

STAMP

6	2023 10 10	ISSUED FOR SITE PLAN CONTROL 2
5	2023 05 26	ISSUED FOR SITE PLAN CONTROL
4	2023 05 25	ISSUED FOR COORDINATION
3	2023 05 04	ISSUED FOR COORDINATION
2	2023 04 18	ISSUED FOR COORDINATION
1	2023 04 03	ISSUED FOR REVIEW

REV DATE ISSUE

NOTES

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CLIENT

OTTAWA
ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

SITE PLAN

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: As Indicated
DATE PRINTED: 10/19/2023 2:53:00 PM

REV DRAWING NO.

6

A100

SITE PLAN GENERAL NOTES:

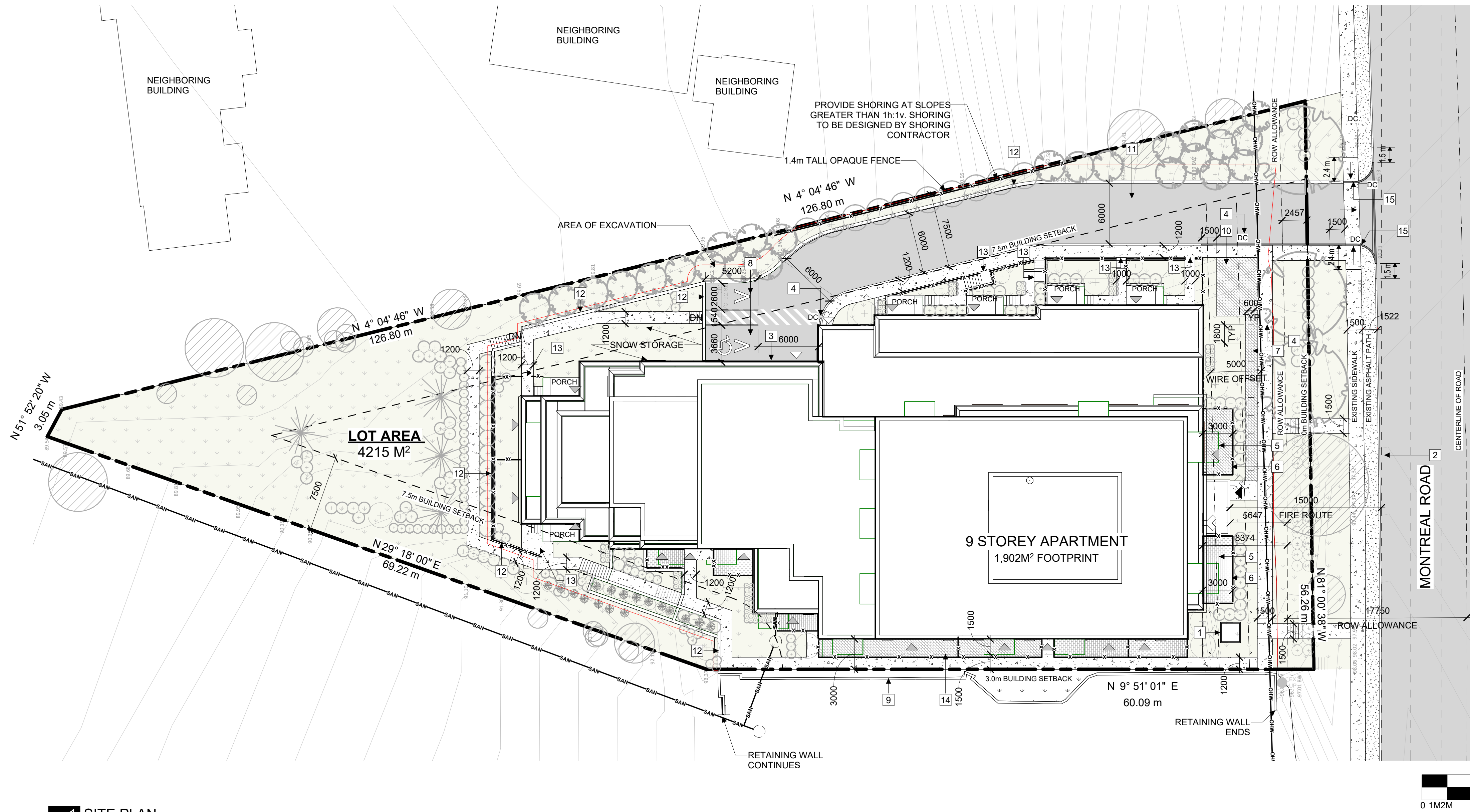
1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
2. DO NOT SCALE THIS DRAWING
3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN KEYNOTES:

- 1 HYDRO-TRANSFORMER
- 2 6m WIDE FIRE TRUCK ACCESS C/W 12m CENTER TURNING RADIUS
- 3 UNDERGROUND PARKING ACCESS RAMP
- 4 DEPRESSED CURB
- 5 PRIVATE PATIO
- 6 PRIVACY FENCE
- 7 8 X VISITOR BIKE RACKS 1800x600 TYP
- 8 VISITOR PARKING SPACE / GARBAGE PICKUP
- 9 EXISTING RETAINING WALL
- 10 INTERLOCK AREA/ GARBAGE PICKUP
- 11 NEW ASPHALT LANEWAY
- 12 RETAINING WALL
- 13 GATE
- 14 BALCONIES ABOVE
- 15 ACCESS TO SITE DESIGNED AS PER CITY OF OTTAWA "CURB RETURN ENTRANCE" DWG. NO. SC7.1 "CURB RETURN AT A PRIVATE OR COMMERCIAL ENTRANCE WITH BOULEVARD - UNSIGNALIZED INTERSECTION"

SITE PLAN LEGEND:

- EXISTING BUILDING
- ASPHALT PAVING
- PARKLAND AREA
- NEW GRASS
- CONCRETE SIDEWALK
- PATIO PAVER TYPE
- OTHER ENTRANCES / EXIT
- SERVICE DOORS
- BUILDING MAIN ENTRANCE
- PROPERTY LINE
- FENCE
- EXISTING OVERHEAD WIRE
- PERIMETER OF EXCAVATION
- FIRE HYDRANT
- FIRE HYDRANT EXISTING
- UTILITY POLE EXISTING
- SIAMESE CONNECTION
- DROPPED CURB
- SIGN
- NEW TREE



1 SITE PLAN

A100 1:250

LEGAL DESCRIPTION:

LOT 141 REGISTERED PLAN 652
CITY OF OTTAWA

REFERENCE SURVEY:

BASED ON INFORMATION FROM A SURVEY
PREPARED BY R.P., J.D. BARNES LIMITED, DATED:
3RD DAY OF OCTOBER, 2022.

MUNICIPAL ADDRESS:

1815 MONTREAL ROAD, CITY OF OTTAWA, ON

DEVELOPMENT INFORMATION:

SITE AREA 4,215 m²
BUILDING FOOTPRINT 1,902 m²
LOT COVERAGE = 45%
GROSS FLOOR AREA 10,918 m²
(1st FLOOR - 9th FLOOR)
BUILDING HEIGHT +/-31m

ZONE Proposed - AM10
Current - R1AA

SCHEDULE 1: AREA C "URBAN AND GREEN BELT AREA"

SCHEDULE 1A: AREA C "SUBURBAN"

SCHEDULE 2: DISTANCE EXCEEDS 600 m

UNIT MIX

1 BED APT	54
2 BED APT	55
3 BED APT	2
GFU*	6
BACH	13
TOTAL	130

DENSITY

SITE AREA (m ²)	4352
SITE AREA (Ha)	0.4352
DENSITY du/Ha	299

*GROUND FACING UNIT

ZONING PROVISION

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	NO MINIMUM	54.9m AFTER ROW
MIN. LOT AREA	NO MINIMUM	4215m ² AFTER ROW
MIN. FRONT YARD SETBACK	3m	5.6m
ROW DEDICATION REQUIREMENT	17.75m FROM CENTERLINE (2.39m)	2.4m
HYDRO SETBACK	5m	5m
MIN. REAR YARD SETBACK	7.5m	45.5m
MIN. INTERIOR SIDE YARD ABUTTING A RESIDENTIAL ZONE	7.5m	7.5m
MIN. INTERIOR SIDE YARD ABUTTING AN AM. ZONE	0M	3.0M

Maximum Building Height (m) (height is from average grade)	Up to 20 meters from a R1, R2, R3 Zone	11m	East:24.8m West: 31.28m
20m to 30m from R1-R3 Zone	20m		31.28m
30m from property line abutting R1-R4 Zone	30m, max. 9 storeys.		
In all other cases	30m, max. 9 storeys.		

