

1 SITE PLAN A100 1:250

LEGAL DESCRIPTION: LOT 141 REGISTERED PLAN 652 CITY OF OTTAWA

REFERENCE SURVEY:

BASED ON INFORMATION FROM A SURVEY PREPARED BY R.P., J.D. BARNES LIMITED. DATED: 3RD DAY OF OCTOBER, 2022.

MUNICIPAL ADDRESS:

1815 MONTREAL ROAD, CITY OF OTTAWA, ON

DEVELOPMENT INFORMATION:

	NFORMATION.
SITE AREA	4,215 m ²
BUILDING FOOTPRIN	IT 1,902 m ²
LOT COVERAGE	= 45%
GROSS FLOOR AREA (1st FLOOR - 9th FLO	,
BUILDING HEIGHT	+/-31m

ZONE

SCHEDULE 1:

SCHEDULE 1A: SCHEDULE 2:

Proposed - AM10 Current - R1AA AREA C "URBAN AND GREEN BELT AREA" AREA C "SUBURBAN" DISTANCE EXCEEDS 600 m

<u>UNIT MIX</u>	
1 BED APT	54
2 BED APT	55
3 BED APT	2
GFU*	6
BACH	13
TOTAL	130
DENSITY	[]
SITE AREA (m ²)	4352
SITE AREA (Ha)	0.4352
DENSITY du/Ha	299
*GROUND FACING UNIT	

MIN. LOT AREA NO MINIMUM 4215m² AFTER ROW MIN. FRONT YARD SETBACK 3m 5.6m ROW DEDICATION 17.75m FROM CENTERLINE (2.39m) 2.4m HYDRO SETBACK 5m 5m MIN. REAR YARD SETBACK 5m 5m MIN. INTERIOR SIDE YARD ABUTTING A RESIDENTIAL ZONE 7.5m 7.5m MIN. INTERIOR SIDE YARD ABUTTING A RESIDENTIAL ZONE 0M 3.0M Maximum Building Height (m) Up to 20 meters in all other cases 11m East: 24.8m West: 31.28m Maximum Building Height (m) Up to 20 meters in all other cases 11m East: 24.8m West: 31.28m In all other cases 30m, max. 9 storeys. 31.28m Landscaped Area Abutting a In all other cases Min 3 m; reduced to is provided East: 1.0m, in where 1.4 m high paceue 1all other cases 30m, max. 9 storeys. In all other cases No minimum 1m where i.14 m high paceue East: 1.0m, in where i.14 m high paceue East: 1.0m, in where i.14 m paceue 1f outdoor: Located within 9m from any other is provided	ZONING PROV	ISION	REQUIRED	PROVIDED	ZONING PRO	VISION	REQUIRED	PROVIDED
MIN. LOT AREA NO MINIMUM 4215m² AFTER ROW Requirements In all other cases No munual aggregated into an aggregated into aggregated in	MIN. LOT WIDT	Ή	NO MINIMUM	54.9m AFTER ROW		6m ² per dwelling u	init.	Balconies= 805.7
MIN. FRONT YARD SETBACK 3m 5.6m ROW DEDICATION REQUIREMENT 17.75m FROM CENTERLINE (2.39m) 2.4m aggregated area is provided, at least one must be minimum 54m² = 780 m² Rootop Terraco (2° and 7° floor): 135 m² HYDRO SETBACK 5m 5m floor): 135 m² Outdoor Private Pailo (ground floor): 127 m² MIN. REAR YARD SETBACK 7.5m 7.5m 7.5m ABUTTING A RESIDENTIAL ZONE Interior amenity space = 249.83 m² MIN. INTERIOR SIDE YARD ABUTTING A RESIDENTIAL ZONE 0M 3.0M Total amenity area= 2,087.2 m² Maximum Building Height (m) (height is from average grade) Up to 20 meters Zone 11m East:24.8m West: 31.28m PARKING QUEING + LOADING REQUIRED RESIDENTIAL SPACES 156 88 TOTAL (11) 5.2m × 2.6m 30m from property line abutting 1R-R4 Zone 30m, max. 9 storeys. 31.28m VISITOR SPACES 26 18 TOTAL (11) 5.2m × 2.6m Landscaped Area Abutting a residential zone Min 3 m; reduced to lis provided 1.4m opaque fence is provided 14m opaque fence is provided If outdoor: Located within 9m from tot line dabutting a public street, 3m from any other lis provided Pickup staging o bottom of ramp opaque streen of minimum height of 2m.	MIN. LOT AREA	A	NO MINIMUM	4215m ² AFTER ROW				
ROW DEDICATION 17.75m FROM CENTERLINE (2.39m) 2.4m CENTERLINE (2.39m) 10007:135 m² HYDRO SETBACK 5m 5m 5m MIN. REAR YARD SETBACK 5m 5m MIN. INTERIOR SIDE YARD 7.5m 7.5m ABUTTING A RESIDENTIAL ZONE 7.5m 7.5m MIN. INTERIOR SIDE YARD ABUTTING A RESIDENTIAL ZONE 0M 3.0M Maximum Building Height (m) (height is from average grade) Up to 20 meters Zone 11m East:24.8m West: 31.28m Maximum Building Height (m) (height is from average grade) Up to 20 meters Zone 11m East:24.8m West: 31.28m Jama average grade) 20m to 30m from R1-R3 Zone 20m 31.28m Jama average grade) 30m, max.9 storeys. 31.28m Landscaped Area Min 3 m; reduced to residential zone East: 1.0m, 1 m where 1 4 m high opaque fence is provided 1.4m opaque fence is provided In all other cases No minimum 1.4m opaque fence is provided 1 for utdoor: Located within 9m from tot tim is provided Foution; a conter of trango outside garage Collection	MIN. FRONT YA	ARD SETBACK	3m	5.6m		aggregated area is	s provided, at least one	Rooftop Terrace
HYDRO SETBACK 5m 5m 5m floor): 127 m² MIN. REAR YARD SETBACK 7.5m 45.5m Interior amenity space = 249.32 m² Interior amenity space = 249.32 m² m² MIN. INTERIOR SIDE YARD 7.5m 7.5m 7.5m Rear Yard Area 770.2 m² MIN. INTERIOR SIDE YARD ABUTTING AN AM ZONE 0M 3.0M Total amenity area = 2.087.2 m² Total amenity area = 2.087.2 m² Maximum Building Height (m) Up to 20 meters Zone 11m East:24.8m West: 31.28m Total amenity area = 2.087.2 m² Min. Sin Trom average grade) 20m to 30m from R1.R2, R3 Zone 20m 31.28m Total amenity area = 2.087.2 m² Maximum Average grade) 20m to 30m from R1.R2, R3 Zone 20m 31.28m VISITOR SPACES 156 88 TOTAL (18) 6m x 2.4m (70) 6m x 2.6m (70) 6m x 2.6m (70) 6m x 2.6m (2) BF 6m x 3.66m VISITOR SPACES 26 18 TOTAL (2) BF 6m x 3.66m VISITOR SPACES 26 Total : 71 P2 Residential: 12 @P2 Re			CENTERLINE	2.4m		(Can count toward		floor): 135 m ² Outdoor Private
Min. INTERIOR SIDE YARD ABUTTING A RESIDENTIAL ZONE 7.5m 7.5m 7.5m Space = 249.82 m ² Min. INTERIOR SIDE YARD ABUTTING AN AM ZONE 0M 3.0M Rear Yard Area 770.2 m ² Maximum Building Height (m) (m) (m) (height is from average grade) Up to 20 meters Zone 11m East:24.8m West: 31.28m PARKING QUEING + LOADING REQUIRED PROVIDED Maximum Building Height (m) (height is from average grade) 20m to 30m from R1-R3 Zone 20m 31.28m 31.28m RESIDENTIAL SPACES 156 88 TOTAL (18) 6m x 2.4m (70) 6m x 2.6m 30m from average grade) 30m, from 20m 30m, max.9 storeys. Storeys. Storeys. 14m opaque fence is provided VISITOR SPACES 26 18 TOTAL (19) 5cm x 2.6m Landscaped Area Abutting a residential zone Min 3 m; reduced to 1 m where 1.4 m high opaque fence is provided East: 1.0m. 1.4m opaque fence is provided East: 1.0m. 1.4m opaque fence is provided If outdoor: Located within 9m from lot line abutting a public street, 3m from any other lot line, and socreened from view with an outside garage Collection Visitors 2.0m (Storey acces rear of minimum height of 2m.	HYDRO SETBA	СК	5m	5m				
MIN. INTERIOR SIDE YARD 7.5m	MIN. REAR YAR	RD SETBACK	7.5m	45.5m				Interior amenity
MIN. INTERIOR SIDE YARD ABUTTING AN AM ZONE OM 3.0M Maximum Building Height (m) (height is from average grade) Up to 20 meters from a R1, R2, R3 Zone 11m East:24.8m West: 31.28m Im East:24.8m West: 31.28m Total amenity area= 2,087.2 m Maximum Building Height (m) average grade) 20m to 30m from R1-R3 Zone 20m 31.28m 31.28m Im East:24.8m West: 31.28m PARKING QUEING + LOADING (18) 6m x 2.4m (70) 6m x 2.6m PROVIDED 30m from average grade) 30m from R1-R3 Zone 30m, max.9 storeys. 31.28m Storeys. Storeys. Storeys. Storeys. Storeys. 26 18 TOTAL (11) 5.2m x 2.6m Storeys. Landscaped Area Abutting a residential zone Min 3 m; reduced to 1 m where 1.4 m high opaque fence is provided East: 1.0m. 1.4m opaque fence is provided East: 1.0m. 1.4m opaque fence is provided If outdoor: Located within 9m from lot line abutting a public street, 3m from any other oto and papea screen of minimum height of 2m. Pickup staging a botom of ramp outside garage entrance				7.5m				
Maximum Building Height (m) (height is from average grade) Up to 20 meters from a R1, R2, R3 Zone 11m East:24.8m West: 31.28m PARKING QUEING + LOADING REQUIRED PROVIDED 20m to 30m from average grade) 20m to 30m from R1-R3 Zone 20m 31.28m 31.28m RESIDENTIAL SPACES 156 88 TOTAL (18) 6m x 2.4m (70) 6m x 2.6m 30m from property line abutting R1-R4 Zone 30 m, max. 9 storeys. 30m, max. 9 storeys. VISITOR SPACES 26 18 TOTAL (11) 5.2m x 2.6m Landscaped Area Abutting a residential zone Min 3 m; reduced to is provided East: 1.0m. 1.4m opaque fence is provided East: 1.0m. 1.4m opaque fence is provided If outdoor: Located within 9m from lot line abutting a public street, 3m from any other collection Pickup staging a abutting a public street, 3m from any other collection Pickup staging a abutting a public street, 3m from any other collection Pickup staging a apaque screen of minimum height of 2m. Pickup staging a apaque screen of minimum height of 2m. Pickup staging a apaque screen of minimum height of 2m.	MIN. INTERIOR	SIDE YARD		3.0M				Rear Yard Area: 770.2 m ²
Maximum Building Height (m) (height is from average grade) Up to 20 meters from a R1, R2, R3 Zone 11m East:24.8m West: 31.28m PARKING QUEING + LOADING REQUIRED PROVIDED (m) (height is from average grade) 20m to 30m from R1-R3 Zone 20m 31.28m 31.28m RESIDENTIAL SPACES 156 88 TOTAL (18) 6m x 2.4m (70) 6m x 2.6m 30m from abutting R1-R4 Zone 30 m, max. 9 storeys. 30 m, max. 9 storeys. VISITOR SPACES 26 18 TOTAL (11) 5.2m x 2.6m Landscaped Area Abutting a residential zone Min 3 m; reduced to is provided East: 1.0m. 1.4m opaque fence is provided East: 1.0m. 1.4m opaque fence is provided BICYCLE PARKING 65 Total: 71 Residential: 42 @P2 Residential: 42 @L1 Waste / Landscaped Abutting a In all other cases No minimum East: 1.0m. high opaque fence is provided East: 1.0m. 1.4m opaque fence is provided If outdoor: Located within 9m from lot line abutting a public street, 3m from any other lot line, and screened from view with an location Pickup staging a abutting a public street, 3m from any other lot line, and screened from view with an location Pickup staging a abutting a public street, 3m from any other lot line, and screened from view with an location	[
(height is from average grade) 20m to 30m from R1-R3 Zone 20m 31.28m 31.28m RESIDENTIAL SPACES 156 88 TOTAL (18) 6m x 2.4m (70) 6m x 2.6m 30m from property line abutting R1-R4 Zone 30 m, max. 9 storeys. 30m, max. 9 storeys. 111 5.2m x 2.6m (21) 5.2m x 2.6m (21) 5.2m x 2.6m In all other cases 30m, max. 9 storeys. storeys. 16 6m x 2.4m (2) BF 6m x 3.66m Landscaped Area Abutting a residential zone is provided Min 3 m; reduced to is provided East: 1.0m. 1.4m opaque fence is provided. In all other cases No minimum No minimum East: 1.0m. 1.4m opaque fence is provided. If outdoor: Located within 9m from lot line Garbage opaque screen of minimum height of 2m. Pickup staging a outside garage opaque screen of minimum height of 2m.	Building Height	from a R1, R2, R3	11m		PARKING QUI	EING + LOADING	REQUIRED	
property line abutting R1-R4 Zone storeys. (11) 5.2m x 2.6m (5) 6m x 2.4m (2) BF 6m x 3.66m In all other cases 30m, max. 9 storeys. BICYCLE PARKING 65 Total: 71 Residential: 12 @P2 Residential: 45 @L1 Visitors: 8 Outside All spaces are 1.8m x 0.6 Landscaped Area Abutting a residential zone Min 3 m; reduced to 1 m where 1.4 m high opaque fence is provided East: 1.0m. 1.4m opaque fence is provided. BICYCLE PARKING 65 Total: 71 Residential: 12 @P2 Residential: 45 @L1 Visitors: 8 Outside All spaces are 1.8m x 0.6 Waste / In all other cases No minimum No minimum East: 1.0m. 1.4m opaque fence is provided. If outdoor: Located within 9m from lot line abutting a public street, 3m from any other lot line, and screened from view with an opaque screen of minimum height of 2m. Pickup staging a bottom of ramp outside garage entrance	(height is from	20m to 30m from	20m	31.28m	RESIDENTIAL	SPACES	(18) 6m x 2.4m
Landscaped Abutting a Min 3 m; reduced to East: 1.0m. Landscaped Abutting a Min 3 m; reduced to East: 1.0m. In all other cases No minimum In all other cases No minimum		property line abutting R1-R4			VISITOR SPAC	CES	(1	1) 5.2m x 2.6m (5) 6m x 2.4m
Landscaped Area Abutting a residential zone Min 3 m; reduced to 1 m where 1.4 m high opaque fence is provided East: 1.0m. 1.4m opaque fence is provided. Residential: 45 @L1 Visitors: 8 Outside All spaces are 1.8m x 0.6 In all other cases No minimum 1.4m opaque fence is provided. If outdoor: Located within 9m from lot line abutting a public street, 3m from any other Collection Location Pickup staging a bottom of ramp outside garage entrance		In all other cases	-		BICYCLE PAR	KING	Re	sidential: 12 @P2
Area 1 m where 1.4 m high opaque fence is provided 1.4m opaque fence is provided All spaces are 1.8m x 0.6 In all other cases No minimum 1.4m opaque fence is provided If outdoor: Located within 9m from lot line abutting a public street, 3m from any other lot line, and screened from view with an opaque screen of minimum height of 2m. Pickup staging a bottom of ramp outside garage entrance							Re	sidential: 45@L1
is provided is provided If outdoor: Located within 9m from lot line Pickup staging a bottom of ramp other In all other cases No minimum Collection If outdoor: Located within 9m from lot line Pickup staging a bottom of ramp outside garage Location Opaque screen of minimum height of 2m. Opaque screen of minimum height of 2m. Pickup staging a bottom of ramp outside garage			1 m where 1.4 m	1.4m opaque				
In all other cases No minimum Collection Location opaque screen of minimum height of 2m. entrance								
		In all other cases	No minimum		Collection	lot line, and screer	ned from view with an	outside garage
	TOTAL LANDS	CAPED AREA		1977M ²	Location	opaque screen of	minimum neight of 2m.	entrance

