

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN KEYNOTES:

- HYDRO-TRANSFORMER
- 6m WIDE FIRE TRUCK ACCESS
- UNDERGROUND PARKING ACCESS RAMP
- DEPRESSED CURB
- PRIVATE PATIO
- PRIVACY FENCE
- 8 X VISITOR BIKE RACKS 1800x600 TYP
- VISITOR PARKING SPACE
- EXISTING RETAINING WALL
- INTERLOCK AREA/ GARBAGE PICKUP
- NEW ASPHALT LANEWAY
- RETAINING WALL
- GATE
- BALCONIES ABOVE
- ACCESS TO SITE DESIGNED AS PER CITY OF OTTAWA "CURB RETURN ENTRANCE" DWG. NO. SC7.1 "CURB RETURN AT A PRIVATE OR COMMERCIAL ENTRANCE WITH BOULEVARD - UNSIGNALIZED INTERSECTION"

STAMP

| REV | DATE | ISSUE |
|-----|------------|--------------------------------|
| 7 | 2024.01.05 | ISSUED FOR SITE PLAN CONTROL 3 |
| 6 | 2023.10.10 | ISSUED FOR SITE PLAN CONTROL 2 |
| 5 | 2023.05.26 | ISSUED FOR SITE PLAN CONTROL |
| 4 | 2023.05.25 | ISSUED FOR COORDINATION |
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NOTES

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CLIENT

OTTAWA
ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

SITE PLAN

PROJECT NO: 222450

DRAWN: R.R.

APPROVED: D.H.

SCALE: As Indicated

DATE PRINTED: 1/30/2024 10:58:21 AM

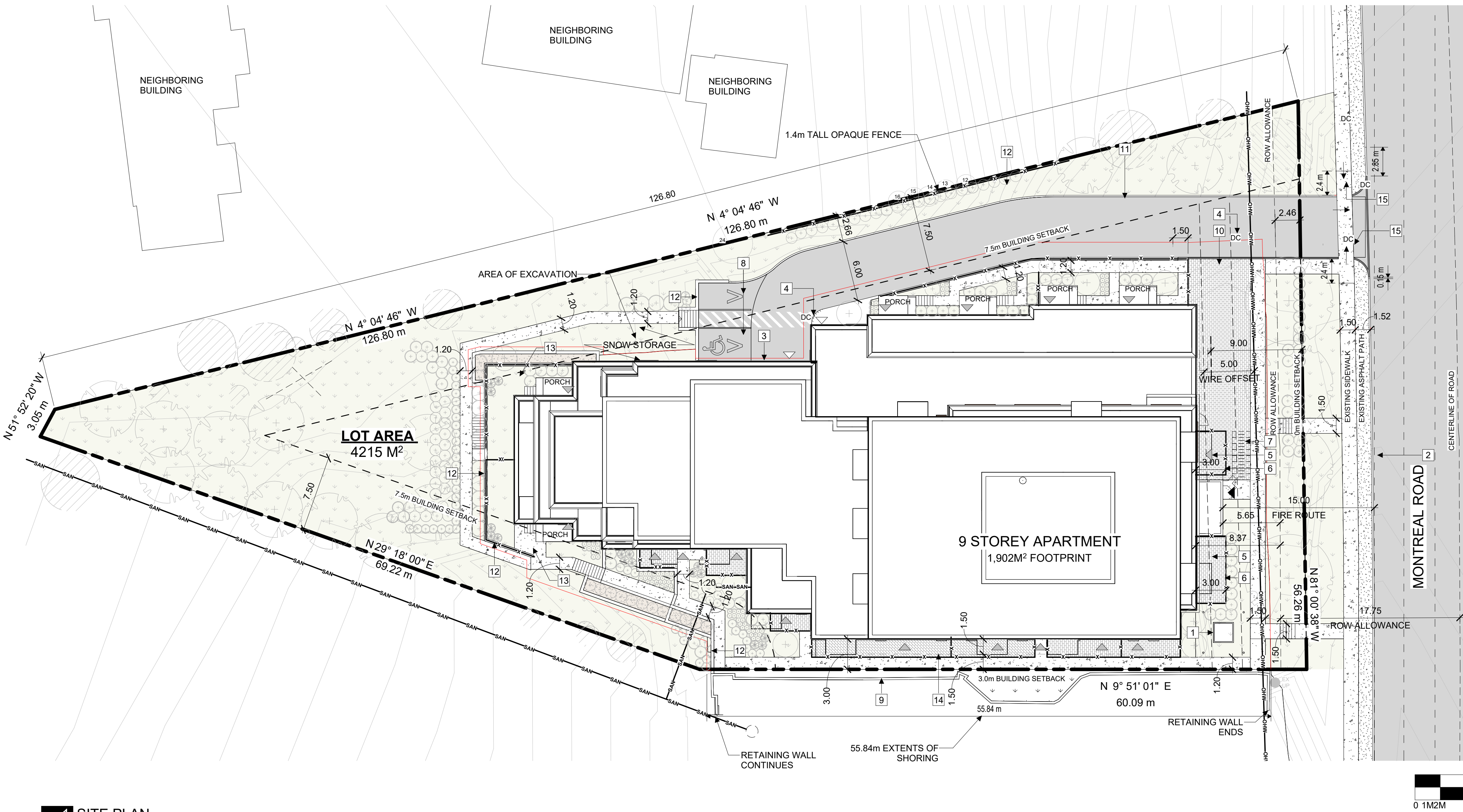
REV DRAWING NO.