Landscaped Area	Abutting a residential zone	Min 3 m; reduced to 1 m where 1.4 m high opaque fence is provided	East: 1.0m, 1.4m opaque fence is provided.
In all other cases	No minimum		

TOTAL LANDSCAPED AREA 1977M²

ZONING PROVISION

ZONING PROVISION	REQUIRED	PROVIDED
Amenity Space Requirements	6m ² per dwelling unit.	Balconies= 805.7 m ² Communal Rooftop Terrace (2 nd and 7 th floor): 135 m ² Outdoor Private Patio (ground floor): 127 m ² Interior amenity space = 249.82 m ² Rear Yard Area: 770.2 m ² Total amenity area= 2,087.2 m ²

PARKING QUEING + LOADING

RESIDENTIAL SPACES	REQUIRED	PROVIDED
156	156	88 TOTAL (18) 6m x 2.4m (70) 6m x 2.6m

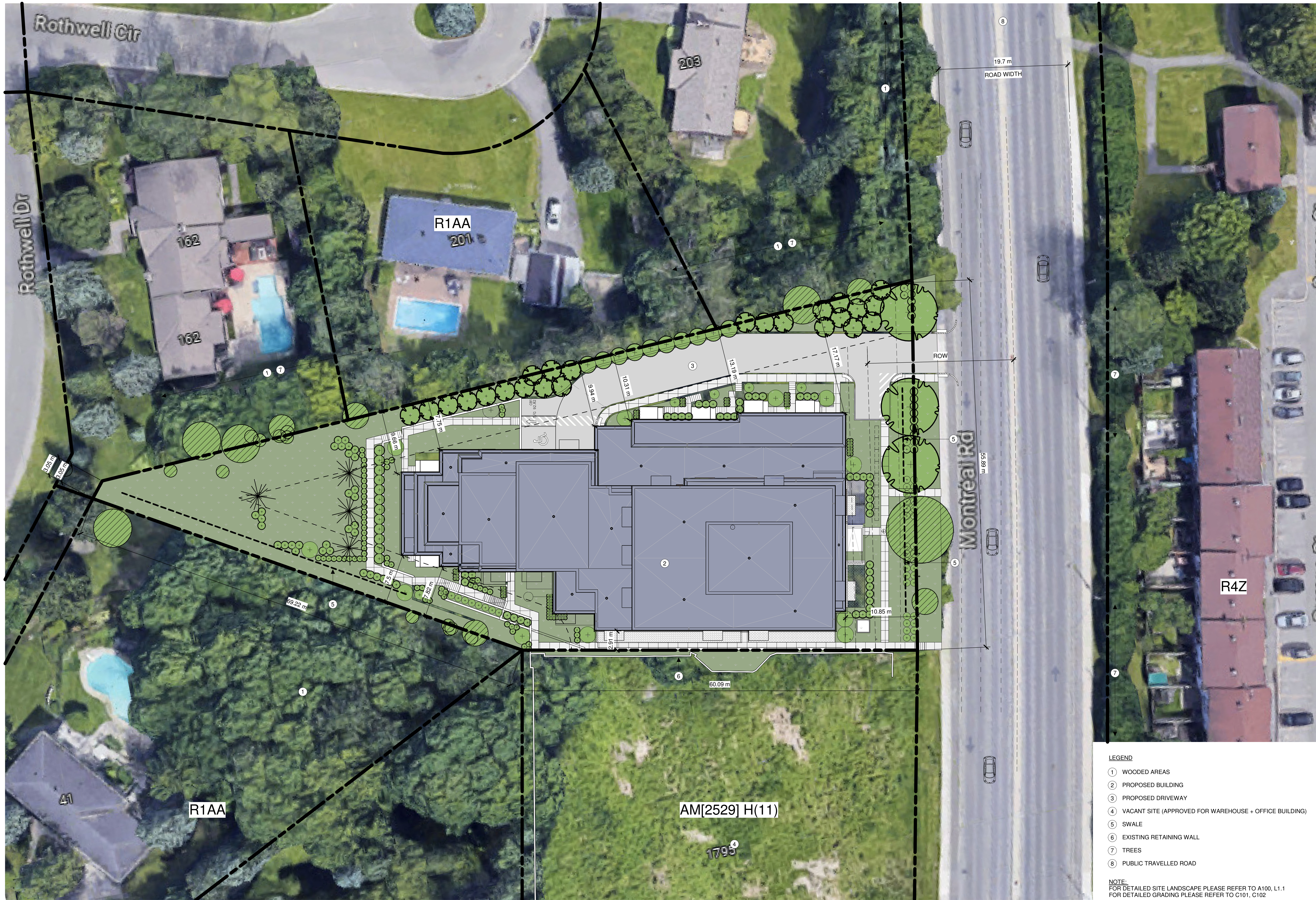
VISITOR SPACES

VISITOR SPACES	REQUIRED	PROVIDED
26	26	18 TOTAL (11) 5.2m x 2.6m (5) 6m x 2.4m (2) BF 6m x 3.66m

BICYCLE PARKING

BICYCLE PARKING	REQUIRED	PROVIDED
65	65	Total: 71 Residential: 12 @P2 Residential: 6 @P1 Residential: 45 @L1 Visitors: 8 Outside All spaces are 1.8m x 0.6m

Waste / Garbage Collection Location	If outdoor: Located within 9m from lot line abutting a public street, 3m from any other lot line, and screened from view with an opaque screen of minimum height of 2m.	Pickup staging at bottom of ramp outside garage entrance
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REV DATE	ISSUE	