0 1M2M

10M

SITE PLAN GENERAL NOTES:

- 1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- 2. DO NOT SCALE THIS DRAWING 3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- 4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- 5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- 6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- 7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- 8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- 9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN KEYNOTES:

- 1 HYDRO-TRANSFORMER
- 2 6m WIDE FIRE TRUCK ACCESS C/W 12m CENTER TURNING RADIUS
- 3 UNDERGROUND PARKING ACCESS RAMP
- 4 DEPRESSED CURB
- 5 PRIVATE PATIO
- 6 PRIVACY FENCE
- 7 8 X VISITOR BIKE RACKS 1800x600 TYP
- 8 VISITOR PARKING SPACE / GARBAGE PICKUP
- 9 EXISTING RETAINING WALL
- 10 INTERLOCK AREA/ GARBAGE PICKUP
- 11 NEW ASPHALT LANEWAY
- 12 RETAINING WALL
- 13 GATE
- 14 BALCONIES ABOVE
- 15 ACCESS TO SITE DESIGNED AS PER CITY OF OTTAWA "CURB RETURN ENTRANCE" DWG. NO. SC7.1 "CURB RETURN AT A PRIVATE OR COMMERCIAL ENTRANCE WITH BOULEVARD - UNSIGNALIZED INTERSECTION"

CSV ARCHITECTS

sustainable design · conception écologique

613.564.8118 190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3 www.csv.ca

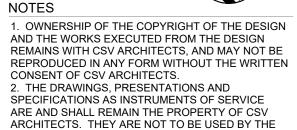
CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168



STAMP

6	2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
5	2023 05 26	ISSUED FOR SITE PLAN CONTROL
4	2023 05 25	ISSUED FOR COORDINATION
3	2023 05 04	ISSUED FOR COORDINATION
2	2023 04 18	ISSUED FOR COORDINATION
1	2023 04 03	ISSUED FOR REVIEW
RE	V DATE	ISSUE



- CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS. 3. THIS DRAWING IS TO BE READ IN CONJUNCTION
- WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.

