

# Architectural Design Brief Section 2\*

February 6, 2023

for a 48 Unit Low-rise Townhome Planned Unit Development

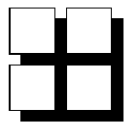
by Patten Homes,

150 – 170 Akerson Road, Ottawa

Prepared by M. David Blakely Architect Inc.

\* Section 1 is to be part of the Planning Rationale Submission.

150 – 170 Akerson Road



**M. David Blakely  
Architect Inc.**



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# Architectural Design Brief

## 150 - 170 Akerson Road

### Project Description.

The project is a 48 Unit Planned use development on the south – west side of Akerson Road at Oakglade Avenue.

Block 76 (170 Akerson Road) consists of Blocks 1 to 4, 6 Back to Back three storey townhomes accessed by private lanes from Akerson Road. Block 78 (150 Akerson Road) consists of Blocks 5 to 8, 6 Back to Back three storey townhomes accessed by private lanes from Akerson Road. All units have private garages and driveways to the garage.

Refer to page 6, SP-1 of this design brief.

Context – The Sites is located in a residential community of semi-detached and townhomes. Adjacentland uses;

- Adjacent to the west – two storey semi-detached and 3 two storey townhome blocks.
- Across Akerson Road to the north :
  - Oakglade Ave. intersection.
  - 4 unit townhomes corner lots.
- Adjacent to the east –3 two storey townhome blocks.
- Adjacent to the south – Lineal park and pathways.
- Blocks 76 & 78 are separated by 15m service road right of way.

### Site Analysis and Site Plan

- 1 The property size and depth strongly suggest a building form that differs from the established townhome and semi-detached blocks to the east and west of the site that would;
  - Avoid a long street of street - fronting garages, driveways and front yard parking.
  - Provide a development form with more density that is compatible with established neighbourhood while enhancing the streetscape.
- 2 A compact site design is appropriate given the proximity of the lineal park and pathway system. The blocks along the park “face” and contribute to the open space experience.
- 3 Access to Akerson Road is limited to four private lanes plus the service road.
- 4 All garages face the private lanes, not Akerson Road.
- 5 The building are setback appropriately from the street lot lines to create an edge along the public realm of sufficient depth for a continuous landscaping space along Akerson Road. Street yard setbacks comply with existing zoning.

- 6 The suggestion of a continuance of the prevailing street pattern adjacent to and across the street is not applicable when providing relief from a long street of private driveways and when the proposed townhomes are sufficiently separated from adjacent semi-detached and townhouse blocks. (Fig. 1)
- 7 The internal private lane driveways are screened from Akerson Road by small tree and shrub planting.
- 8 Site lighting is from building wall scones with controlled light distribution.
- 9 Percent of landscaped area is 31.7% (min. 25%).
- 10 The internal private lane is a shared pedestrian and vehicle drive/walkway with pedestrian access directly to Akerson Road which leads to the public pathway system and park directly to the south. The pathway system is maintainable, supervised and well illuminated. Internal sidewalks are not required based on unit number and low traffic volume and speed, leaving more area for soft landscaping and less maintenance cost for the homeowners.
- 11 The internal side yard setback of 14.2m exceeds the existing zoning requirement.
- 12 The blocks are located to minimize the impact on the private amenity areas of the semi-detached and townhomes to the east and west.
- 13 The building facades overlooking the lineal park to the south are the same as those fronting Akerson.
- 14 Finished grades are level around building and consistent with the grades relative to the street and sidewalk in the surrounding area.
- 15 Bike storage and garbage buildings are not required as each unit has a private garage.
- 16 Parking provided complies with the City of Ottawa zoning by-law.

#### Compatibility / Massing / Scale

- The proposed residential townhomes are the same housing form as the existing neighbourhood. (low-rise residential)
- Three storey townhomes have a building height compatible with other low-rise uses on the street and surrounding neighbourhood.
- The buildings scale is comparable to that found within that of the neighbourhood. (semi-detached and blocks)
- The dominant building material is masonry. The secondary finish material is either vertical or horizontal siding. Both materials are extensively used in the surrounding streets of the neighbourhood.
- The hip roof design is compatible with the other shingled sloped roofs in the neighbourhood.

- Casement windows, doors and side light designs, column details and front porches are similar to those features found throughout the neighbourhood.

### Building Design

- All building facades facing the street (and park) incorporate entrances.
- All building elevations facing the public realm have windows and/or covered balconies.
- The covered balconies provide protection and highlight and identify the entrances. Balcony railing are well detailed with powder coated aluminum framing and glass panels.
- Masonry is used to form a strong building base, creating a horizontal datum line more or less in line with existing 2 storey homes / townhomes in the area. The masonry base steps down at the corners allowing the windows to wrap the corner, creating lower scale design from all viewpoints.
- Garages are recessed into the building base.
- The 'lighter' siding material at the top floor coupled with larger overhangs has a visual of lowering the building height.
- The façade is well articulated. Projections and use of materials bring the design to a townhome scale.
- The hip roof is a simple shape, meant only to cover the form below, without peaks, gables or dormers that serve no function.
- Windows are in proportion to the wall elevations.
- The building design is of its own and of its time. It does not try to replicate other styles.

