

**SITE PLAN GENERAL NOTES:**

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

**SITE PLAN KEYNOTES:**

- HYDRO-TRANSFORMER
- 6m WIDE FIRE TRUCK ACCESS C/W 12m CENTER TURNING RADIUS
- UNDERGROUND PARKING ACCESS RAMP
- DEPRESSED CURB C/W TACTILE STRIP
- PRIVATE PATIO
- PRIVACY FENCE
- VISITOR BIKE RACKS
- VISITOR PARKING SPACE
- EXISTING RETAINING WALL
- DROP - OFF
- NEW ASPHALT LANEWAY
- RETAINING WALL
- GATE



STAMP

5	2023 05 26	ISSUED FOR SITE PLAN CONTROL
4	2023 05 25	ISSUED FOR COORDINATION
3	2023 05 04	ISSUED FOR COORDINATION
2	2023 04 18	ISSUED FOR COORDINATION
1	2023 04 03	ISSUED FOR REVIEW

REV DATE ISSUE

**NOTES**

- OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
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- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

OTTAWA  
ONTARIO, CANADA

PROJECT

**1815 MONTREAL ROAD**

1815 MONTREAL ROAD

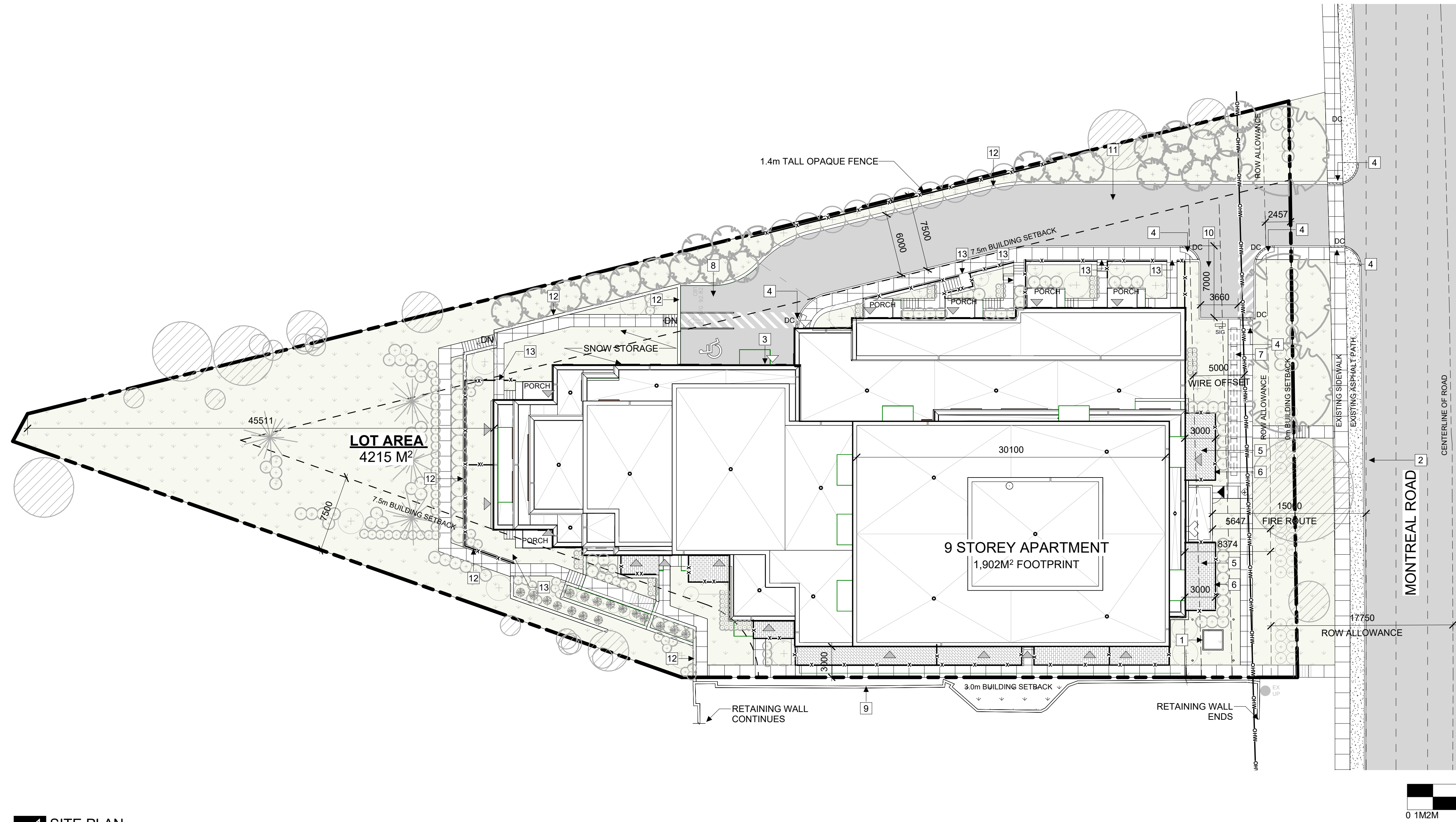
TITLE

**SITE PLAN**

PROJECT NO: 222450  
DRAWN: R.R.  
APPROVED: D.H.  
SCALE: As indicated  
DATE PRINTED: 5/30/2023 4:12:23 PM

REV DRAWING NO.