4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE. 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

OTTAWA ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

SITE PLAN

PROJECT NO: 222450 DRAWN:

R.R. D.H. As indicated DATE PRINTED: 10/19/2023 2:53:00 PM

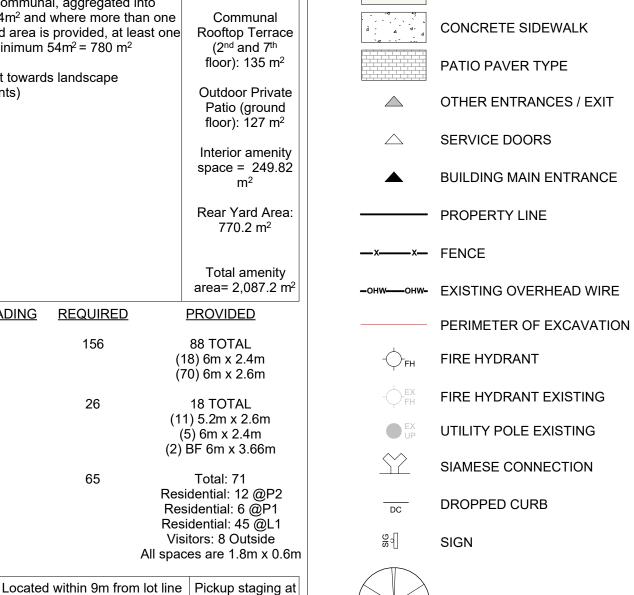
DRAWING NO.

A100



6





SITE PLAN LEGEND:

 \checkmark

 \checkmark

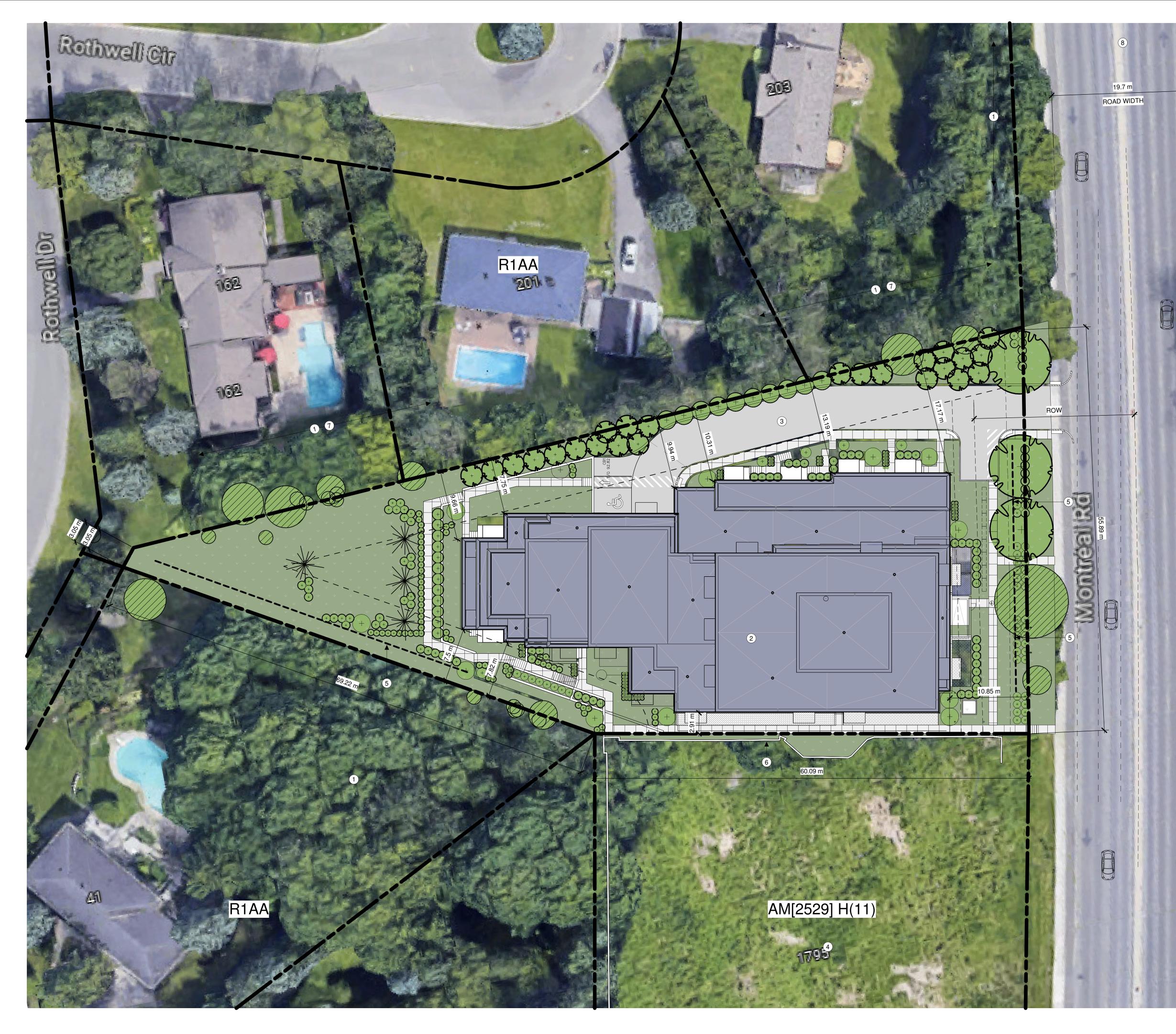
- EXISTING BUILDING
- ASPHALT PAVING
- PARKLAND AREA

NEW GRASS

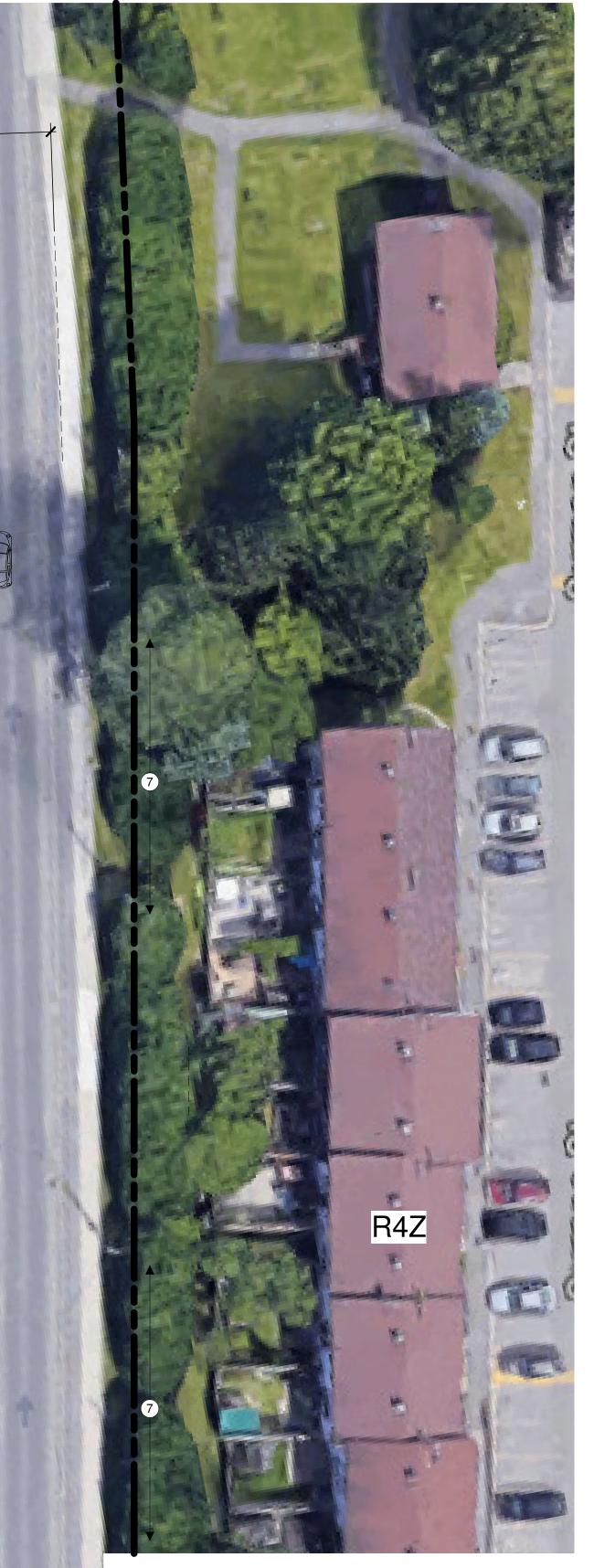
- CONCRETE SIDEWALK

- \bigtriangleup SERVICE DOORS
- BUILDING MAIN ENTRANCE
- $= \int_{H}^{EX} FIRE HYDRANT EXISTING$
- - SIAMESE CONNECTION
- DROPPED CURB
 - SIGN

NEW TREE



1SITE PLAN CONTEXTA1011:250



CSV ARCHITECTS

sustainable design · conception écologique 190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3 613.564.8118 www.csv.ca

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168



62023.10.10ISSUED FOR SITE PLAN CONTROL 252023 05 26ISSUED FOR SITE PLAN CONTROL REV DATE ISSUE NOTES OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE AND CALL DEMAND THE REPORT OF COV

SPECIFICATIONS AS INSTRUMENTS OF SERVICE
ARE AND SHALL REMAIN THE PROPERTY OF CSV
ARCHITECTS. THEY ARE NOT TO BE USED BY THE
CLIENT ON OTHER PROJECTS OR ON EXTENSIONS
TO THIS PROJECT WITHOUT THE WRITTEN
CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION
WITH ALL OTHER PROJECT DRAWINGS AND
SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL
BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE
ONTARIO BUILDING CODE AND ALL SUPPLEMENTS
AND APPLICABLE MUNICIPAL REGULATIONS

CLIENT

STAMP

OTTAWA ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

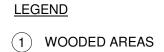
SITE PLAN CONTEXT

PROJECT NO: 222450 DRAWN: R.R. APPROVED: D.H. SCALE:

1 : 250 DATE PRINTED: 10/10/2023 1:54:18 PM

REV

DRAWING NO.