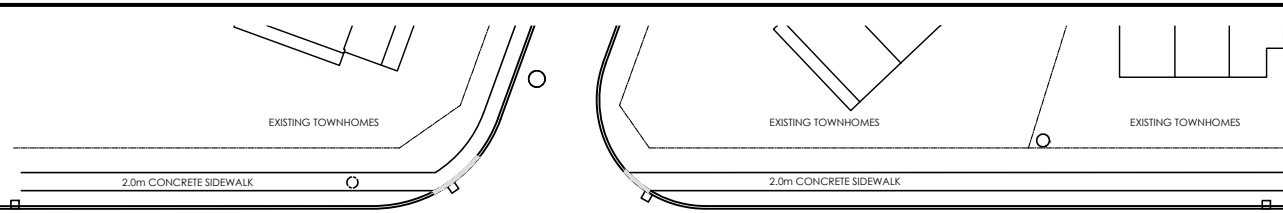
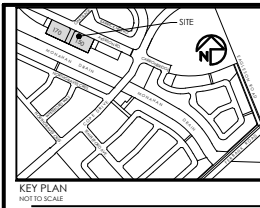
### Sustainability

- The design meets or exceeds OBC – SB-12 Energy Efficiency of Housing.

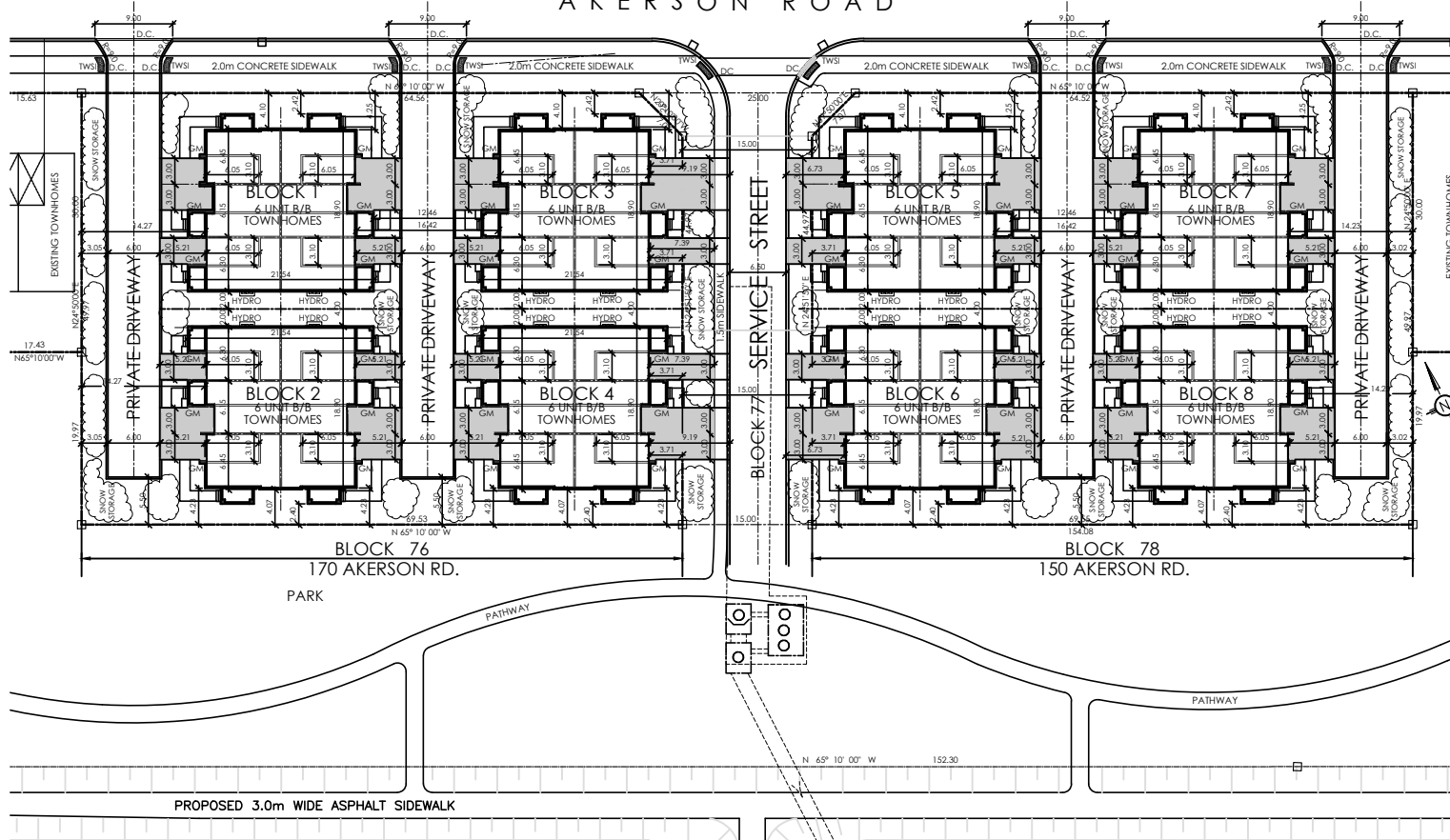


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M. David Blakely Architect Inc.