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CLIENT

OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD

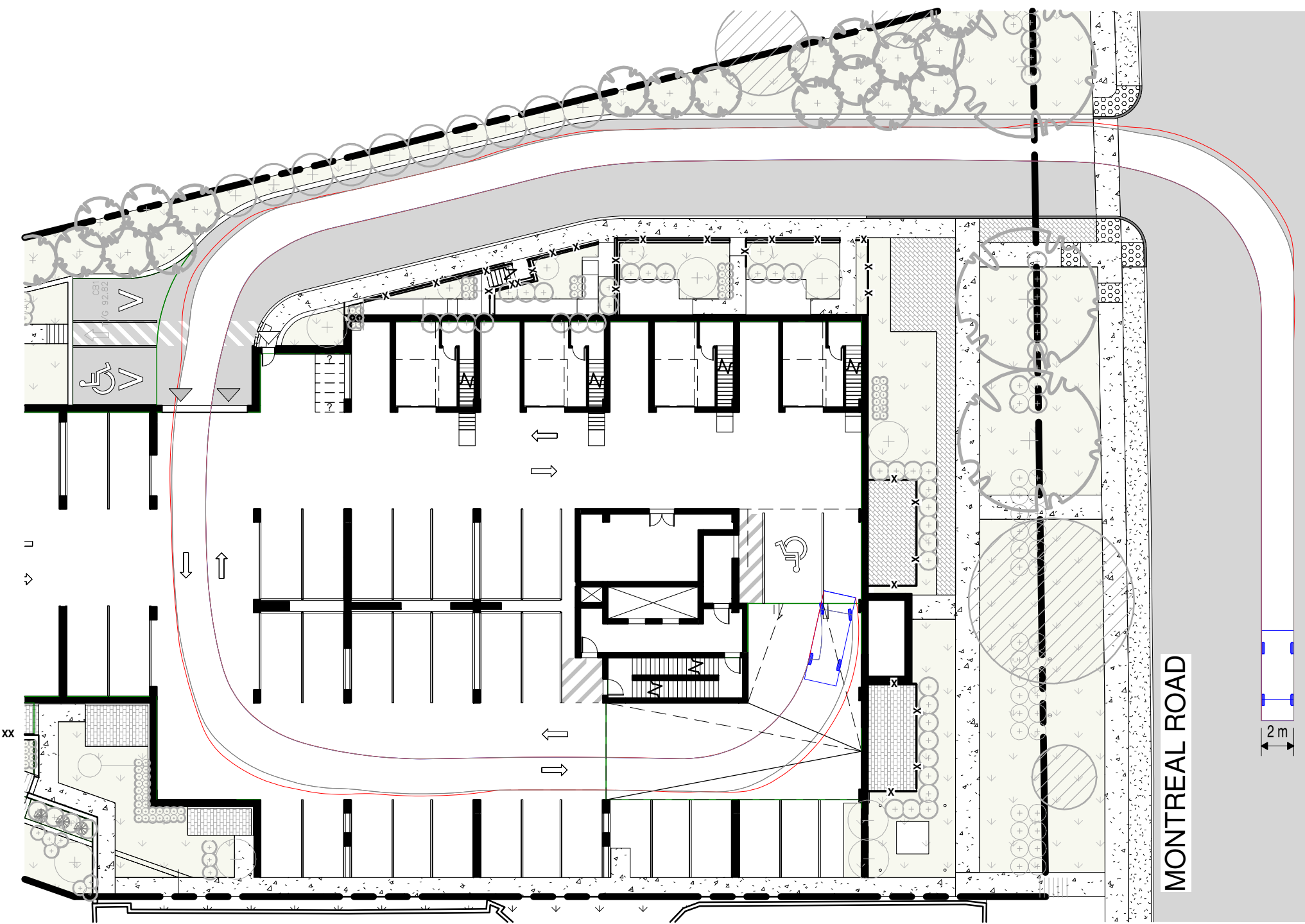
TITLE

SITE PLAN CONTEXT

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: 1 : 250
DATE PRINTED: 10/10/2023 1:54:18 PM

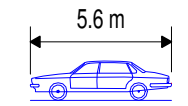
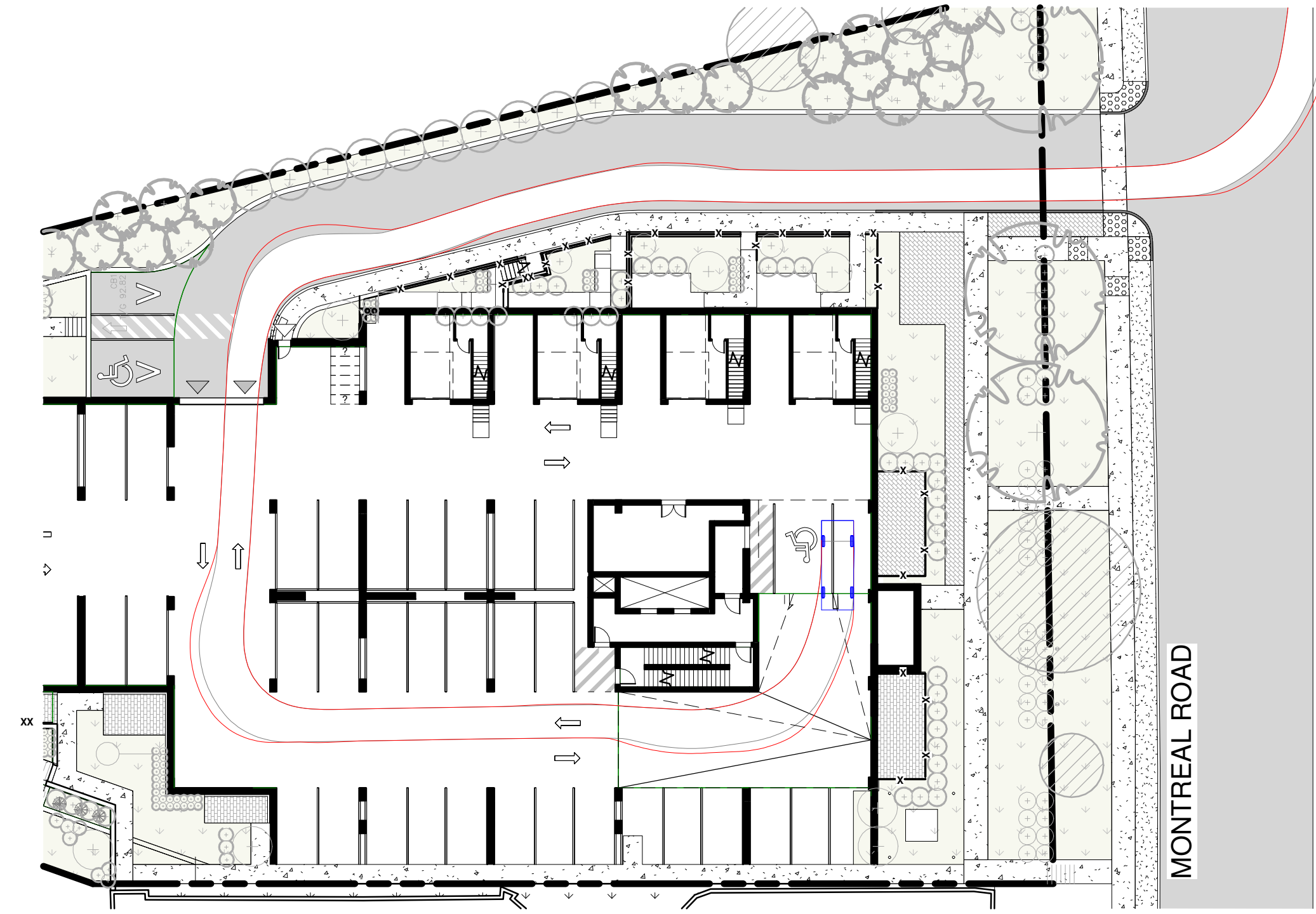
REV DRAWING NO.

6 **A101**



P - Passenger Car

Passenger Car	5.600m
Overall Length	2.000m
Overall Width	1.555m
Overall Body Height	0.340m
Min Body Ground Clearance	2.000m
Track Width	4.00s
Lock-to-lock time	6.300m
Curb to Curb Turning Radius	



Passenger Car	5.600m
Overall Length	2.000m
Overall Width	1.555m
Overall Body Height	0.340m
Min Body Ground Clearance	2.000m
Track Width	4.00s
Lock-to-lock time	6.300m
Curb to Curb Turning Radius	

1 TURNING TEMPLATE - Car Entering
A102 | 1:300

2 TURNING TEMPLATE - Car Exiting
A102 | 1:300

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6 2023.10.10 ISSUED FOR SITE PLAN CONTROL 2
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OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