7

A100

SITE PLAN LEGEND:

- EXISTING BUILDING
- ASPHALT PAVING
- PARKLAND AREA
- NEW GRASS
- CONCRETE SIDEWALK
- PATIO PAVER TYPE
- OTHER ENTRANCES / EXIT
- SERVICE DOORS
- BUILDING MAIN ENTRANCE
- PROPERTY LINE
- FENCE
- EXISTING OVERHEAD WIRE
- PERIMETER OF EXCAVATION
- FIRE HYDRANT
- FIRE HYDRANT EXISTING
- UTILITY POLE EXISTING
- SIAMESE CONNECTION
- DROPPED CURB
- SIGN
- NEW TREE



1 SITE PLAN

A100 1:250

LEGAL DESCRIPTION:

LOT 141 REGISTERED PLAN 652
CITY OF OTTAWA

REFERENCE SURVEY:

BASED ON INFORMATION FROM A SURVEY
PREPARED BY R.P., J.D. BARNES LIMITED, DATED:
3RD DAY OF OCTOBER, 2022.

MUNICIPAL ADDRESS:

1815 MONTREAL ROAD, CITY OF OTTAWA, ON

DEVELOPMENT INFORMATION:

| | |
|---|-----------------------|
| SITE AREA | 4,215 m ² |
| BUILDING FOOTPRINT | 1,902 m ² |
| LOT COVERAGE | = 45% |
| GROSS FLOOR AREA (1st FLOOR - 9th FLOOR) | 10,918 m ² |
| BUILDING HEIGHT | +/-31m |

ZONE Proposed - AM10
Current - R1AA

SCHEDULE 1: AREA C "URBAN AND GREEN BELT AREA"

SCHEDULE 1A: AREA C "SUBURBAN"

SCHEDULE 2: DISTANCE EXCEEDS 600 m

UNIT MIX

| | |
|-----------|-----|
| 1 BED APT | 54 |
| 2 BED APT | 55 |
| 3 BED APT | 2 |
| GFU* | 6 |
| BACH | 13 |
| TOTAL | 130 |

DENSITY

| | |
|-----------------------------|--------|
| SITE AREA (m ²) | 4352 |
| SITE AREA (Ha) | 0.4352 |
| DENSITY du/Ha | 299 |