AKERSON ROAD



**SITE INFORMATION - BLOCK 76, 170 AKERSON ROAD:**  
 PROPOSED ZONING: R3Q(XXX)(H)4 - PERMITTED USES: PLANNED UNIT DEVELOPMENT - TOWNHOUSE DWELLING

SITE AREA:	3,461.4 m <sup>2</sup>	PROPOSED:
TOTAL BUILDING AREA:	1,413.2 m <sup>2</sup>	

ZONING:	R3Q(XXX)(H)4	PROPOSED:
LOT AREA (MIN.):	1,400.0 m <sup>2</sup>	3,461.4 m <sup>2</sup>
LOT WIDTH (MIN.):	18.0 m	69.52 m
LOT WIDTH TOWNHOME (MIN.):	4.5 m	6.15 m
LOT AREA - BACK TO BACK UNIT (MIN.):	80.0 m (XXXX)	86.06 m <sup>2</sup>
FRONT YARD (MIN.):	3.0 m	4.10 m
CORNER SIDE YARD (MIN.):	3.0 m (XXXX)	5.21 m
INTERIOR SIDE YARD (MIN.):	6.0 m (XXXX)	14.23 m
REAR YARD (MIN.):	6.0 m (XXXX)	4.07 m
	except no rear yard setback for back to back townhouse dwelling	
BUILDING HEIGHT (MAX.):	14.0 m (XXXX)	10.6 m
PORCH START TO LOT LINE (SECTION 45)	2.0 m	2.40 m
LANDSCAPED AREA:		31.7%
PARKING SPACES:	1 Spaces / UNIT 2.60m x 5.20m	2 - 1 Driveway / 1 Garage Driveway - 2.72m x 5.21m Garage - 3.10m x 6.05m
PRIVATE DRIVEWAY WIDTH (MIN.):	2.6 m	Garage - 3.10 m
PRIVATE DRIVEWAY WIDTH (MIN.):	2.6 m	Driveway - 5.79 m
PRIVATE DRIVE/GARAGE LENGTH (MIN.):	5.5 m	5.21 m

**BACK TO BACK TOWNHOMES:**

BLOCK # =	BACK TO BACK TOWNHOMES	BUILDING AREA:	GROSS FLOOR AREA:	No. UNITS:
BLOCK # =	BACK TO BACK TOWNHOMES	353.3 m <sup>2</sup>	86.0 m <sup>2</sup>	6 UNITS
BLOCK # =	BACK TO BACK TOWNHOMES	353.3 m <sup>2</sup>	86.0 m <sup>2</sup>	6 UNITS
BLOCK # =	BACK TO BACK TOWNHOMES	353.3 m <sup>2</sup>	86.0 m <sup>2</sup>	6 UNITS
TOTAL =	BACK TO BACK TOWNHOMES	1,413.2 m <sup>2</sup>	3,456.0 m <sup>2</sup>	24 UNITS

**NOTE:**  
 SITE PLAN TO BE READ IN CONJUNCTION WITH:  
 - SITE SERVICING PLAN PREPARED BY  
 - LANDSCAPING PLAN PREPARED BY JAMES B. LENOIR and ASSOCIATES INC.  
 - BOUNDARIES DERIVED FROM: PLAN 4M-1383 DATED APRIL 27, 2009.  
 BY ANNIS, O'SULLIVAN VOLLEBECK LTD.

**SITE INFORMATION - BLOCK 78, 150 AKERSON ROAD:**  
 PROPOSED ZONING: R3Q(XXX)(H)4 - PERMITTED USES: PLANNED UNIT DEVELOPMENT - TOWNHOUSE DWELLING

SITE AREA:	3,462.5 m <sup>2</sup>	PROPOSED:
TOTAL BUILDING AREA:	1,413.2 m <sup>2</sup>	

ZONING:	R3Q(XXX)(H)4	PROPOSED:
LOT AREA (MIN.):	1,400.0 m <sup>2</sup>	3,462.5 m <sup>2</sup>
LOT WIDTH (MIN.):	18.0 m	69.52 m
LOT WIDTH TOWNHOME (MIN.):	4.5 m	6.15 m
LOT AREA - BACK TO BACK UNIT (MIN.):	80.0 m (XXXX)	86.06 m <sup>2</sup>
FRONT YARD (MIN.):	3.0 m	4.10 m
CORNER SIDE YARD (MIN.):	3.0 m (XXXX)	5.21 m
INTERIOR SIDE YARD (MIN.):	6.0 m (XXXX)	14.23 m
REAR YARD (MIN.):	6.0 m (XXXX)	4.07 m
	except no rear yard setback for back to back townhouse dwelling	
BUILDING HEIGHT (MAX.):	14.0 m (XXXX)	10.6 m
PORCH START TO LOT LINE (SECTION 45)	2.0 m	2.40 m
LANDSCAPED AREA:		31.7%
PARKING SPACES:	1 Spaces / UNIT 2.60m x 5.20m	2 - 1 Driveway / 1 Garage Driveway - 2.72m x 5.21m Garage - 3.10m x 6.05m
PRIVATE DRIVEWAY WIDTH (MIN.):	2.6 m	Garage - 3.10 m
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**GENERAL NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
- ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND ORDINANCES.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
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NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY
10	10/02/23	REV. FOR PROPOSED ZONING	SM	10		
11	11/01/23	SNOW STORAGE ADDED TO PLAN	SM	11		
12	11/17/23	REVISION TO AN APPROVED SITE PLAN	SM	12		
13	1/18/24	UNIT TOTAL ON TITLE BLOCK	SM	13		
14	1/29/24	SHIFTED BLOCKS 1, 5m	SM	14		
15	2/29/24	REVISED BLOCKS TO 4 UNITS	SM	15		
16	3/21/24	ZONING INFO ADDED	SM	16		
17	4/22/24	FOR REVIEW	SM	17		
18	5/23/24	FOR REVIEW	SM	18		