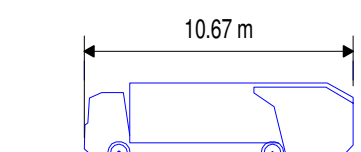
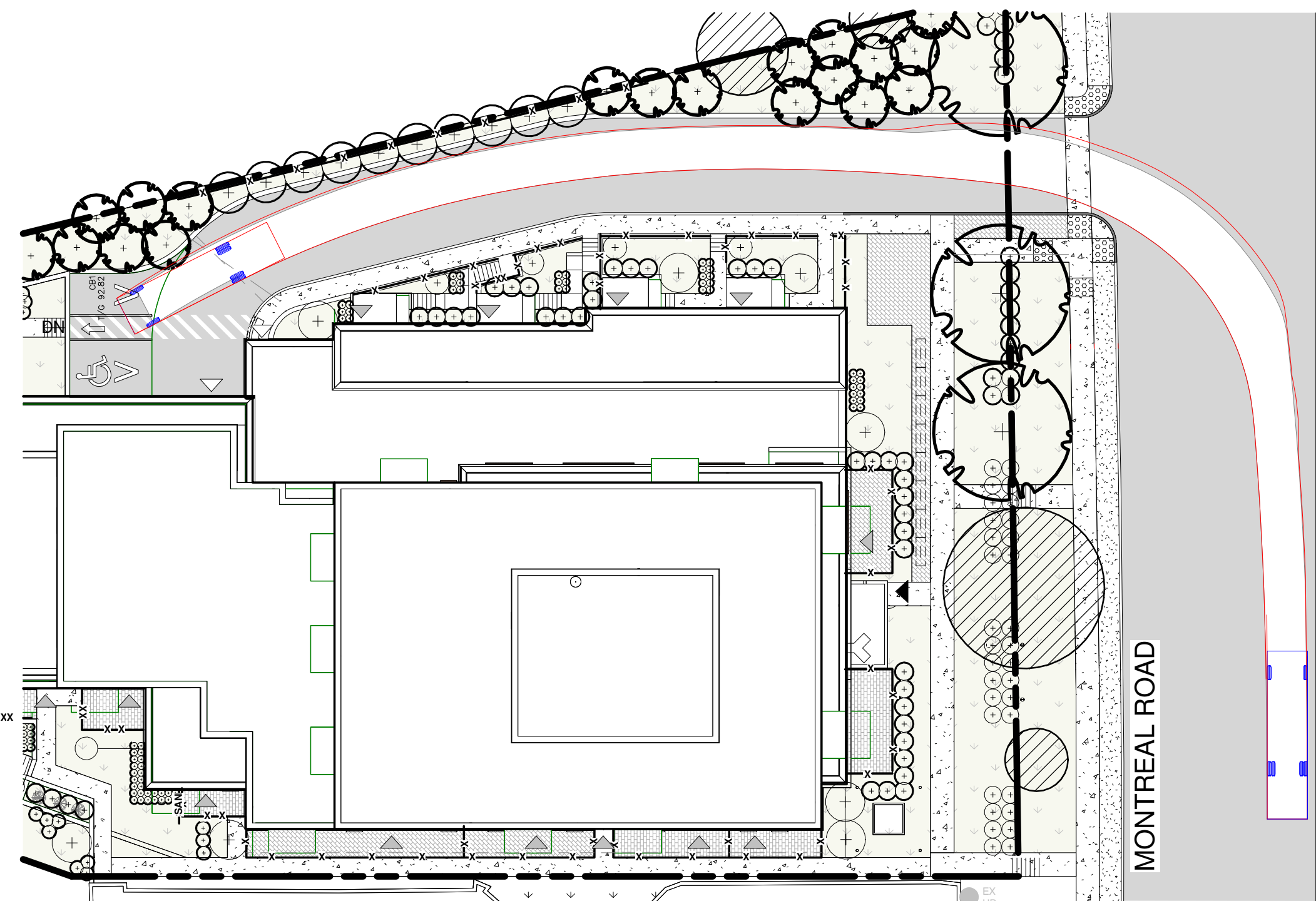
1815 MONTREAL ROAD

TITLE
**SITE ACCESS/
TURNING TEMPLATES**

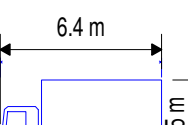
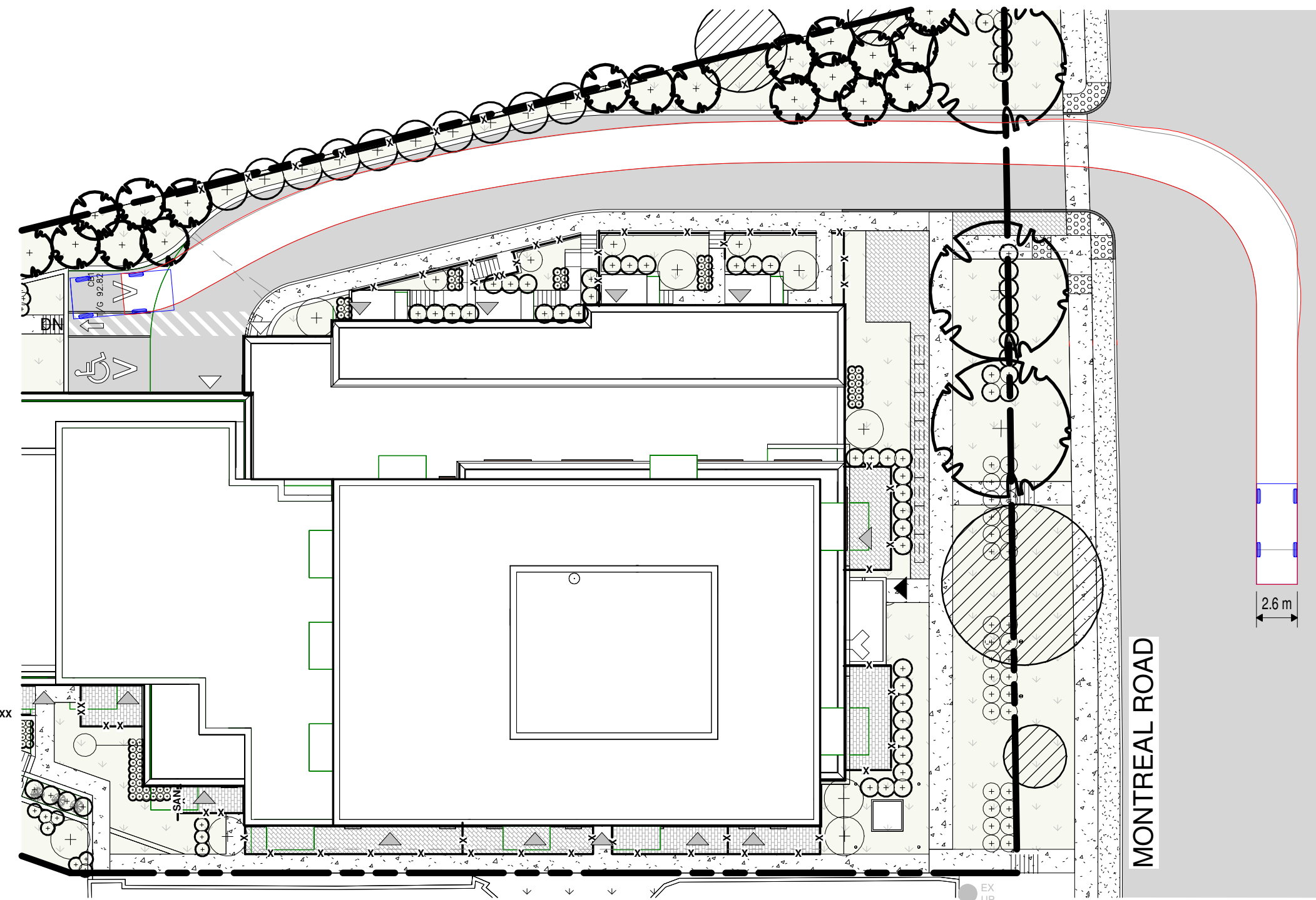
PROJECT NO: 222450
DRAWN: Author
APPROVED: Approver
SCALE: 1:300
DATE PRINTED: 10/10/2023 1:54:25 PM

REV DRAWING NO.