5 A100



**1 SITE PLAN**

A100 1:250

**LEGAL DESCRIPTION:**

LOT 141 REGISTERED PLAN 652  
CITY OF OTTAWA

**REFERENCE SURVEY:**

BASED ON INFORMATION FROM A SURVEY  
PREPARED BY R.P., J.D. BARNES LIMITED, DATED:  
3RD DAY OF OCTOBER, 2022.

**MUNICIPAL ADDRESS:**

1815 MONTREAL ROAD, CITY OF OTTAWA, ON

**DEVELOPMENT INFORMATION:**

SITE AREA	4,215 m <sup>2</sup>
BUILDING FOOTPRINT	1,902 m <sup>2</sup>
LOT COVERAGE	= 45%
GROSS FLOOR AREA (1st FLOOR - 9th FLOOR)	10,918 m <sup>2</sup>
BUILDING HEIGHT	+/-31m

ZONE Proposed - AM10  
Current - R1AA

SCHEDULE 1: AREA C "URBAN AND GREEN BELT AREA"

SCHEDULE 1A: AREA C "SUBURBAN"

SCHEDULE 2: DISTANCE EXCEEDS 600 m

**UNIT MIX**

1 BED APT	67
2 BED APT	50
3 BED APT	2
TOWNS	6
BACH	5
TOTAL	130

**DENSITY**

SITE AREA (m <sup>2</sup> )	4352
SITE AREA (Ha)	0.4352
DENSITY du/Ha	299

**ZONING PROVISION**

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	NO MINIMUM	54.9m AFTER ROW
MIN. LOT AREA	NO MINIMUM	4215m <sup>2</sup> AFTER ROW
MIN. FRONT YARD SETBACK	3m	5.6m
ROW DEDICATION REQUIREMENT	17.75m FROM CENTERLINE (2.39m)	2.4m
HYDRO SETBACK	5m	5m
MIN. REAR YARD SETBACK	7.5m	45.5m
MIN. INTERIOR SIDE YARD ABUTTING A RESIDENTIAL ZONE	7.5m	7.5m
MIN. INTERIOR SIDE YARD ABUTTING AN AM. ZONE	0M	3.0M

Maximum Building Height (m) (height is from average grade)	Up to 20 meters from a R1, R2, R3 Zone	11m	East:24.8m West: 31.28m
	20m to 30m from R1-R3 Zone	20m	31.28m
	30m from property line abutting R1-R4 Zone	30 m, max. 9 storeys.	
	In all other cases	30m, max. 9 storeys.	

Landscaped Area	Abutting a residential zone	Min 3 m; reduced to 1 m where 1.4 m high opaque fence is provided	East: 1.0m, 1.4m opaque fence is provided.
	In all other cases	No minimum	

**ZONING PROVISION**

ZONING PROVISION	REQUIRED	PROVIDED
Amenity Space Requirements	6m <sup>2</sup> per dwelling unit.	Balconies= 805.7 m <sup>2</sup> Communal Rooftop Terrace (2 <sup>nd</sup> and 7 <sup>th</sup> floor): 135 m <sup>2</sup> Outdoor Private Patio (ground floor): 127 m <sup>2</sup> Interior amenity space = 249.82 m <sup>2</sup> Rear Yard Area: 770.2 m <sup>2</sup> Total amenity area= 2,087.2 m <sup>2</sup>

PARKING QUEING + LOADING	REQUIRED	PROVIDED
RESIDENTIAL SPACES	146	105 TOTAL (23) 6m x 2.4 (80) 6m x 2.6 (2) BF 6m x 3.66m

VISITOR SPACES	REQUIRED	PROVIDED
BICYCLE PARKING	26	(1) 5.2m x 2.6m

Waste / Garbage Collection Location	If outdoor: Located within 9m from lot line abutting a public street, 3m from any other lot line, and screened from view with an opaque screen of minimum height of 2m.	Provided indoors within the basement.
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**SITE PLAN LEGEND:**

- EXISTING BUILDING
- ASPHALT PAVING
- PARKLAND AREA
- NEW GRASS
- CONCRETE SIDEWALK
- PATIO PAVER TYPE
- OTHER ENTRANCES / EXIT
- SERVICE DOORS
- BUILDING MAIN ENTRANCE
- PROPERTY LINE
- FENCE
- EXISTING OVERHEAD WIRE
- FIRE HYDRANT
- FIRE HYDRANT EXISTING
- UTILITY POLE EXISTING
- SIAMESE CONNECTION
- DROPPED CURB
- SIGN
- NEW TREE