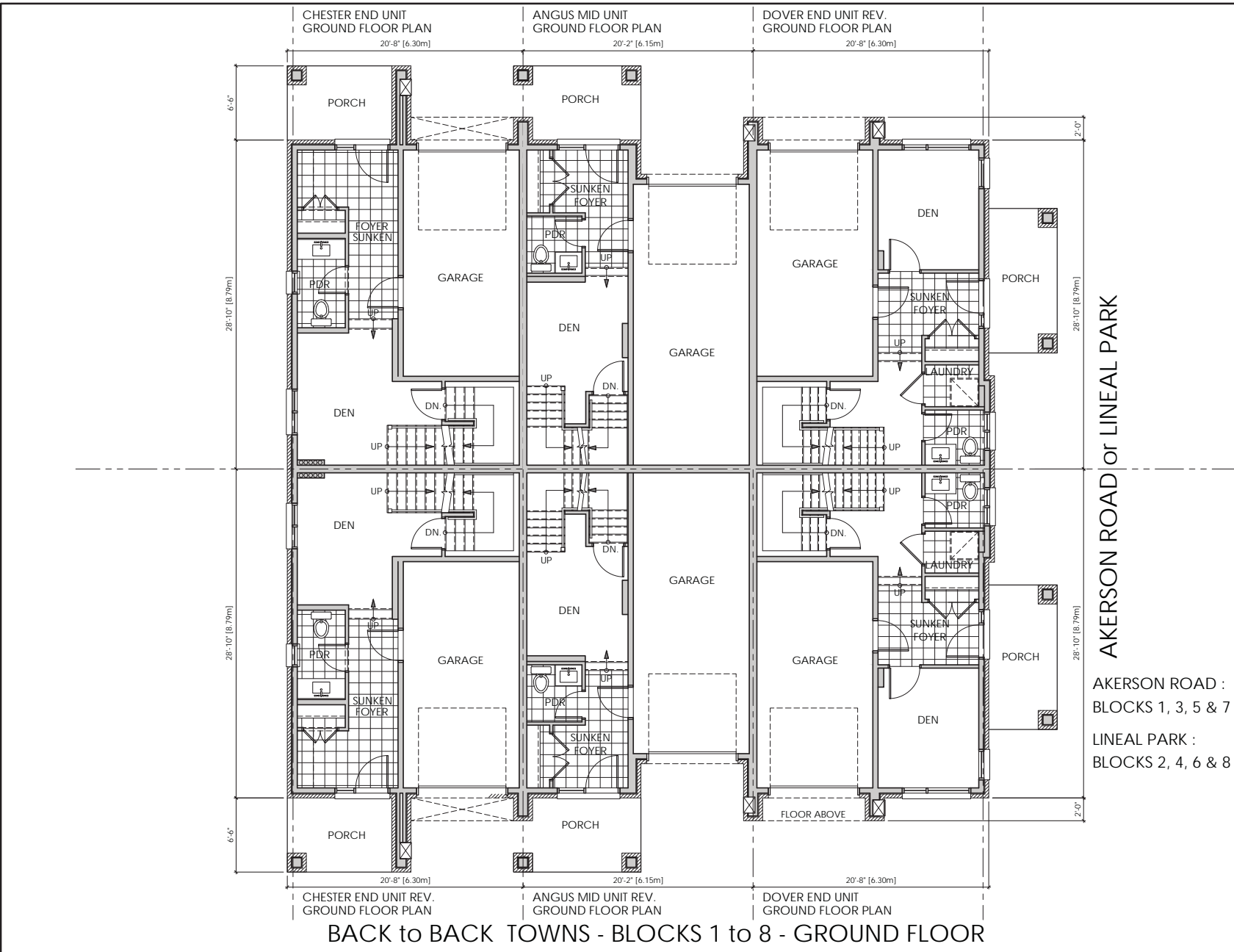
PROJECT: 150 & 170 AKERSON ROAD  
 BLOCKS 76 & 78  
 48 UNIT - BACK TO BACK TOWNHOMES  
 OTTAWA, ONT.

CLIENT:

DATE: SEPT. 2021  
 DRAWN BY: SBM  
 CHECKED: MDB

SCALE: 1:250  
 SHEET NO.: SP-1





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**REVISIONS**

- A - DETAIL NUMBER
- B - SHEET NUMBER (DETAIL REQUIRED)
- C - SHEET NUMBER (DETAIL LOCATION)

SEAL:

PROJECT: 150-170 AKERSON ROAD  
BLOCKS 76 & 78  
OTTAWA, ONT.