6 A102



Front-Load Garbage Truck	10.668m
Overall Length	2.535m
Overall Width	3.215m
Overall Body Height	0.305m
Min Body Ground Clearance	2.535m
Track Width	6.00s
Lock-to-lock time	8.931m
Curb to Curb Turning Radius	



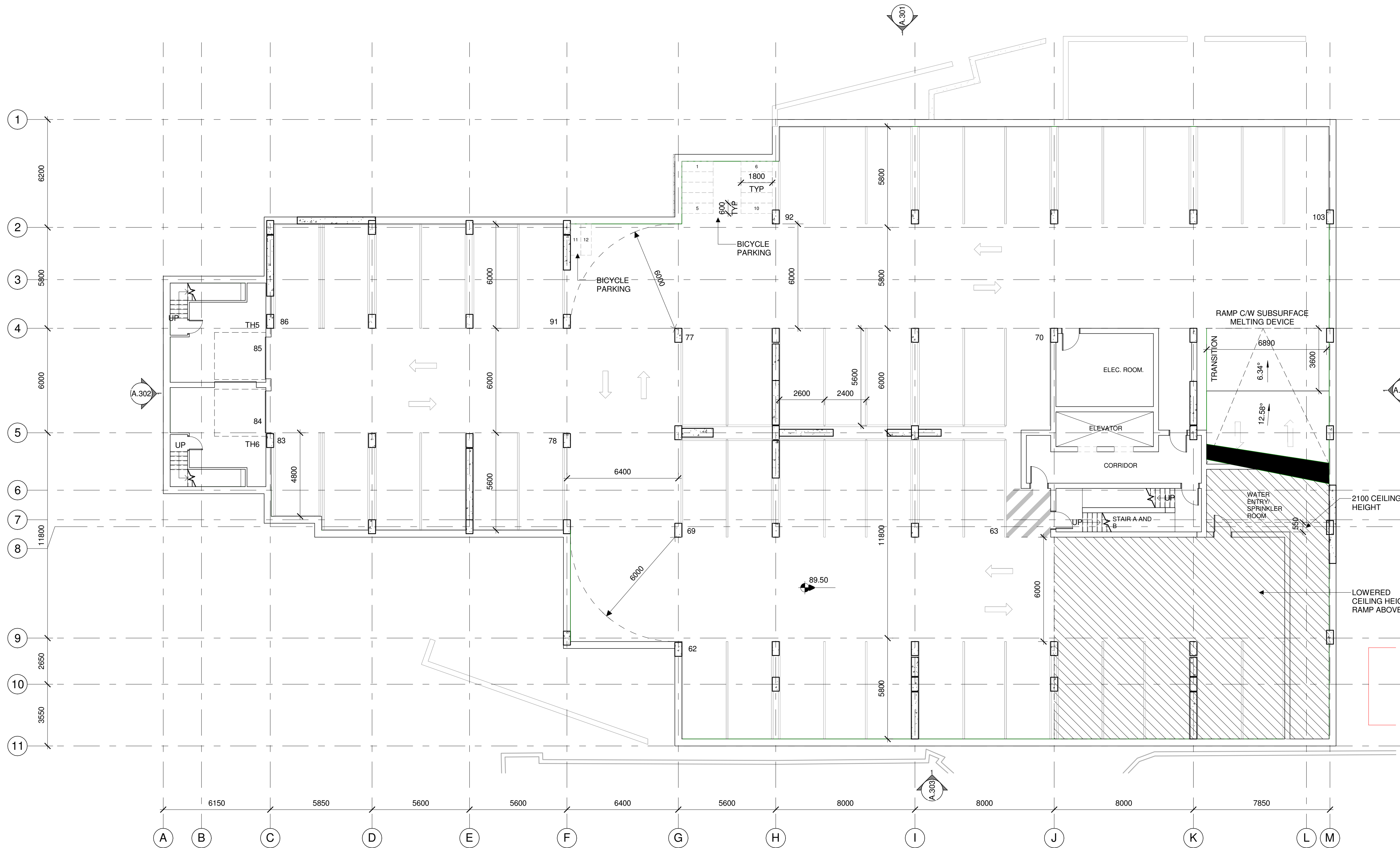
LSU - Light Single Unit Truck	6.400m
Overall Length	2.600m
Overall Width	3.650m
Overall Body Height	0.445m
Min Body Ground Clearance	2.600m
Track Width	4.00s
Lock-to-lock time	6.300m
Curb to Curb Turning Radius	

3 TURNING TEMPLATE - Garbage
A102 | 1:300

4 TURNING TEMPLATE - U-Haul
A102 | 1:300

Resident	
18	COMPACT
70	NORMAL
Visitor	
2	BF PARKING
5	COMPACT
11	NORMAL
106	

Bike Parking	71
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OTTAWA
ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

**PARKING LEVEL 2
PLAN**

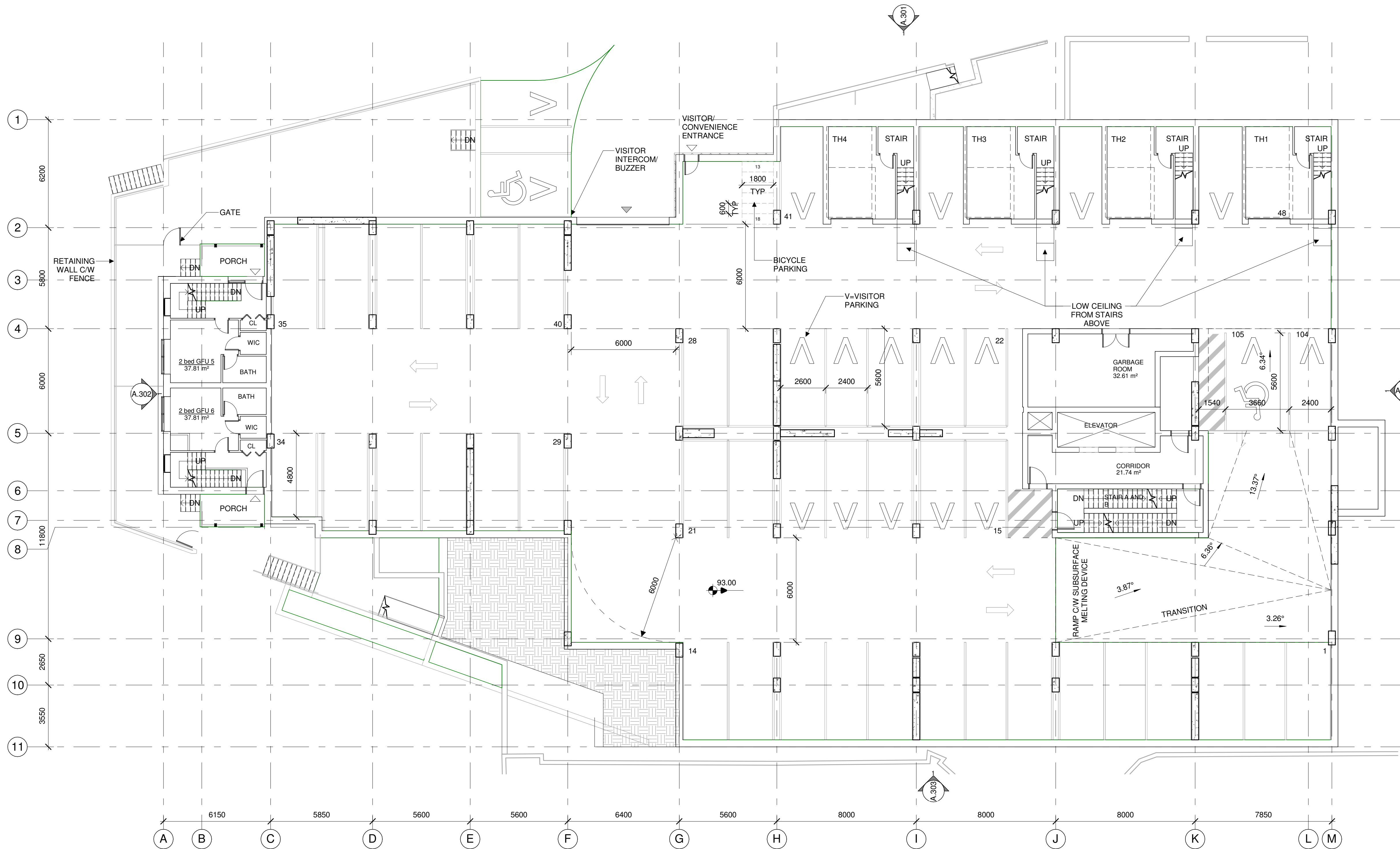
PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: 1 : 125
DATE PRINTED: 10/10/2023 1:54:25 PM

REV DRAWING NO.