*GROUND FACING UNIT

ZONING PROVISION

| ZONING PROVISION | REQUIRED | PROVIDED |
|---|--------------------------------|------------------------------|
| MIN. LOT WIDTH | NO MINIMUM | 54.9m AFTER ROW |
| MIN. LOT AREA | NO MINIMUM | 4215m ² AFTER ROW |
| MIN. FRONT YARD SETBACK | 3m | 5.6m |
| ROW DEDICATION REQUIREMENT | 17.75m FROM CENTERLINE (2.39m) | 2.4m |
| HYDRO SETBACK | 5m | 5m |
| MIN. REAR YARD SETBACK | 7.5m | 45.5m |
| MIN. INTERIOR SIDE YARD ABUTTING A RESIDENTIAL ZONE | 7.5m | 7.5m |
| MIN. INTERIOR SIDE YARD ABUTTING AN AM. ZONE | 0M | 3.0M |

| Maximum Building Height (m) (height is from average grade) | Up to 20 meters from a R1, R2, R3 Zone | 11m | East:24.8m West: 31.28m |
|--|--|-----|-------------------------|
| 20m to 30m from R1-R3 Zone | 20m | | 31.28m |
| 30m from property line abutting R1-R4 Zone | 30m, max. 9 storeys. | | |
| In all other cases | 30m, max. 9 storeys. | | |

| Landscaped Area | Abutting a residential zone | Min 3 m; reduced to 1 m where 1.4 m high opaque fence is provided | East: 1.0m, 1.4m opaque fence is provided. |
|--------------------|-----------------------------|---|--|
| In all other cases | No minimum | | |

TOTAL LANDSCAPED AREA 1,916M²

ZONING PROVISION

| ZONING PROVISION | REQUIRED | PROVIDED |
|----------------------------|------------------------------------|---|
| Amenity Space Requirements | 6m ² per dwelling unit. | Balconies= 805.7 m ² Communal Rooftop Terrace (2 nd and 7 th floor): 135 m ² Outdoor Private Patio (ground floor): 127 m ² Interior amenity space = 205.7 m ² Rear Yard Area: 770.2 m ² Total amenity area= 2043.6 m ² |

PARKING QUEING + LOADING

| RESIDENTIAL SPACES | REQUIRED | PROVIDED |
|--------------------|----------|--|
| | 156 | 89 TOTAL (18) 4.6m x 2.4m (71) 6m x 2.6m |

VISITOR SPACES

| RESIDENTIAL SPACES | REQUIRED | PROVIDED |
|--------------------|----------|--|
| | 26 | 18 TOTAL (16) 5.2m x 2.6m (2) BF 6m x 3.40m C/W 1.5m Transfer space |