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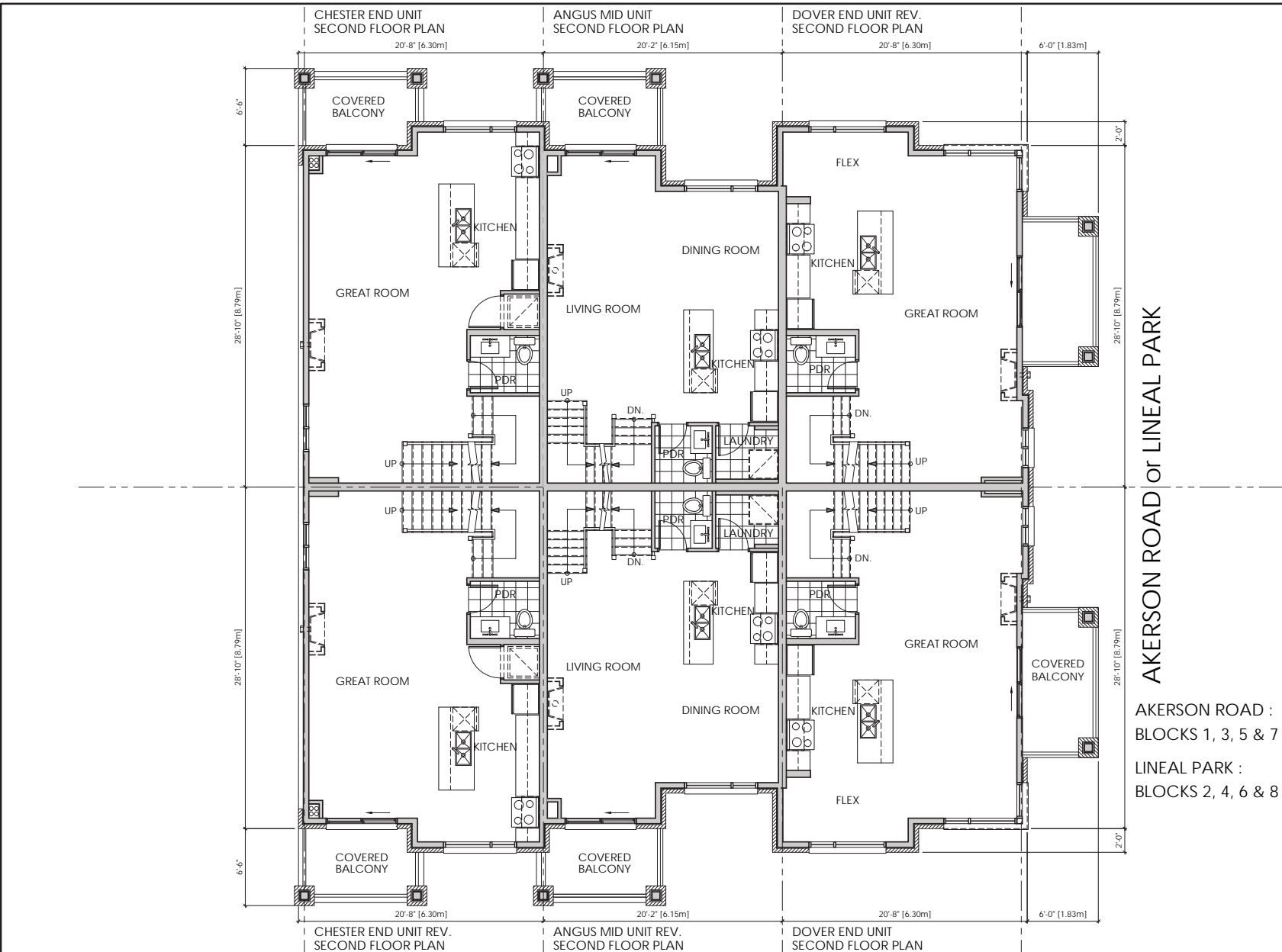
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BACK TO BACK TOWNS

DATE: DEC. 2022	SCALE: 1/8" = 1'-0"	SHEET #:
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AKERSON ROAD or LINEAL PARK

AKERSON ROAD :  
BLOCKS 1, 3, 5 & 7

LINEAL PARK :  
BLOCKS 2, 4, 6 & 8



BACK to BACK TOWNS - BLOCKS 1 to 8 - SECOND FLOOR



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AKERSON ROAD :  
BLOCKS 1, 3, 5 & 7

