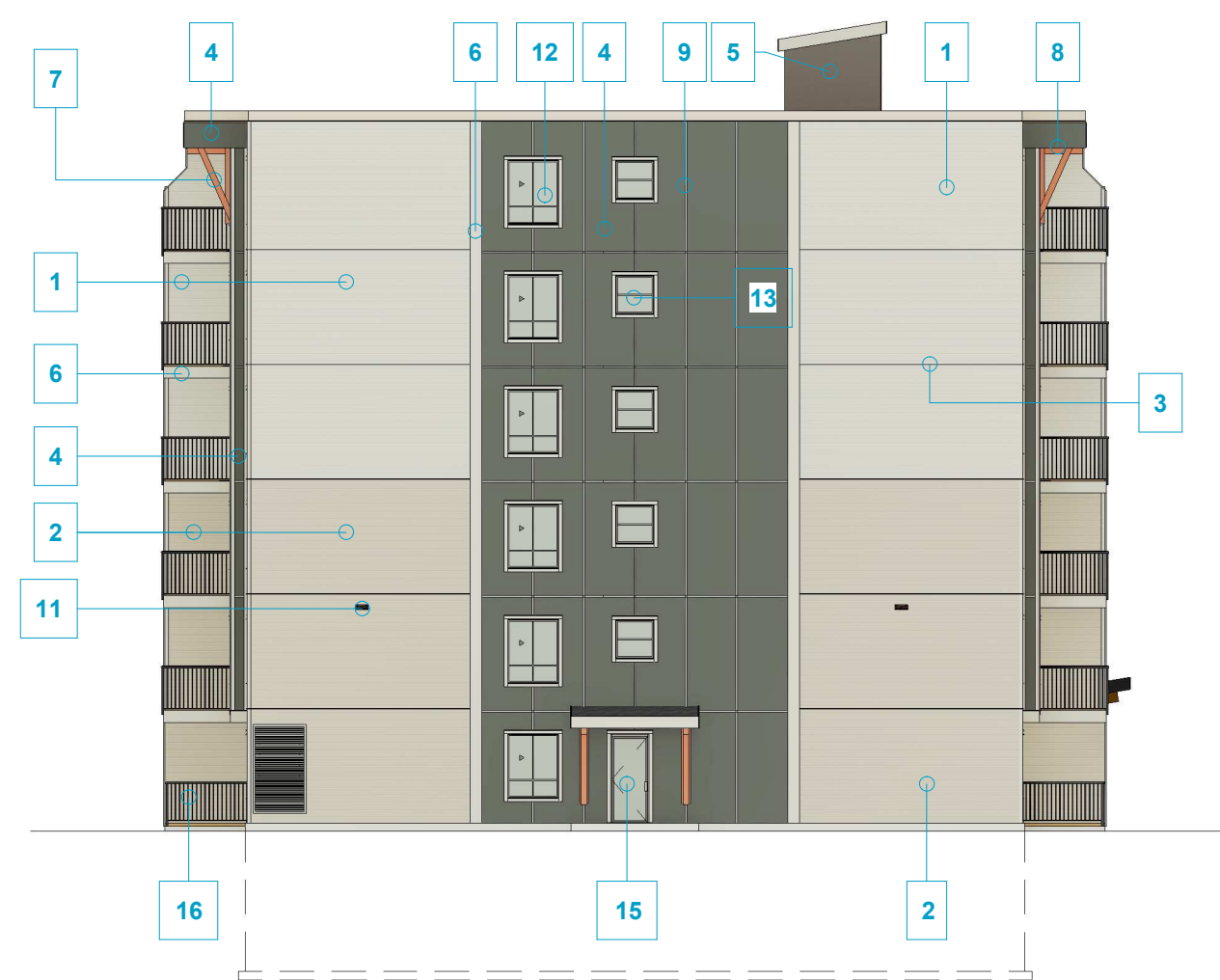
DRAWING #: **A3.07** REV #: **A**



1 COLOUR SOUTH ELEVATION
1 : 175



2 COLOUR WEST ELEVATION
1 : 175



3 COLOUR NORTH ELEVATION
1 : 175



4 COLOUR EAST ELEVATION
1 : 175

	1 PLANK - CEDARMILL (ARCTIC WHITE)		7 CEDAR ACCENTS - STAIN TBC		13 WINDOW - AWNING - WHITE
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	4 PANEL - SMOOTH (RICH ESPRESSO)		10 CULTURED STONE - TBC		16 ALUMINUM RAILING - WELDED SYSTEM - BLACK
	5 STRAIGHT EDGE SHAKE (DEEP OCEAN)		11 LED WALL SCENCE		
	6 HARDIE TRIM - SMOOTH (ARCTIC WHITE)		12 WINDOW - SLIDER - WHITE		