6 **A.201**

Resident	
18	COMPACT
70	NORMAL
Visitor	
2	BF PARKING
5	COMPACT
11	NORMAL
106	

Bike Parking	71
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PROJECT

1815 MONTREAL ROAD

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TITLE

**PARKING LEVEL 1
PLAN**

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
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6

A.202



STAMP

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2023 04 03	ISSUED FOR REVIEW

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OTTAWA
 ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

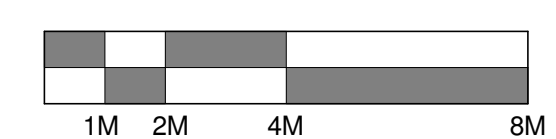
1815 MONTREAL ROAD

TITLE
1st FLOOR PLAN

PROJECT NO: 222450
 DRAWN: R.R.
 APPROVED: D.H.
 SCALE: 1 : 125
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REV DRAWING NO.

6 **A.211**





PARIPET EXTENDING 2M ABOVE ROOF DECK TO PROVIDE NOSE BARRIER



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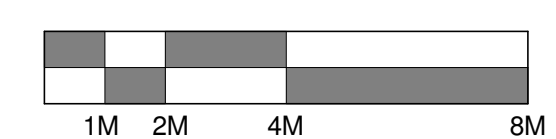
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PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE
2nd FLOOR PLAN

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
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REV DRAWING NO.

6 A.212



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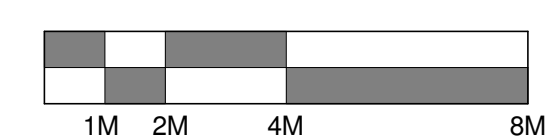
OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE
3rd FLOOR PLAN

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: 1 : 125
DATE PRINTED: 10/10/2023 1:54:33 PM



REV DRAWING NO.

6 A.213



STAMP

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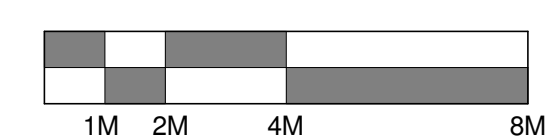
OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE
4th FLOOR PLAN

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: 1 : 125
DATE PRINTED: 10/10/2023 1:54:35 PM



REV DRAWING NO.

6 A.214



STAMP

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4	2023.05.25 ISSUED FOR COORDINATION
3	2023.05.04 ISSUED FOR COORDINATION
2	2023.04.18 ISSUED FOR COORDINATION
1	2023.04.03 ISSUED FOR REVIEW

NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
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CLIENT

OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

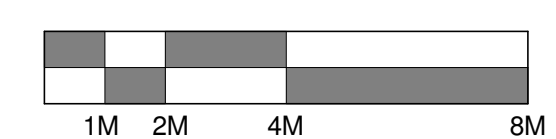
1815 MONTREAL ROAD

TITLE
5th FLOOR PLAN

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: 1 : 125
DATE PRINTED: 10/10/2023 1:54:38 PM

REV DRAWING NO.

6 **A.215**





STAMP

REV DATE	ISSUE
6 2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
5 2023.05.26	ISSUED FOR SITE PLAN CONTROL
4 2023.05.25	ISSUED FOR COORDINATION
3 2023.05.04	ISSUED FOR COORDINATION
2 2023.04.18	ISSUED FOR COORDINATION
1 2023.04.03	ISSUED FOR REVIEW

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CLIENT

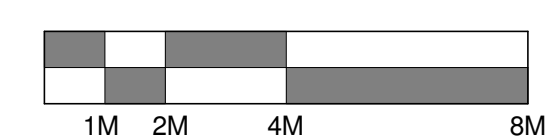
OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE
6th FLOOR PLAN

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: 1 : 125
DATE PRINTED: 10/10/2023 1:54:40 PM



REV DRAWING NO.

6 A.216



STAMP

REV	DATE	ISSUE
6	2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
5	2023.05.26	ISSUED FOR SITE PLAN CONTROL
4	2023.05.25	ISSUED FOR COORDINATION
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1	2023.04.03	ISSUED FOR REVIEW

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CLIENT

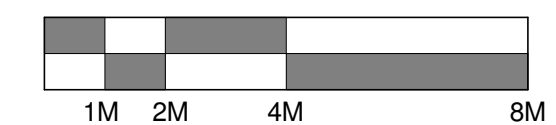
OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE
7th FLOOR PLAN

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: 1 : 125
DATE PRINTED: 10/10/2023 1:54:42 PM



REV DRAWING NO.

6 **A.217**



STAMP

REV	DATE	ISSUE
6	2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
5	2023.05.26	ISSUED FOR SITE PLAN CONTROL
4	2023.05.25	ISSUED FOR COORDINATION
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CLIENT

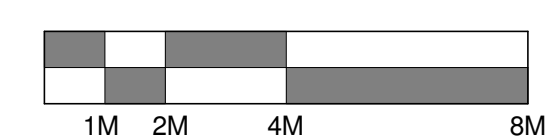
OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE
8th FLOOR PLAN

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: 1 : 125
DATE PRINTED: 10/10/2023 1:54:44 PM



REV DRAWING NO.

6 **A.218**



STAMP

REV	DATE	ISSUE
6	2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
5	2023.05.26	ISSUED FOR SITE PLAN CONTROL
4	2023.05.25	ISSUED FOR COORDINATION
3	2023.05.04	ISSUED FOR COORDINATION
2	2023.04.18	ISSUED FOR COORDINATION
1	2023.04.03	ISSUED FOR REVIEW

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CLIENT

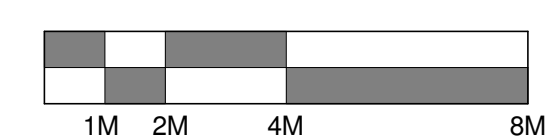
OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD

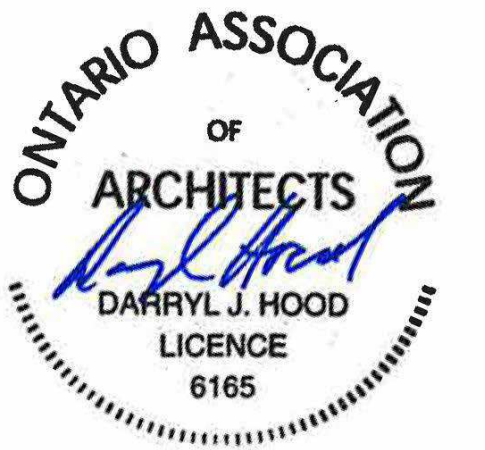
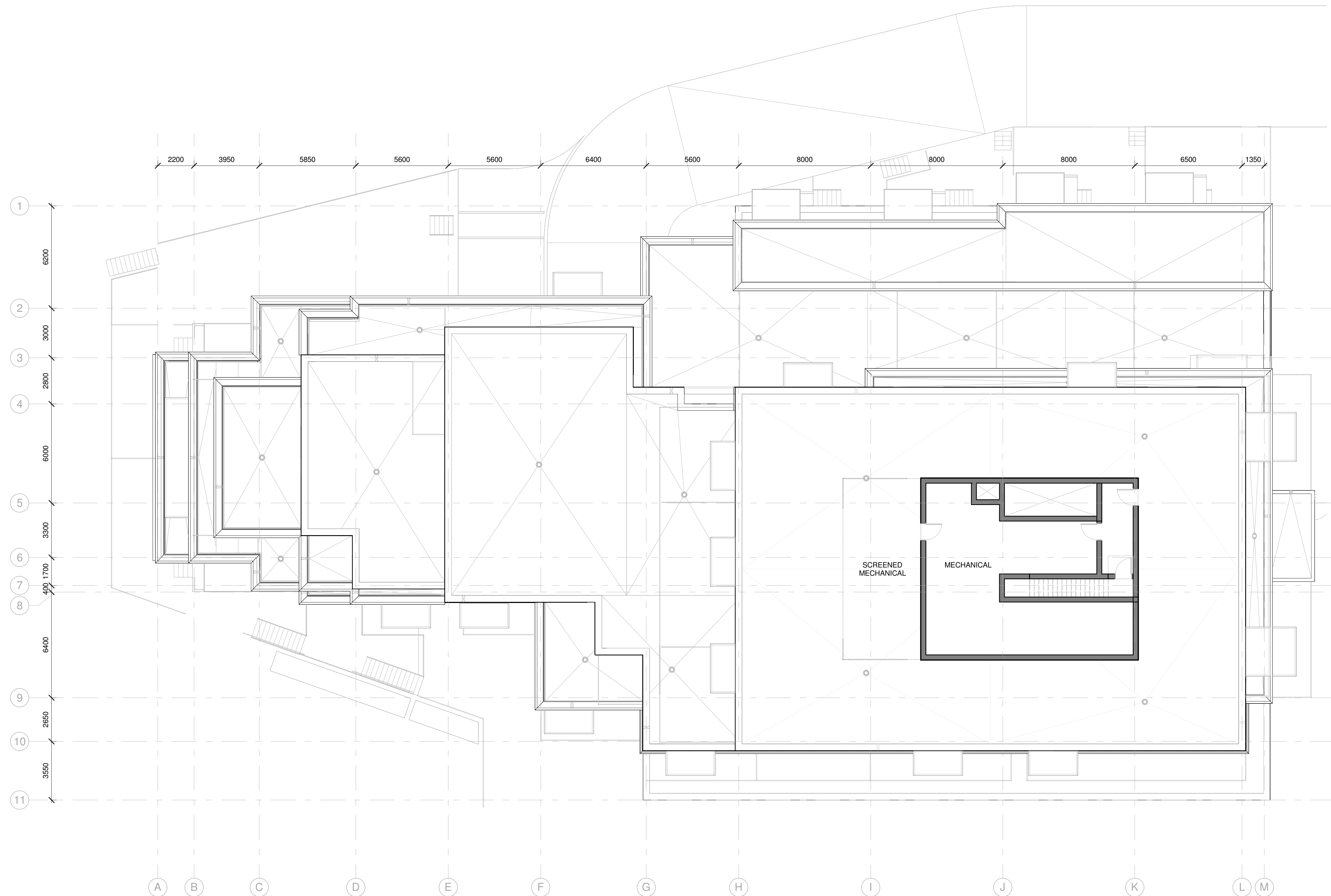
TITLE
9th FLOOR PLAN