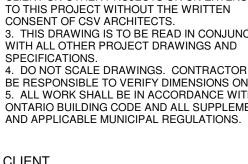


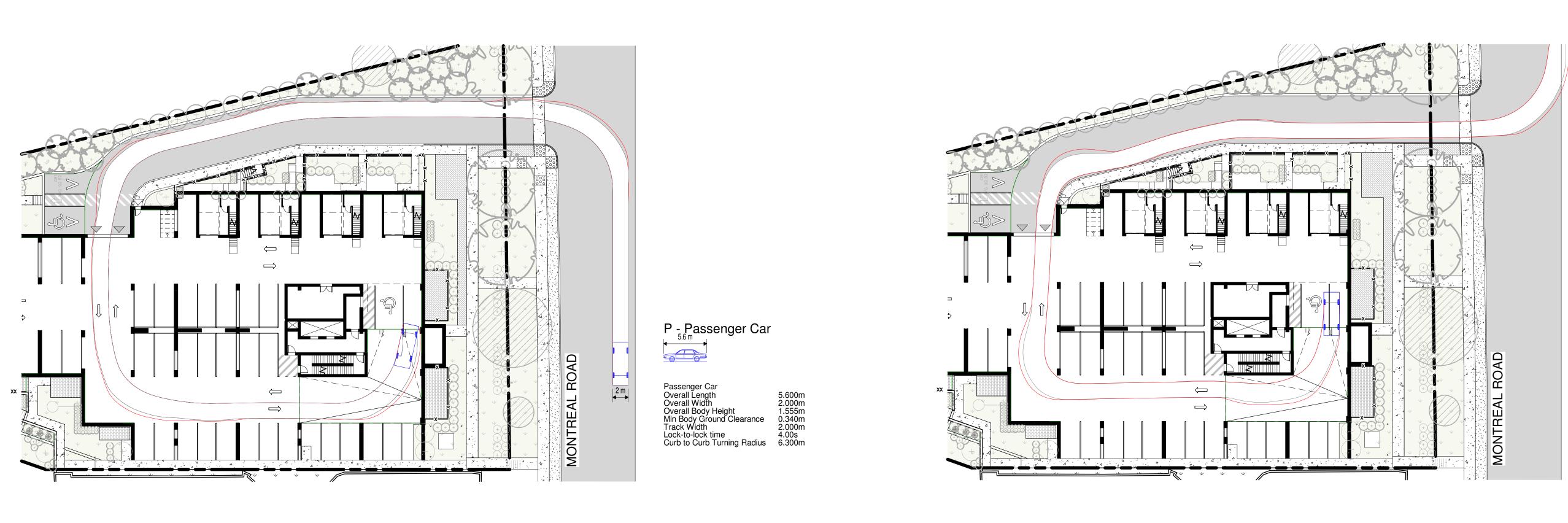
- 2 PROPOSED BUILDING
- 3 PROPOSED DRIVEWAY
- (4) VACANT SITE (APPROVED FOR WAREHOUSE + OFFICE BUILDING)
- 5 SWALE
- (6) EXISTING RETAINING WALL
- (7) TREES
- 8 PUBLIC TRAVELLED ROAD

<u>NOTE:</u> FOR DETAILED SITE LANDSCAPE PLEASE REFER TO A100, L1.1 FOR DETAILED GRADING PLEASE REFER TO C101, C102

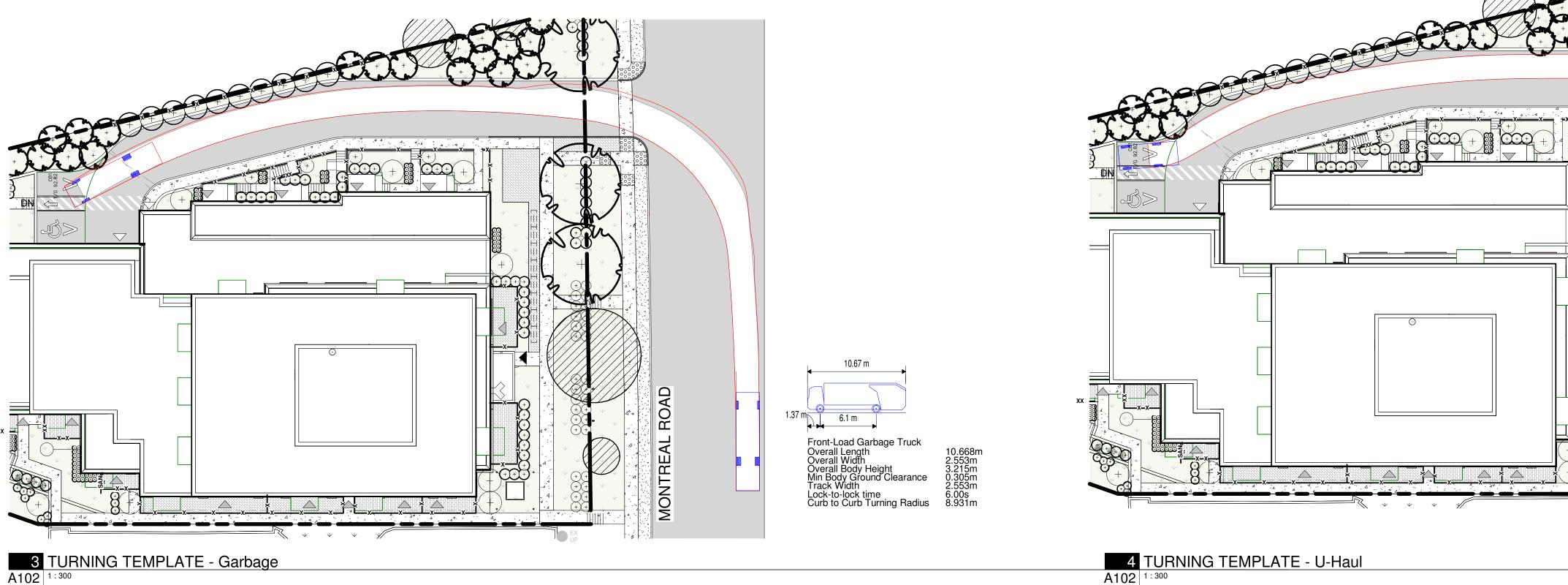
6

A101





¹ TURNING TEMPLATE - Car Entering A102 1:300







sustainable design · conception écologique 613.564.8118

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168

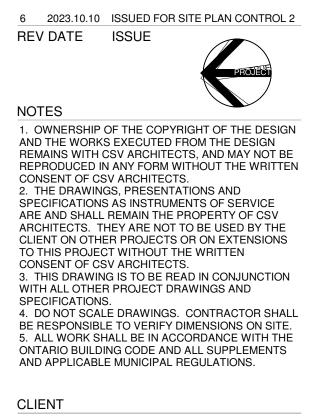


Passenger Car Overall Length Overall Width Overall Body Height Min Body Ground Clearance Track Width Lock-to-lock time Curb to Curb Turning Radius

5.600m 2.000m 1.555m 0.340m 2.000m 4.00s 6.300m



STAMP



OTTAWA ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

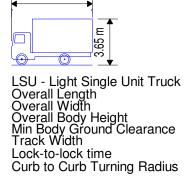
TITLE

SITE ACCESS/ **TURNING TEMPLATES**

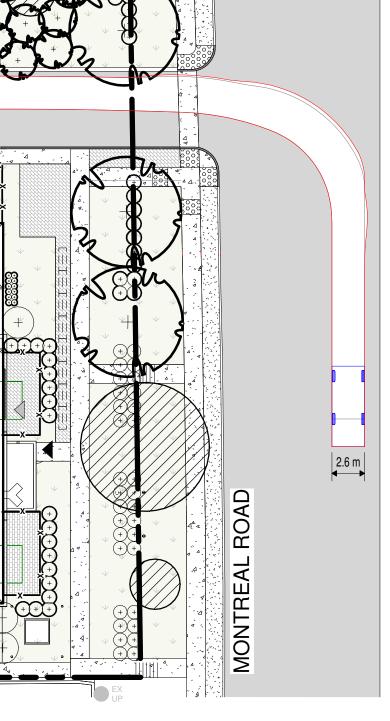
PROJECT NO: 222450 DRAWN: APPROVED: SCALE:

Author Approver 1:300 DATE PRINTED: 10/10/2023 1:54:25 PM









REV

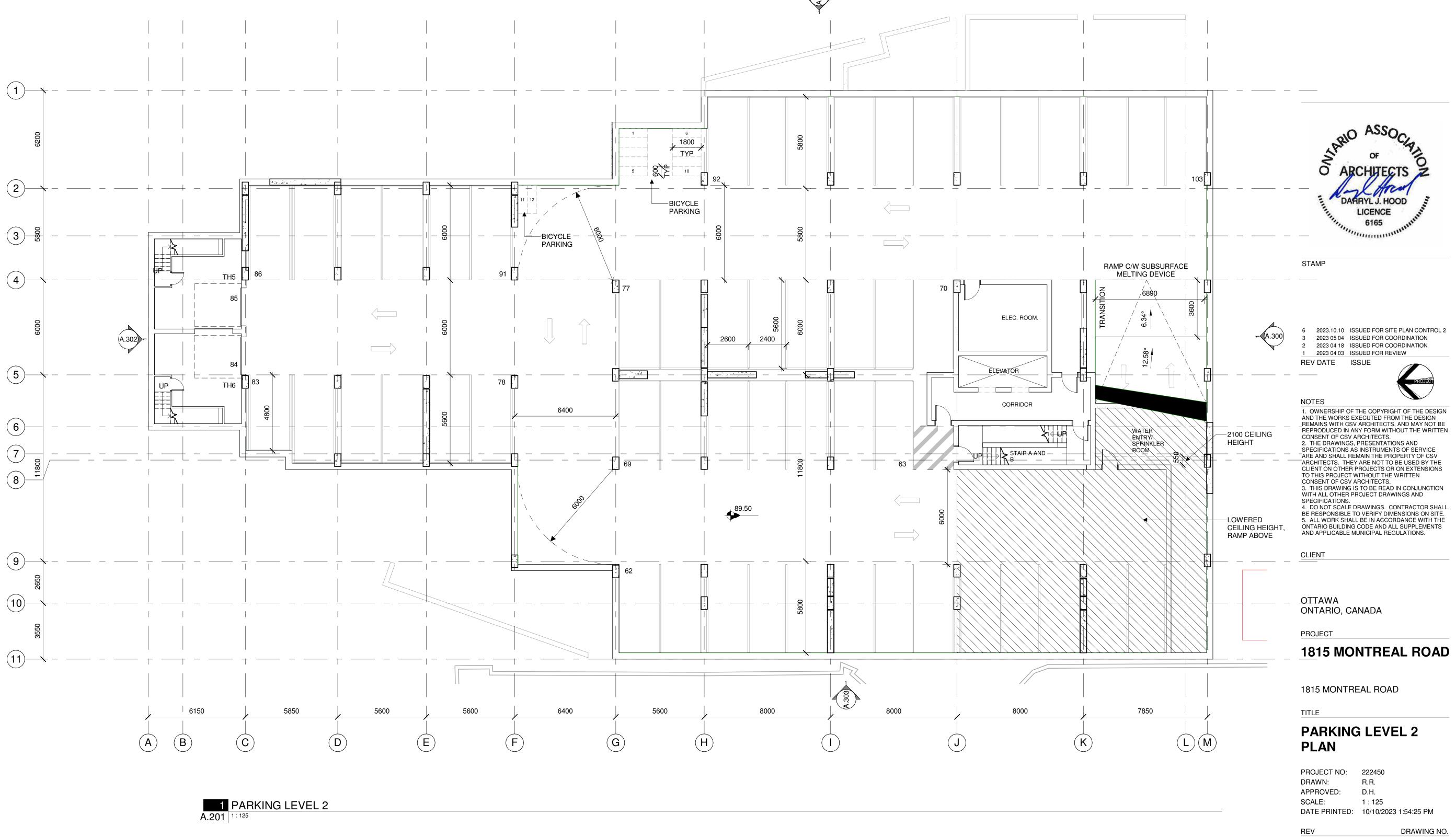
DRAWING NO. A102





Resident	
18	COMPACT
70	NORMAL
Visitor	
2	BF PARKING
5	COMPACT
11	NORMAL
106	L

Bike Parking 71





CSV ARCHITECTS

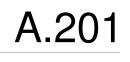
sustainable design · conception écologique 613.564.8118

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

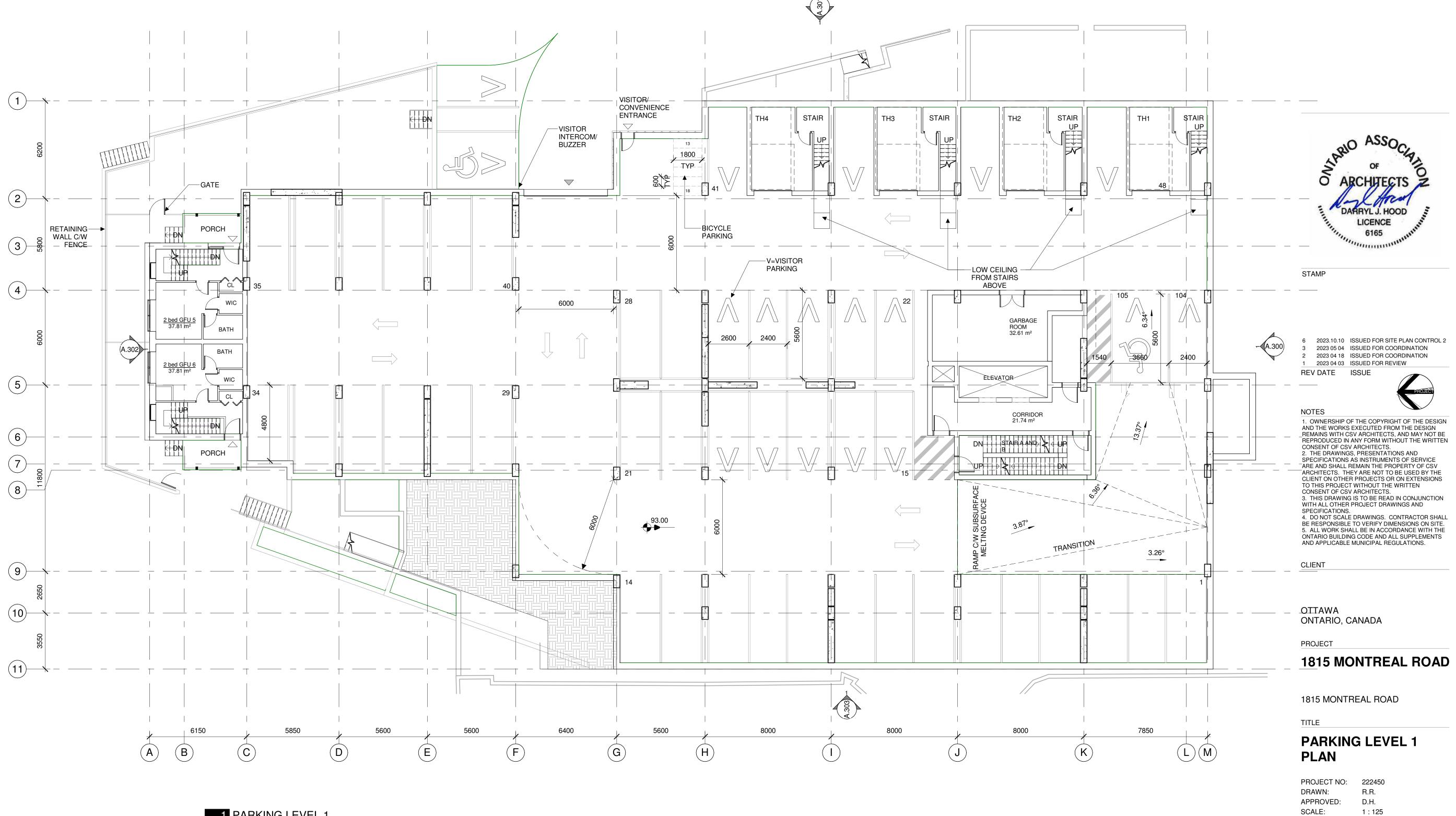
www.csv.ca

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168



Resident	
18	COMPACT
70	NORMAL
Visitor	
2	BF PARKING
5	COMPACT
11	NORMAL
106	

Bike Parking 71



A.202 1:125

CSV ARCHITECTS

sustainable design · conception écologique 613.564.8118

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168

DATE PRINTED: 10/10/2023 1:54:26 PM

DRAWING NO.