LINEAL PARK :  
BLOCKS 2, 4, 6 & 8

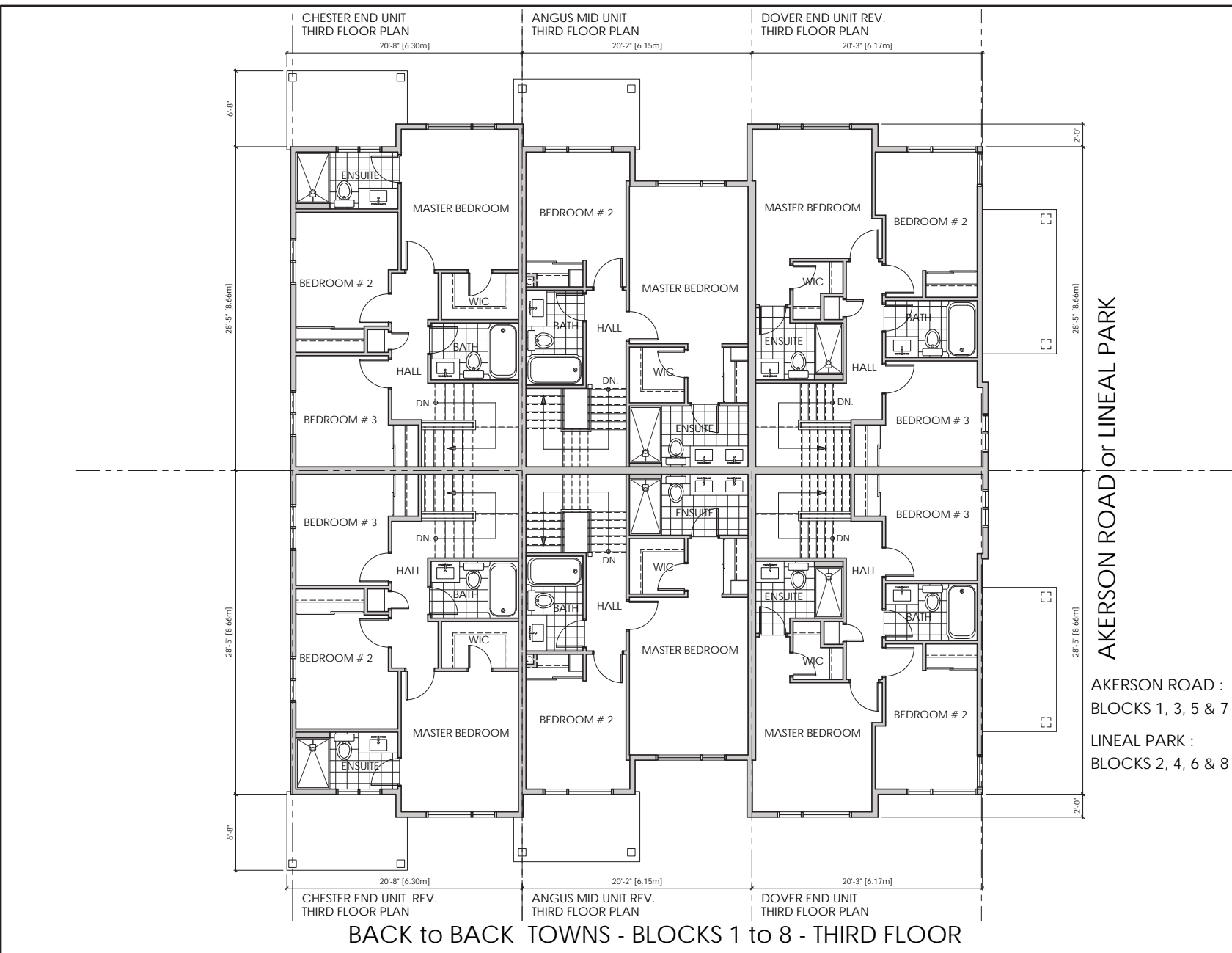
PROJECT: 150-170 AKERSON ROAD  
BLOCKS 76 & 78  
OTTAWA, ONT.



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BACK to BACK TOWNS

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PROJECT: 150 - 170 AKERSON ROAD  
BLOCKS 76 & 78  
OTTAWA, ONT.

CLIENT: 

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BACK TO BACK TOWNS

DATE: DEC. 2022	SCALE: 1/8" = 1'-0"	SHEET #:
DRAWN BY: SSM	CHECKED: MDB	<b>A3</b>

AKERSON ROAD or LINEAL PARK

AKERSON ROAD :  
BLOCKS 1, 3, 5 & 7

LINEAL PARK :  
BLOCKS 2, 4, 6 & 8



**BACK to BACK TOWNS  
BLOCKS 1 to 8  
FRONT ELEVATION**



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PROJECT: 150 - 170 AKERSON ROAD  
BLOCKS 76 & 78  
OTTAWA, ONT.

CLIENT:

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DATE: DEC. 2022	SCALE: 1/8" = 1'-0"	SHEET #:
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**BACK to BACK TOWNS  
BLOCKS 1 to 8  
REAR ELEVATION**



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DATE: DEC. 2022	SCALE: 1/8" = 1'-0"	SHEET #:	
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DOVER END UNIT  
SIDE ELEVATION

DOVER END UNIT  
SIDE ELEVATION REV.

### BACK to BACK TOWNS BLOCKS 1 to 8 SIDE ELEVATION

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A - DETAIL NUMBER  
B - SHEET NUMBER  
(DETAIL REQUIRED)  
C - SHEET NUMBER  
(DETAIL LOCATION)

PROJECT 150 - 170 AKERSON ROAD  
BLOCKS 76 & 78  
OTTAWA, ONT.