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: 1 : 125
DATE PRINTED: 10/10/2023 1:54:45 PM



REV DRAWING NO.

6 A.219



STAMP

REV	DATE	ISSUE
6	2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
5	2023.05.26	ISSUED FOR SITE PLAN CONTROL
4	2023.05.25	ISSUED FOR COORDINATION
3	2023.05.04	ISSUED FOR COORDINATION
2	2023.04.18	ISSUED FOR COORDINATION
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CLIENT

OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

PENTHOUS PLAN

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: 1 : 125
DATE PRINTED: 10/10/2023 1:54:48 PM

REV DRAWING NO.

6 A.219a

ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

BIRD-SAFE GLASS TO BE USED AT A MIN. 90% OF ALL GLASS WITHIN THE FIRST 16M ABOVE AVERAGE GRADE (OR TO THE HEIGHT OF THE ADJACENT MATURE TREES)

ELEVATION KEYNOTES:

- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT MULTI LINE
- # SAMPLE TEXT

ELEVATION LEGEND:

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
		BRICK VENEER MANUFACTURER: COLOUR:
		STONE VENEER - BLOCK MANUFACTURER: COLOUR:
		FIBERCEMENT CLADDING MANUFACTURER: COLOUR:



STAMP

REV	DATE	ISSUE
6	2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
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CLIENT

OTTAWA
ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

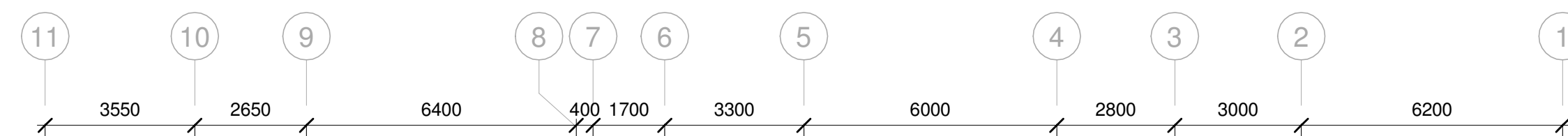
SOUTH ELEVATION

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: As indicated
DATE PRINTED: 10/10/2023 1:55:07 PM

REV DRAWING NO.

6

A.300



1 SOUTH ELEVATION
A.300 1:125

ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

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ELEVATION KEYNOTES:

- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT MULTI LINE
- # SAMPLE TEXT

ELEVATION LEGEND:

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HATCH	SYMBOL	DESCRIPTION
		BRICK VENEER MANUFACTURER: COLOUR:
		STONE VENEER - BLOCK MANUFACTURER: COLOUR:
		FIBERCEMENT CLADDING MANUFACTURER: COLOUR:



STAMP

REV	DATE	ISSUE
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CLIENT

OTTAWA
 ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

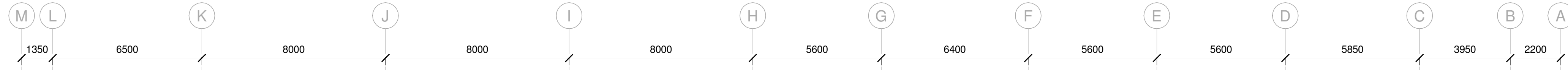
TITLE

EAST ELEVATION

PROJECT NO: 222450
 DRAWN: R.R.
 APPROVED: D.H.
 SCALE: As indicated
 DATE PRINTED: 10/10/2023 1:55:27 PM

REV DRAWING NO.

6 A.301



1 EAST ELEVATION
 A.301 | 1:125

ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

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ELEVATION KEYNOTES:

- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT MULTI LINE
- # SAMPLE TEXT

ELEVATION LEGEND:

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HATCH	SYMBOL	DESCRIPTION
		BRICK VENEER MANUFACTURER: COLOUR:
		STONE VENEER - BLOCK MANUFACTURER: COLOUR:
		FIBERCEMENT CLADDING MANUFACTURER: COLOUR:



STAMP

REV	DATE	ISSUE
6	2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
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CLIENT