A.202

REV



sustainable design · conception écologique 613.564.8118

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168





sustainable design · conception écologique 613.564.8118

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca



sustainable design · conception écologique 613.564.8118

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca



sustainable design · conception écologique 613.564.8118

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca



sustainable design · conception écologique 613.564.8118

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168





sustainable design · conception écologique 613.564.8118

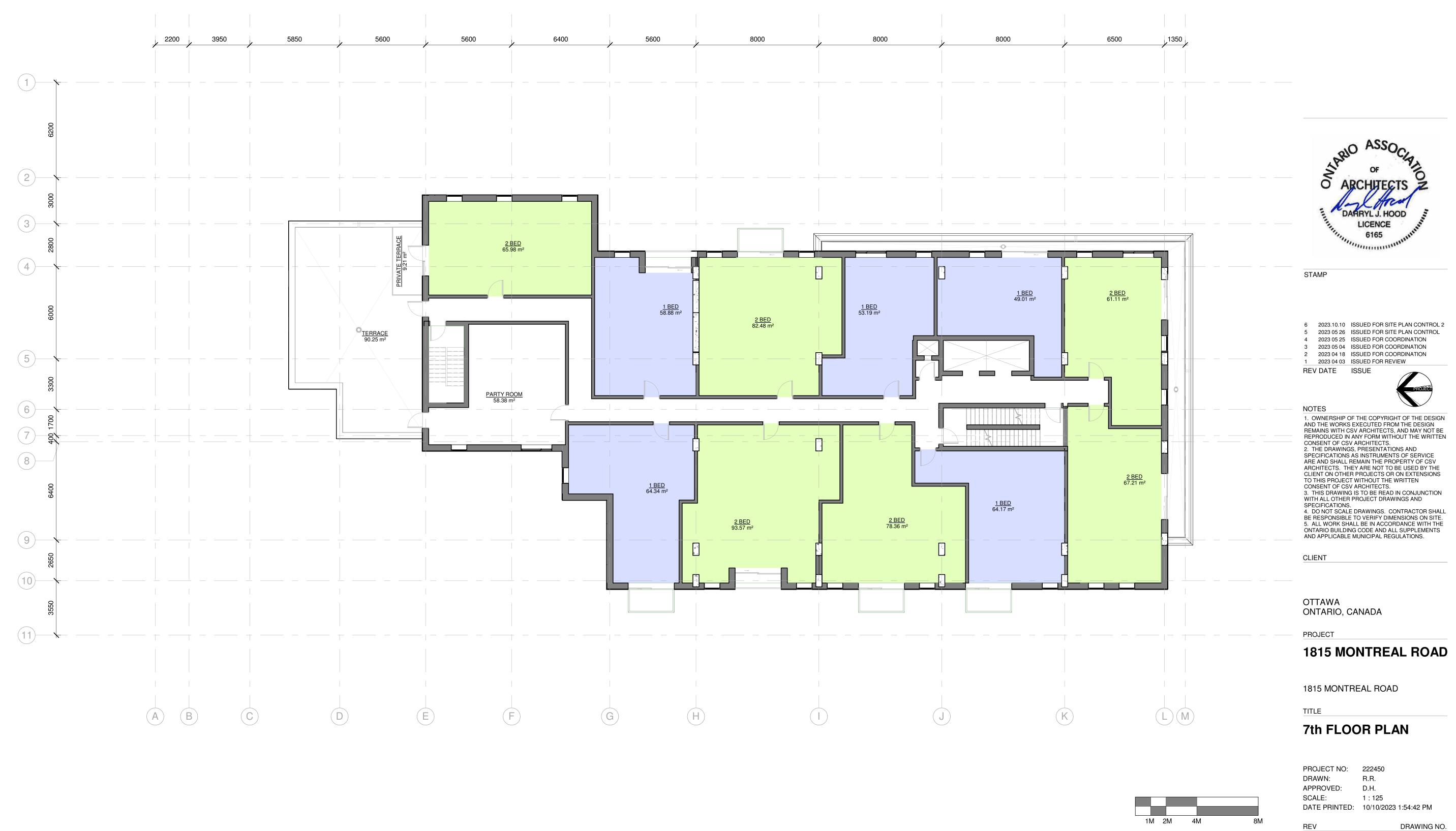
190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168





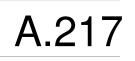
sustainable design · conception écologique 613.564.8118