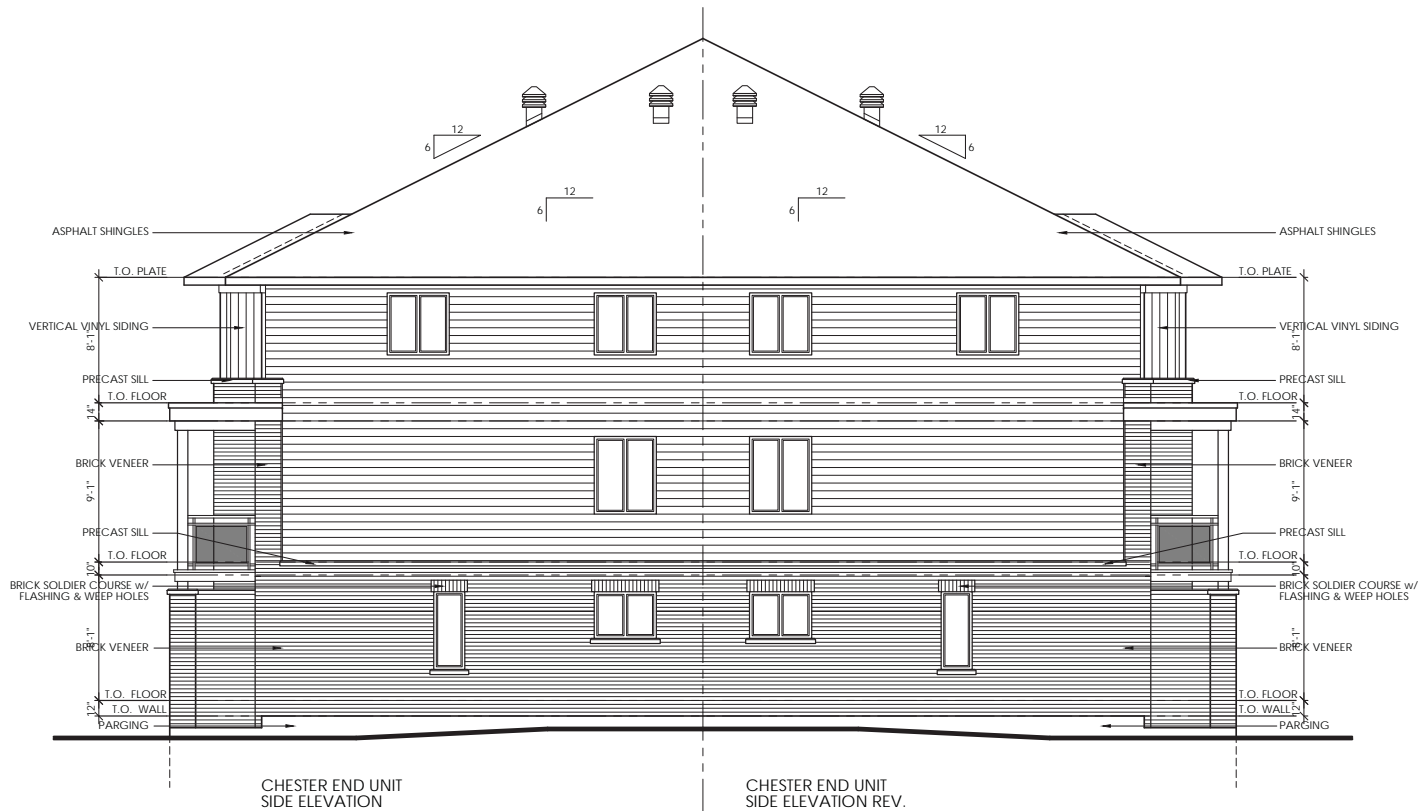
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BACK to BACK TOWNS

DATE: DEC. 2022	SCALE: 1/8" = 1'-0"	SHEET #:
DRAWN BY: SBM	CHECKED: MDB	<b>A6</b>



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BACK to BACK TOWNS  
BLOCKS 1 to 8  
SIDE ELEVATION



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- 3 - ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS
- 4 - DO NOT SCALE DRAWINGS.
- 5 - THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT
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- 7 - THIS REPRODUCTION SHALL NOT BE ALTERED.

SEAL

#	DATE	DESCRIPTION	SM	INT
1.	19/01/23	FOR REVIEW		
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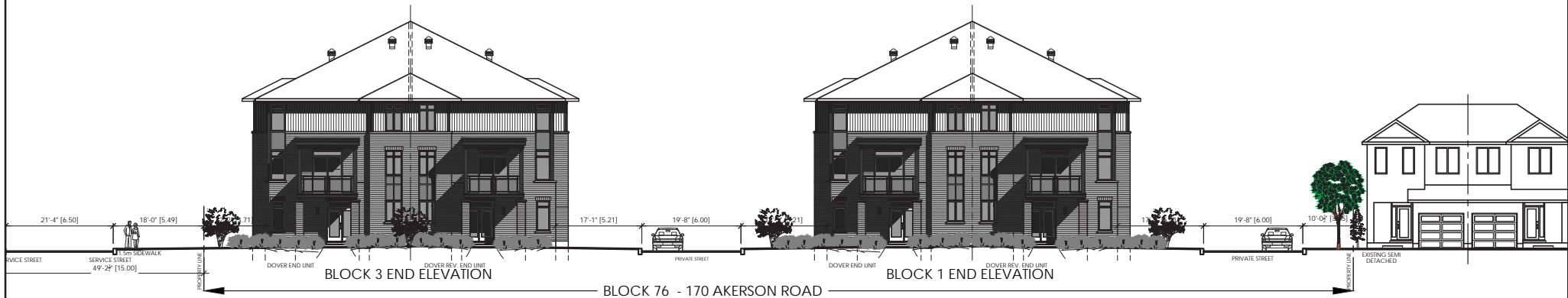
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C - SHEET NUMBER  
(DETAIL LOCATION)

PROJECT 150 - 170 AKERSON ROAD  
BLOCKS 76 & 78  
OTTAWA, ONT.