OTTAWA
ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

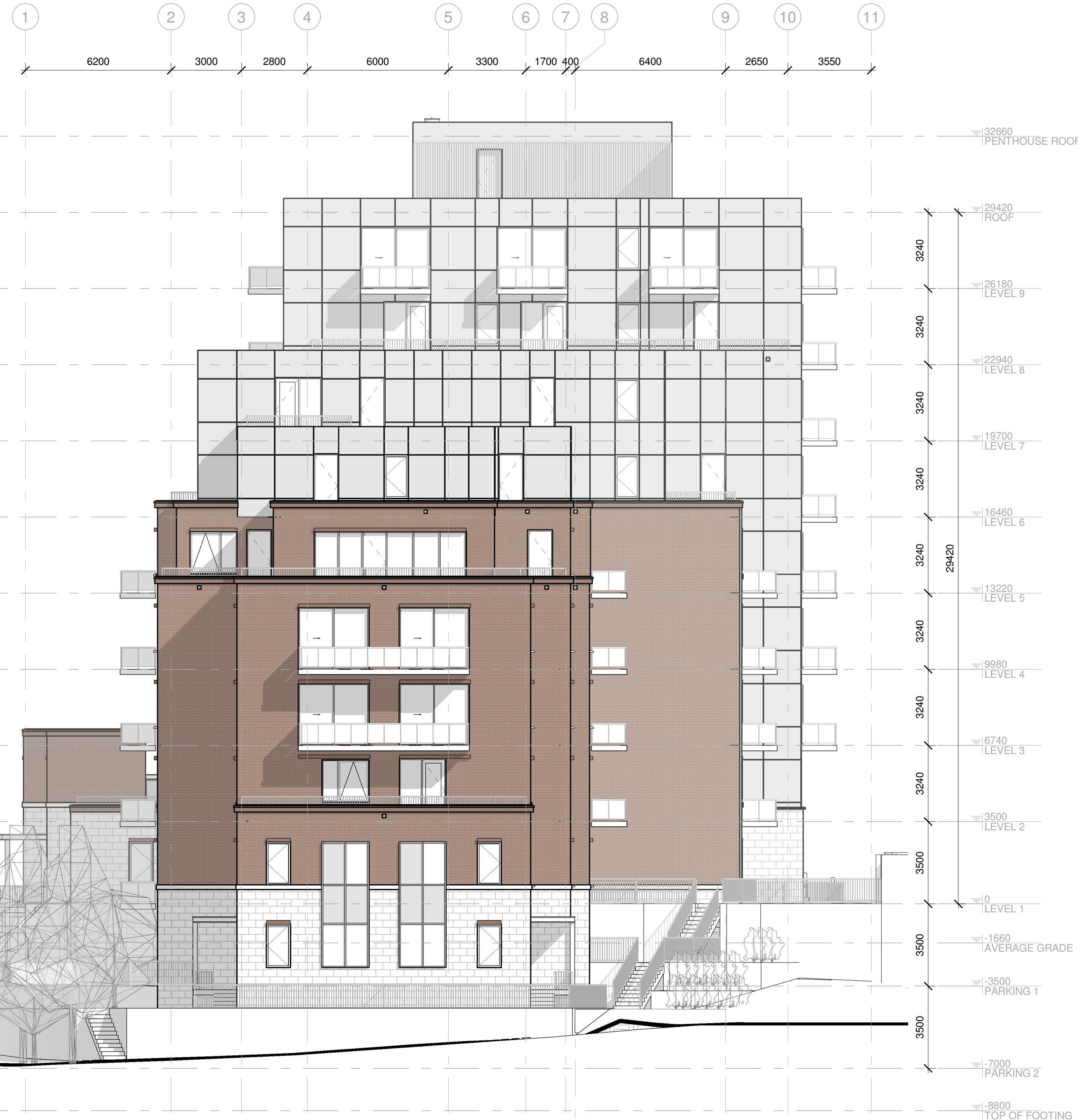
TITLE

NORTH ELEVATION

PROJECT NO: 222450
 DRAWN: R.R.
 APPROVED: D.H.
 SCALE: As indicated
 DATE PRINTED: 10/10/2023 1:55:47 PM

REV DRAWING NO.

6 **A.302**



1 NORTH ELEVATION
 A.302 | 1:125

ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

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ELEVATION KEYNOTES:

- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT MULTI LINE
- # SAMPLE TEXT

ELEVATION LEGEND:

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HATCH	SYMBOL	DESCRIPTION
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		STONE VENEER - BLOCK MANUFACTURER: COLOUR:
		FIBERCEMENT CLADDING MANUFACTURER: COLOUR:



STAMP

REV	DATE	ISSUE
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CLIENT

OTTAWA
ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

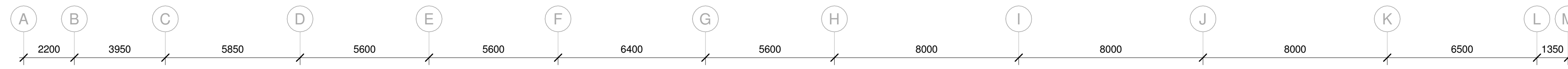
TITLE

WEST ELEVATION

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: As indicated
DATE PRINTED: 10/10/2023 1:56:09 PM

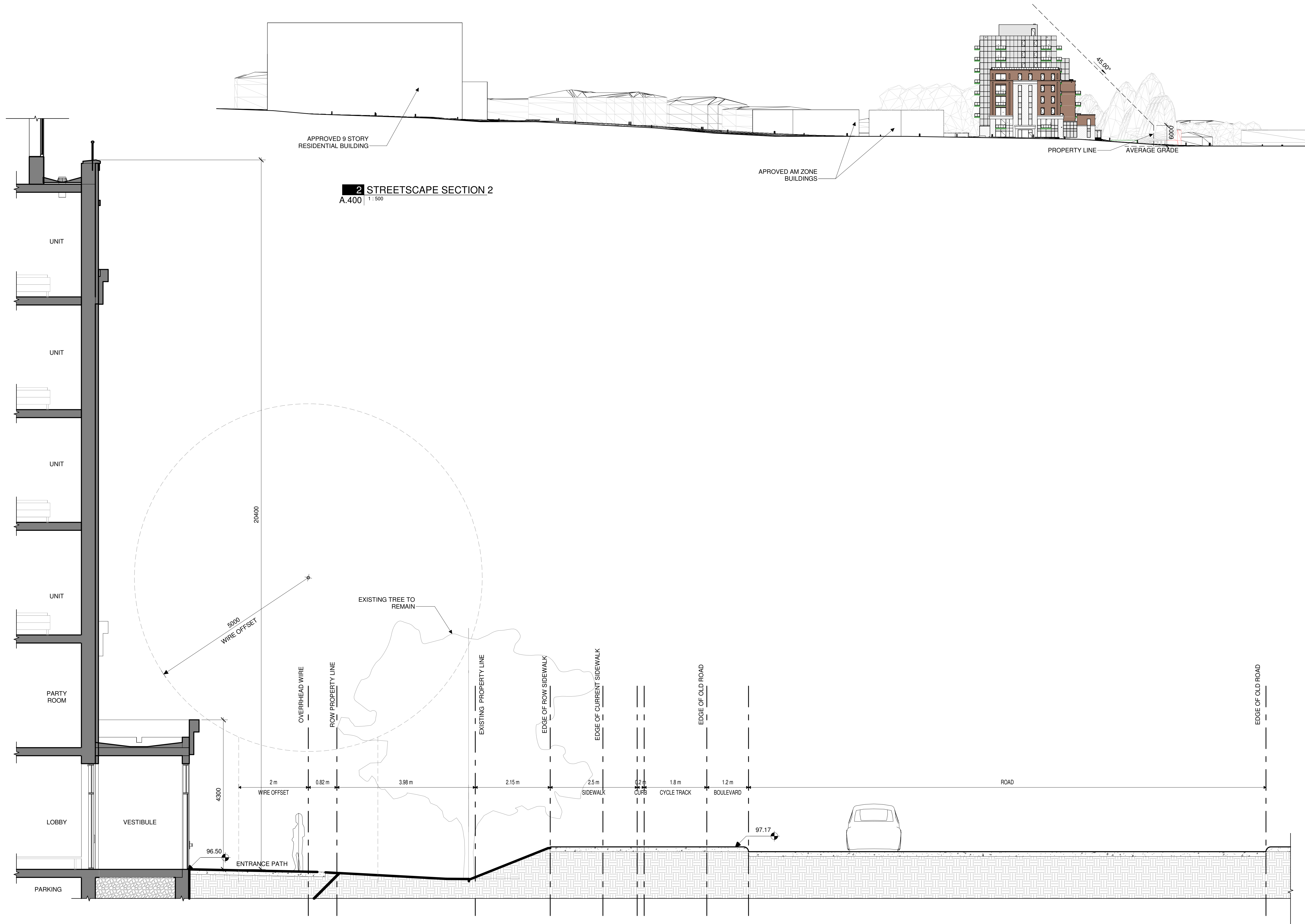
REV DRAWING NO.

6 **A.303**



- 32660 PENTHOUSE ROOF
- 29420 ROOF
- 26180 LEVEL 9
- 22940 LEVEL 8
- 19700 LEVEL 7
- 16480 LEVEL 6
- 13220 LEVEL 5
- 9980 LEVEL 4
- 6740 LEVEL 3
- 3500 LEVEL 2
- 0 LEVEL 1
- 1660 AVERAGE GRADE
- 3500 PARKING 1
- 7000 PARKING 2
- 8800 TOP OF FOOTING

1 WEST ELEVATION
A.303 1:125



2 STREETScape SECTION 2
A.400 | 1:500

1 STREETScape SECTION 1
A.400 | 1:50



STAMP

6	2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
5	2023.05.26	ISSUED FOR SITE PLAN CONTROL
REV DATE	ISSUE	



NOTES

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CLIENT

OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE
STREETScape SECTIONS

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: As indicated
DATE PRINTED: 10/10/2023 1:56:13 PM

REV DRAWING NO.

6 A.400