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168



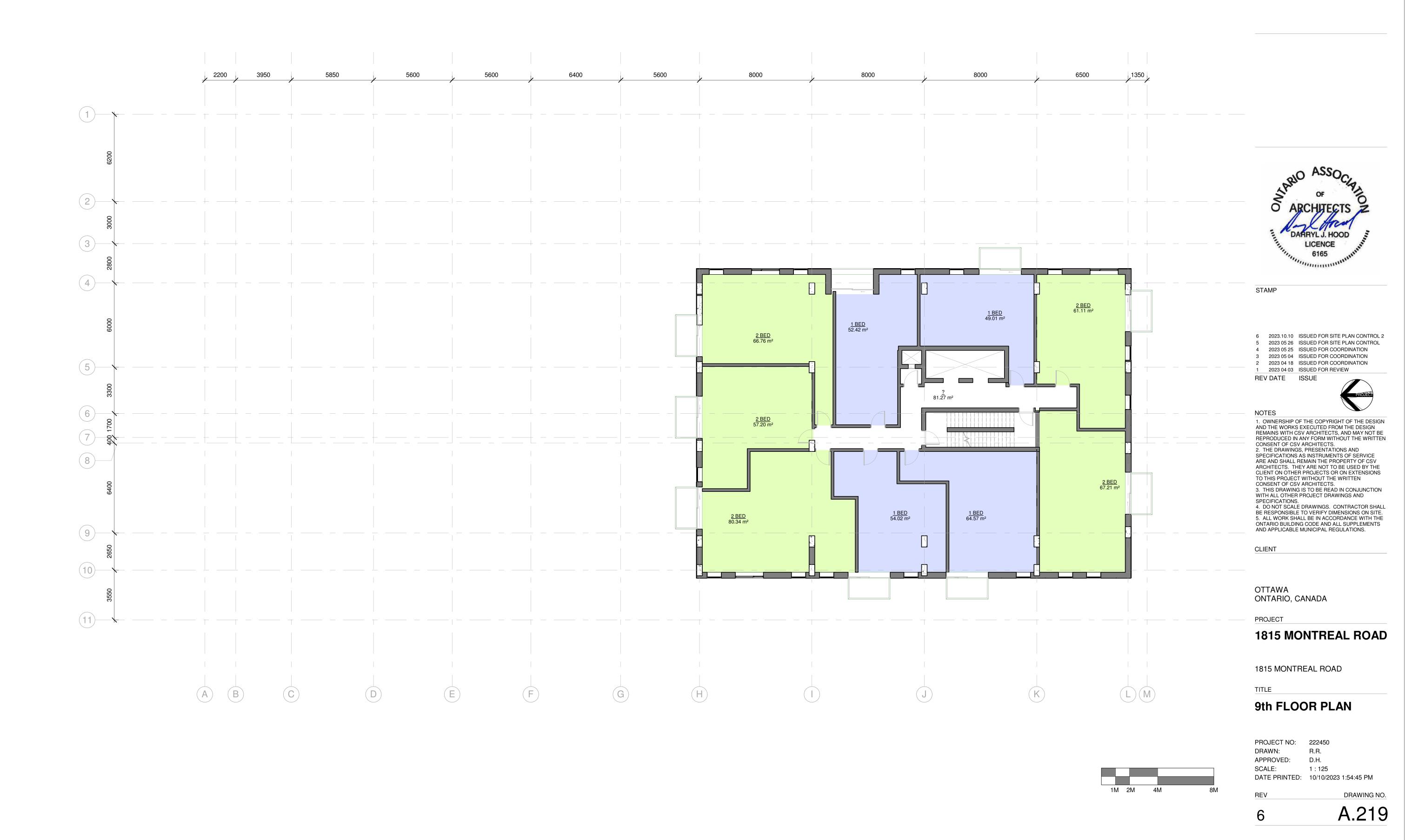


sustainable design · conception écologique 613.564.8118

190 OʻConnor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca

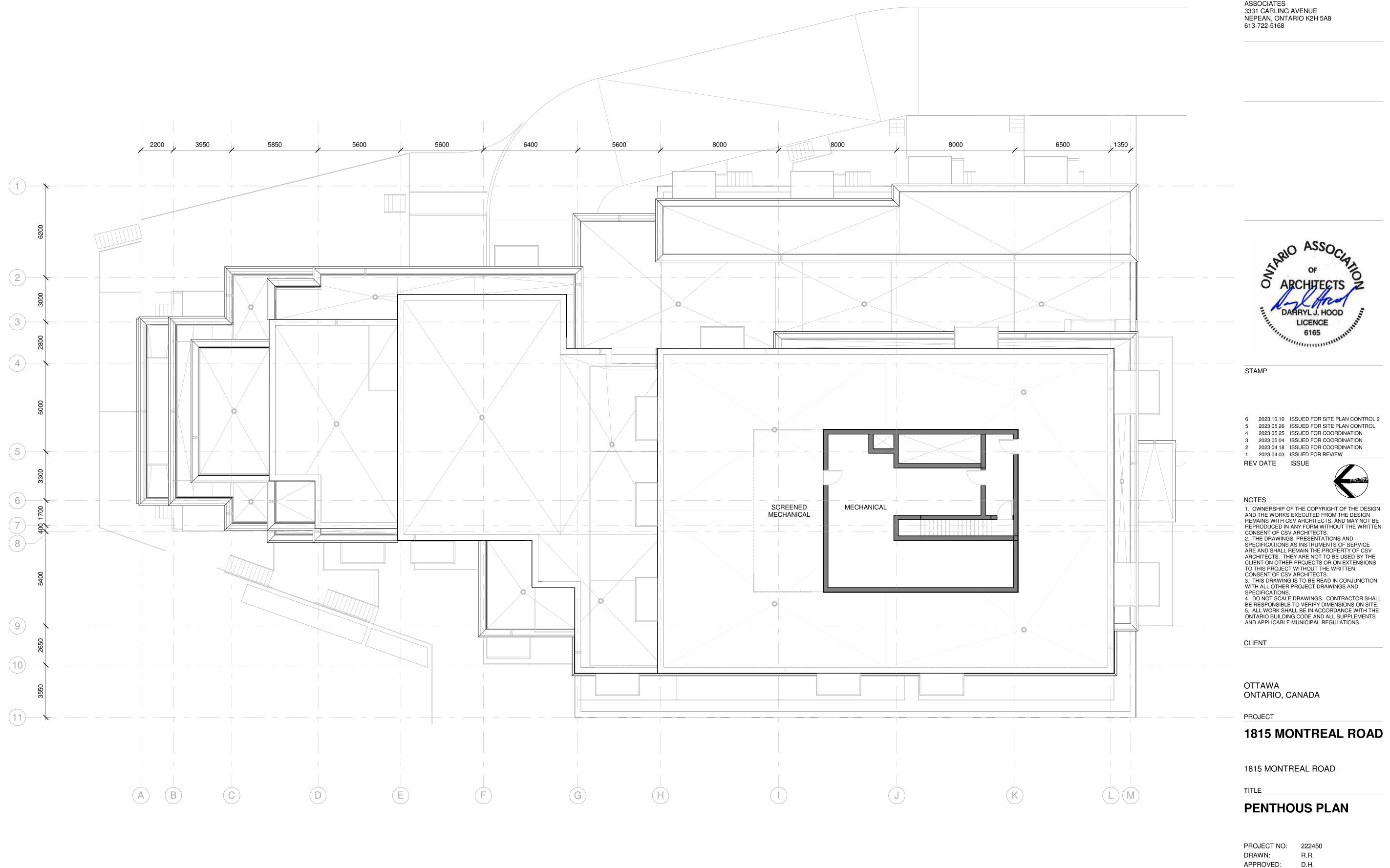


sustainable design · conception écologique 613.564.8118

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca



sustainable design · conception écologique 613.564.8118

190 OʻConnor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

www.csv.ca

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168

1M 2M 4M 8M



SCALE:

REV

6

1 : 125 DATE PRINTED: 10/10/2023 1:54:48 PM



ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

BIRD-SAFE GLASS TO BE USED AT A MIN. 90% OF ALL GLASS WITHIN THE FIRST 16M ABOVE AVERAGE GRADE (OR TO THE HEIGHT OF THE ADJACENT MATURE TREES)

ELEVATION KEYNOTES:

- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT MULTI LINE
- # SAMPLE TEXT

ELEVATION LEGEND:

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
		BRICK VENEER MANUFACTURE COLOUR:
		STONE VENEEF MANUFACTURE COLOUR:
		FIBERCEMENT

BRICK VENEER MANUFACTURER: COLOUR: STONE VENEER - BLOCK MANUFACTURER: COLOUR:

FIBERCEMENT CLADDING MANUFACTURER: COLOUR:

CSV ARCHITECTS

sustainable design · conception écologique

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3 613.564.8118 www.csv.ca

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168



STAMP

6	2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
5	2023 05 26	ISSUED FOR SITE PLAN CONTROL
4	2023 05 25	ISSUED FOR COORDINATION
3	2023 05 04	ISSUED FOR COORDINATION
2	2023 04 18	ISSUED FOR COORDINATION
1	2023 04 03	ISSUED FOR REVIEW
RE	V DATE	ISSUE

NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN
REMAINS WITH CSV ARCHITECTS. AND MAY NOT BE
REPRODUCED IN ANY FORM WITHOUT THE WRITTEN
CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND
SPECIFICATIONS AS INSTRUMENTS OF SERVICE
ARE AND SHALL REMAIN THE PROPERTY OF CSV
ARCHITECTS. THEY ARE NOT TO BE USED BY THE
CLIENT ON OTHER PROJECTS OR ON EXTENSIONS
TO THIS PROJECT WITHOUT THE WRITTEN
CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION
WITH ALL OTHER PROJECT DRAWINGS AND
SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE
ONTARIO BUILDING CODE AND ALL SUPPLEMENTS
AND APPLICABLE MUNICIPAL REGULATIONS.
AND ALL EIGABLE MONION AL TIEQUEATIONS.

CLIENT

OTTAWA ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

SOUTH ELEVATION

PROJECT NO: 222450 DRAWN: APPROVED: D.H. SCALE:

R.R. As indicated DATE PRINTED: 10/10/2023 1:55:07 PM

REV

A.300

DRAWING NO.









A.301 1 : 125

ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

BIRD-SAFE GLASS TO BE USED AT A MIN. 90% OF ALL GLASS WITHIN THE FIRST 16M ABOVE AVERAGE GRADE (OR TO THE HEIGHT OF THE ADJACENT MATURE TREES)

ELEVATION KEYNOTES:

- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT MULTI LINE
- # SAMPLE TEXT

ELEVATION LEGEND:

HATCH PATTERNS SHOWN ARE FOR GRAPHIC

V 32660 PENTHOUSE ROOF

29420 ROOF

26180 LEVEL 9

22940 LEVEL 8

19700 LEVEL 7

16460 LEVEL 6

9980 LEVEL 4

6740 LEVEL 3

3500 LEVEL 2

LEVEL 1

AVERAGE GRADE

-3500 PARKING 1

-7000 PARKING 2

<u>-8800</u> TOP OF FOOTING

PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS. HATCH SYMBOL DESCRIPTION BRICK VENEER MANUFACTURER: COLOUR: STONE VENEER - BLOCK MANUFACTURER: COLOUR:

FIBERCEMENT CLADDING MANUFACTURER: COLOUR:

CSV ARCHITECTS

sustainable design · conception écologique

613.564.8118 190 O'Connor Street, Suite 100 www.csv.ca Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168



STAMP

6	2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
5	2023 05 26	ISSUED FOR SITE PLAN CONTROL
4	2023 05 25	ISSUED FOR COORDINATION
3	2023 05 04	ISSUED FOR COORDINATION
2	2023 04 18	ISSUED FOR COORDINATION
1	2023 04 03	ISSUED FOR REVIEW
RE	V DATE	ISSUE

NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN
AND THE WORKS EXECUTED FROM THE DESIGN
REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE
REPRODUCED IN ANY FORM WITHOUT THE WRITTEN
CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND
SPECIFICATIONS AS INSTRUMENTS OF SERVICE
ARE AND SHALL REMAIN THE PROPERTY OF CSV
ARCHITECTS. THEY ARE NOT TO BE USED BY THE
CLIENT ON OTHER PROJECTS OR ON EXTENSIONS
TO THIS PROJECT WITHOUT THE WRITTEN
CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION
WITH ALL OTHER PROJECT DRAWINGS AND
SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL
BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE
ONTARIO BUILDING CODE AND ALL SUPPLEMENTS
AND APPLICABLE MUNICIPAL REGULATIONS.
AND APPLICADLE MUNICIPAL REGULATIONS.

CLIENT

OTTAWA ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

EAST ELEVATION

PROJECT NO: 222450 DRAWN: APPROVED: D.H. SCALE:

R.R. As indicated DATE PRINTED: 10/10/2023 1:55:27 PM

REV

DRAWING NO. A.301









A.302 1:125

ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

BIRD-SAFE GLASS TO BE USED AT A MIN. 90% OF ALL GLASS WITHIN THE FIRST 16M ABOVE AVERAGE GRADE (OR TO THE HEIGHT OF THE ADJACENT MATURE TREES)

ELEVATION KEYNOTES:

- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT MULTI LINE
- # SAMPLE TEXT

ELEVATION LEGEND:

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
		BRICK VENEER MANUFACTURE COLOUR:
		STONE VENEEF MANUFACTURE COLOUR:

BRICK VENEER MANUFACTURER: COLOUR:
STONE VENEER - BLOCK MANUFACTURER: COLOUR:

FIBERCEMENT CLADDING MANUFACTURER: COLOUR:

CSV ARCHITECTS

sustainable design · conception écologique

190 O'Connor Street, Suite 100 613.564.8118 Ottawa, Ontario,K2P 2R3 www.csv.ca

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168



STAMP

6	2023.10.10	ISSUED FOR SITE PLAN CONTROL 2
5	2023 05 26	ISSUED FOR SITE PLAN CONTROL
4	2023 05 25	ISSUED FOR COORDINATION
3	2023 05 04	ISSUED FOR COORDINATION
2	2023 04 18	ISSUED FOR COORDINATION
1	2023 04 03	ISSUED FOR REVIEW
RE	V DATE	ISSUE

NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN
REMAINS WITH CSV ARCHITECTS. AND MAY NOT BE
REPRODUCED IN ANY FORM WITHOUT THE WRITTEN
CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND
SPECIFICATIONS AS INSTRUMENTS OF SERVICE
ARE AND SHALL REMAIN THE PROPERTY OF CSV
ARCHITECTS. THEY ARE NOT TO BE USED BY THE
CLIENT ON OTHER PROJECTS OR ON EXTENSIONS
TO THIS PROJECT WITHOUT THE WRITTEN
CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION
WITH ALL OTHER PROJECT DRAWINGS AND
SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE
ONTARIO BUILDING CODE AND ALL SUPPLEMENTS
AND APPLICABLE MUNICIPAL REGULATIONS.
AND ALL EIGABLE MONION AL TIEQUEATIONS.