BICYCLE PARKING

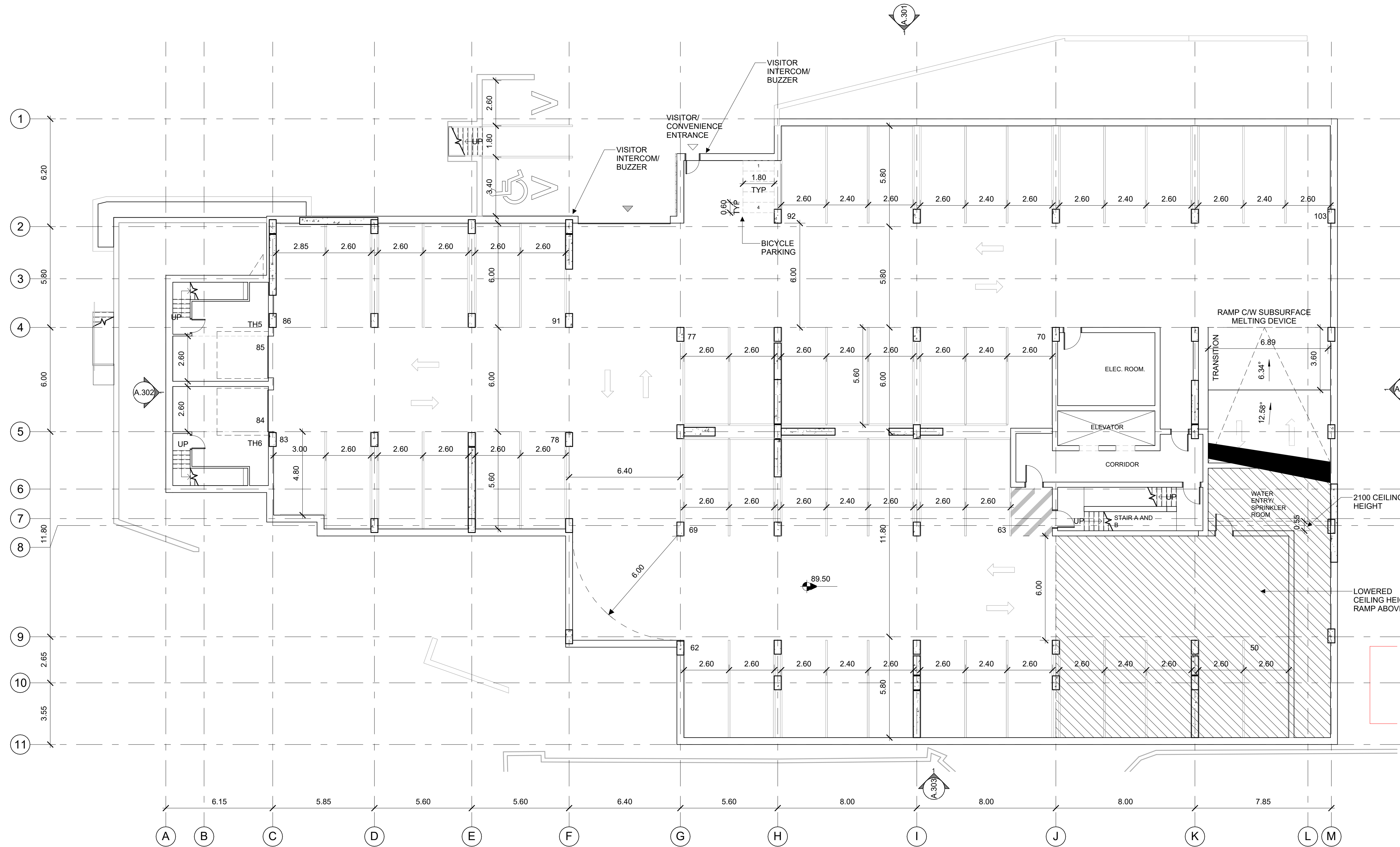
| RESIDENTIAL SPACES | REQUIRED | PROVIDED |
|--------------------|----------|---|
| | 65 | Total: 66 Residential: 12 @P2 Residential: 19 @P1 Residential: 27 @L1 Visitors: 8 Outside All spaces are 1.8m x 0.6m |

Waste / Garbage Collection Location

If outdoor: Located within 9m from lot line abutting a public street, 3m from any other lot line, and screened from view with an opaque screen of minimum height of 2m.
Pickup staging at interlock paver area greater than 9m away from lot line abutting a public street.

| | |
|----------|------------|
| Resident | |
| 17 | COMPACT |
| 72 | NORMAL |
| Visitor | |
| 2 | BF PARKING |
| 16 | NORMAL |
| 107 | |

| | |
|--------------|----|
| Bike Parking | 66 |
|--------------|----|



| REV | DATE | ISSUE |
|-----|------------|--------------------------------|
| 7 | 2024 01 05 | ISSUED FOR SITE PLAN CONTROL 3 |
| 6 | 2023 10 10 | ISSUED FOR SITE PLAN CONTROL 2 |
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OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE
**PARKING LEVEL 2
PLAN**