DRAWING TITLE TYPICAL  
BACK to BACK TOWNS

DATE DEC. 2022	SCALE 1/8" = 1'-0"	SHEET # A7
DRAWN BY SBM	CHECKED MDB	



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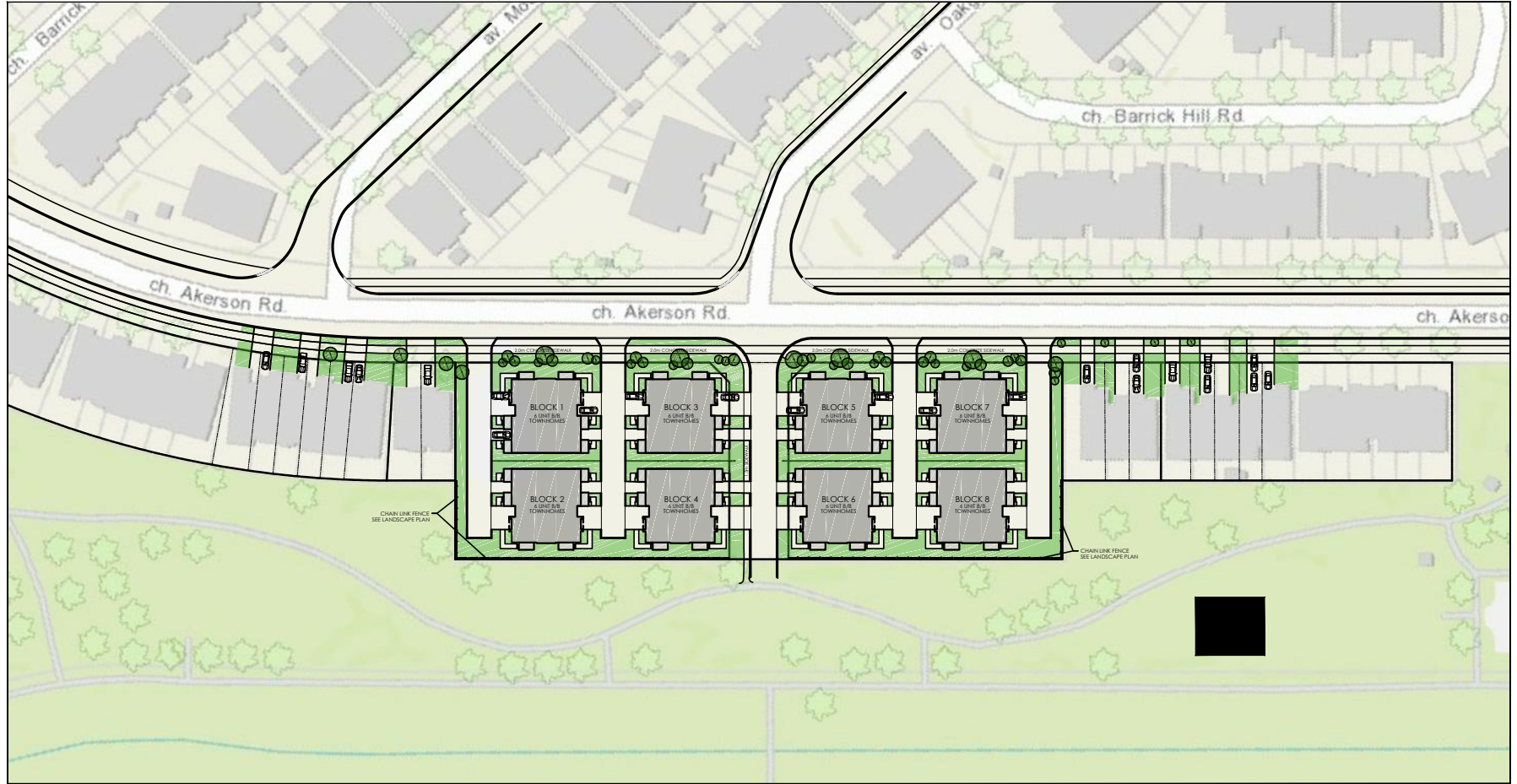
SEAL

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A - DETAIL NUMBER  
B - SHEET NUMBER (DETAIL REQUIRED)  
C - SHEET NUMBER (DETAIL LOCATION)

PROJECT: 150 - 170 AKERSON ROAD BLOCKS 76 & 78 OTTAWA, ONT.			
CLIENT:			
DRAWING TITLE: <b>SITE ELEVATIONS</b>			
DATE: DEC. 2022	SCALE: NTS	SHEET #: <b>A8</b>	
DRAWN BY: SBM	CHECKED: MDB		



  
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 2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.  
 3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS BY CONTRACT DOCUMENTS.  
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 6. THIS REPRODUCTION SHALL NOT BE ALTERED.



CONSTRUCTION NORTH

NO.	DATE	DESCRIPTION	BY	CHK.
16/07/23		FOR REVIEW	SM	ML

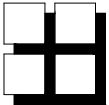
NO.	DATE	DESCRIPTION	BY	CHK.

PROJECT 150 & 170 AKERSON ROAD  
 CHANGING FROM 48 UNITS TO 48 UNITS  
 48 UNIT - BACK TO BACK TOWNHOMES  
 OTTAWA, ONT.



DRAWING TITLE  
**SKETCH STREET PLAN**

DATE JAN. 2021	SCALE 1:500	SHEET NO. A-9
DRAWN BY SBM	CHECKED MDB	

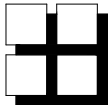


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**150 & 170 AKERSON RD.**  
LOOKING EAST ON AKERSON RD.





**M. David Blakely  
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**150 & 170 AKERSON RD.**  
Figure 1