CLIENT

OTTAWA ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

NORTH ELEVATION

PROJECT NO: 222450 DRAWN: APPROVED: SCALE:

R.R. D.H. As indicated DATE PRINTED: 10/10/2023 1:55:47 PM

REV

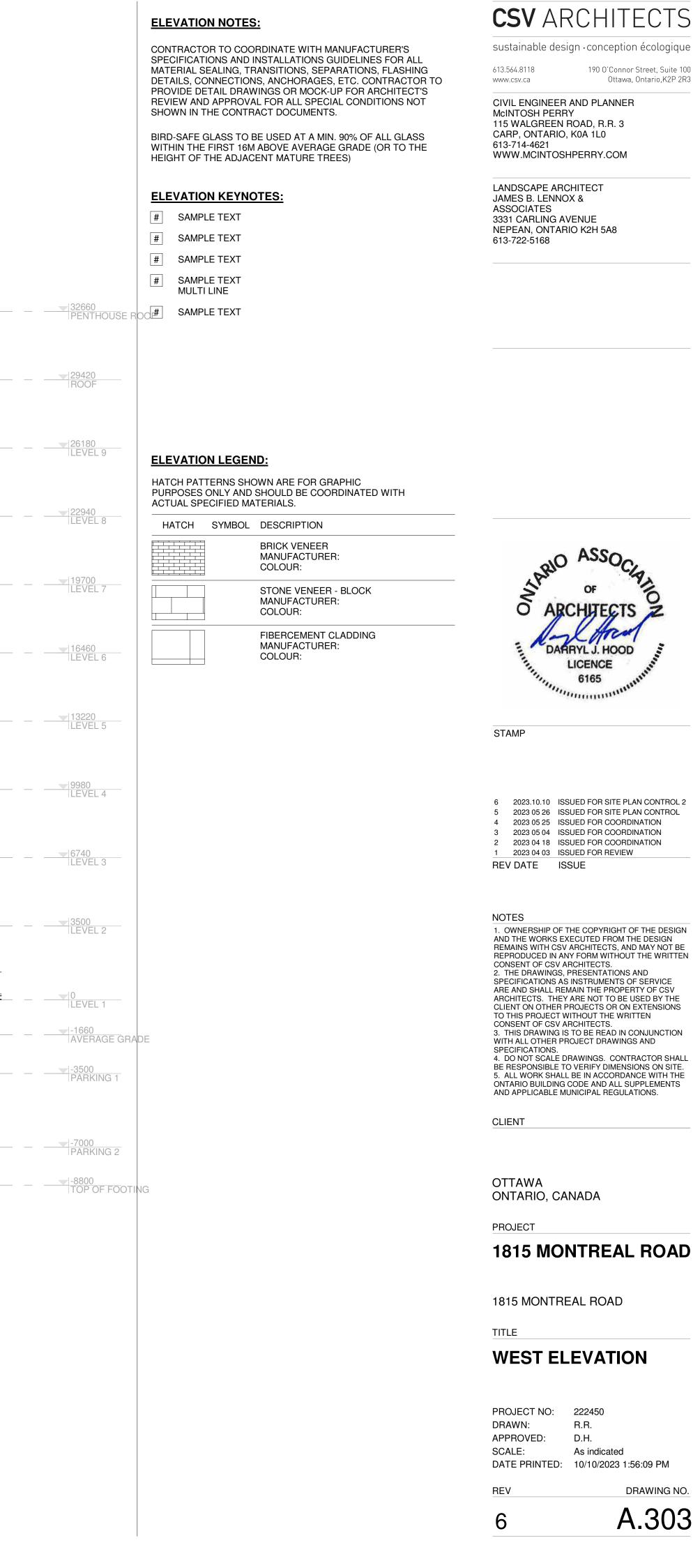
DRAWING NO. A.302

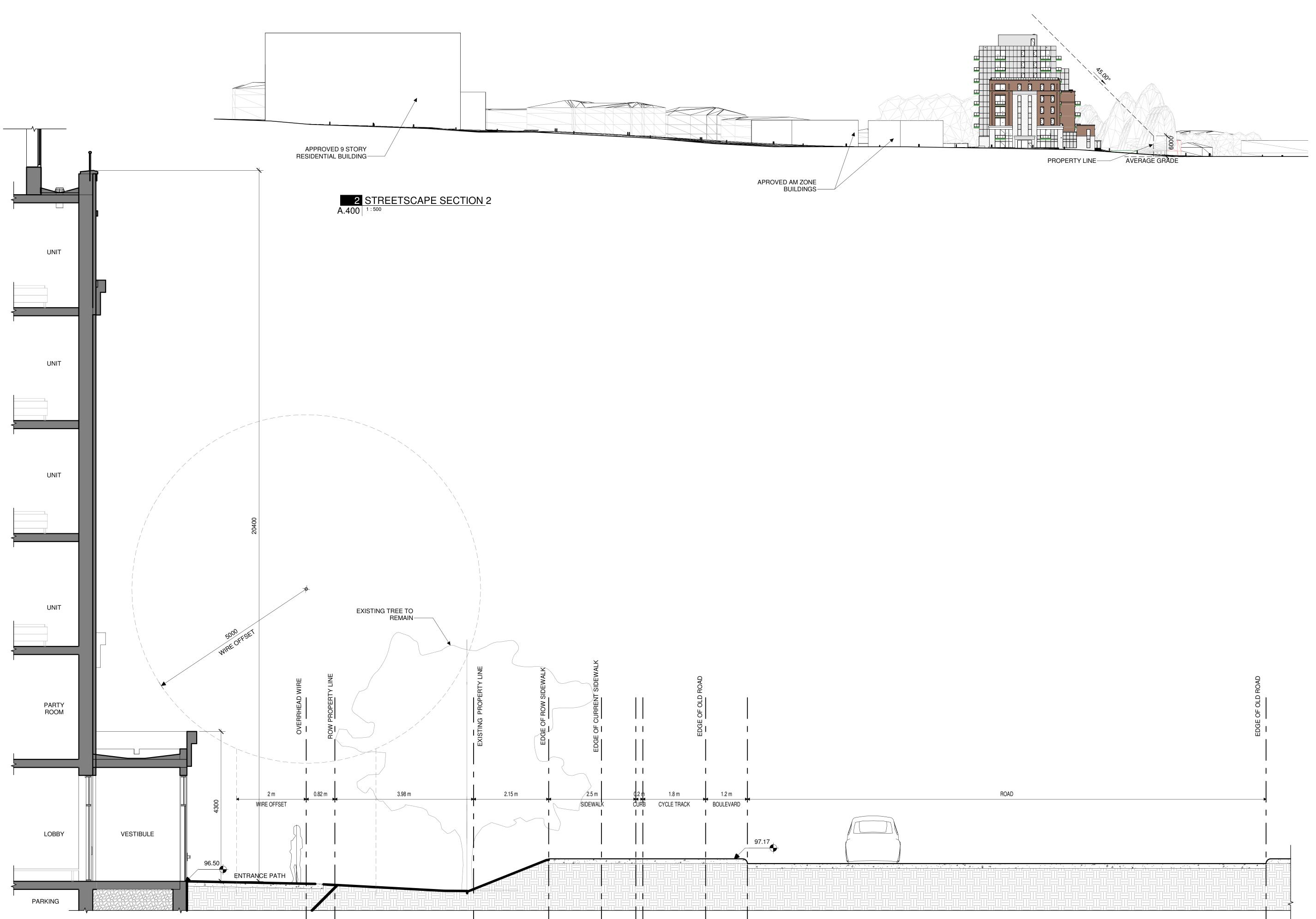










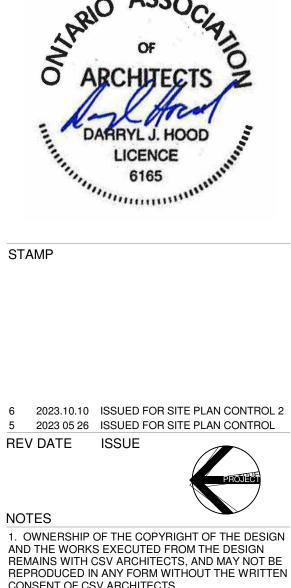


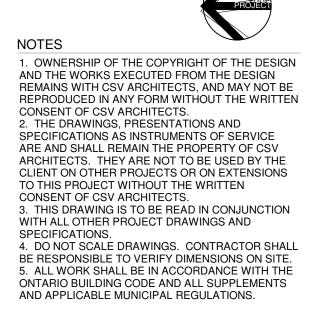
sustainable design · conception écologique 613.564.8118 www.csv.ca

190 O'Connor Street, Suite 100 Ottawa, Ontario,K2P 2R3

CIVIL ENGINEER AND PLANNER McINTOSH PERRY 115 WALGREEN ROAD, R.R. 3 CARP, ONTARIO, K0A 1L0 613-714-4621 WWW.MCINTOSHPERRY.COM

LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES 3331 CARLING AVENUE NEPEAN, ONTARIO K2H 5A8 613-722-5168





CLIENT

OTTAWA ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

STREETSCAPE SECTIONS

PROJECT NO: 222450 DRAWN: APPROVED: D.H. SCALE:

R.R. As indicated DATE PRINTED: 10/10/2023 1:56:13 PM



EDGE OF OLD ROAD	