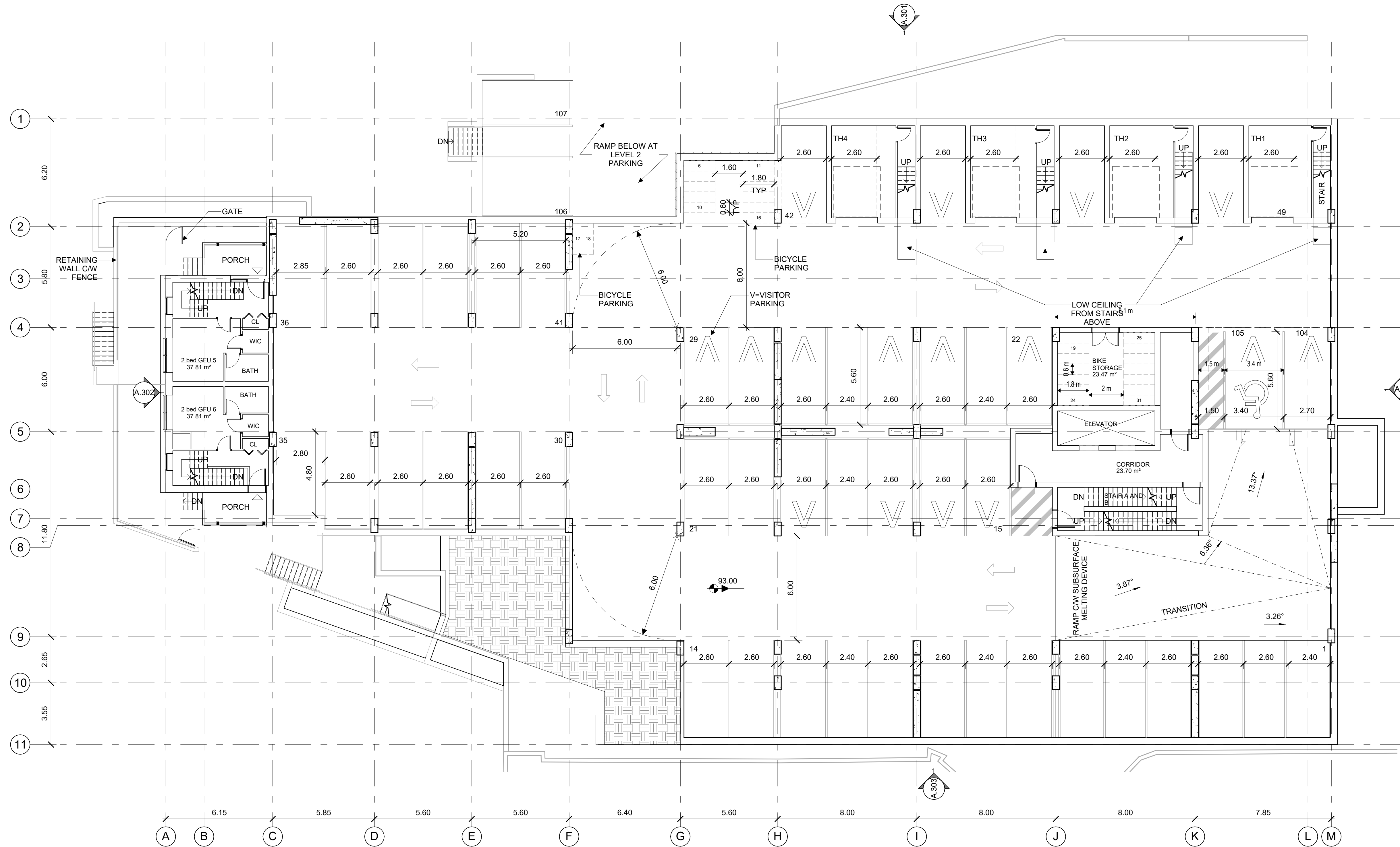
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APPROVED: D.H.
SCALE: 1 : 125
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REV DRAWING NO.

7 A.201

| | |
|----------|------------|
| Resident | |
| 17 | COMPACT |
| 72 | NORMAL |
| Visitor | |
| 2 | BF PARKING |
| 16 | NORMAL |
| 107 | |

| | |
|--------------|----|
| Bike Parking | 66 |
|--------------|----|



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OTTAWA
ONTARIO, CANADA

PROJECT
1815 MONTREAL ROAD

1815 MONTREAL ROAD
TITLE
**PARKING LEVEL 1
PLAN**

PROJECT NO: 222450
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APPROVED: D.H.
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REV DRAWING NO.
7 A.202

1 PARKING LEVEL 1
A.202 1:125



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OTTAWA
ONTARIO, CANADA

PROJECT

1815 MONTREAL ROAD

1815 MONTREAL ROAD

TITLE

1st FLOOR PLAN

PROJECT NO: 222450
DRAWN: R.R.
APPROVED: D.H.
SCALE: 1 : 125
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7 A.211

