

650a Eagleson Rd, Kanata, ON K2M 1H4

CONTENTS

Architecture

SHEET LIST		
SHEET #	TITLE	Revision
A00	COVER PAGE	1.9
A001	PROJECT DATA	1.9
A012	EXTERIOR & INTERIOR ASSEMBLIES	1.9
A050	SITE PLAN	1.9
A060	SITE PLAN DETAILS	1.9
A101.1	FLOOR PLAN - DRIVE THRU	1.9
A101.2	FLOOR PLAN - CARWASH	1.9
A110	ROOF PLAN - DRIVE THRU	1.9
A110.1	ROOF PLAN - CAR WASH	1.9
A201	DRIVE- THRU - FRONT & REAR	1.9
A202	DRIVE- THRU - EAST & WEST	1.9
A203	CARWASH - FRONT & REAR	1.9
A300	GENERAL CROSS SECTIONS- DRIVE THRU	1.9
A301	GENERAL CROSS SECTIONS- CAR WASH	1.9
A350	WALL SECTIONS & DETAIL	1.9

22199 5646 & 5650 Manotick Main

RELEASE 1 - ISSUED FOR PERMIT
2023-11-20

Version 1 A

Project version note



**NOT FOR CONSTRUCTION / PAS
POUR CONSTRUCTION**



ROSSMANN
ARCHITECTURE

88 Saint-Joseph Boulevard,
Gatineau QC J8Y 3W5
819-600-1555

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous les renseignements qu'il contient, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué à aucune tierce partie, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

NOT FOR CONSTRUCTION /
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / EQUIPE DU PROJET :

CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Rd #104, Nepean, ON K2P 9C1
<https://www.mcintoshperry.com/>

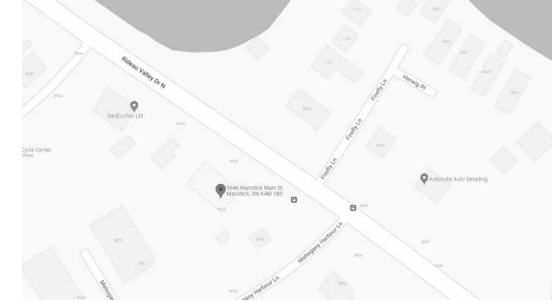
STRUCTURAL ENGINEER
Leakor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leakor.com/>

MECHANICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08
1.0	ISSUED FOR SPA	23-05-24
revision	description	date

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

**5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3**

DRAWING NAME / NOM DU DESSIN :

PROJECT DATA

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **2022-11-29**
DRAWN BY / DESSINÉ PAR : **KD**
REVIEWED BY / VÉRIFIÉ PAR : **LaG**
SCALE / ÉCHELLE :
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A001

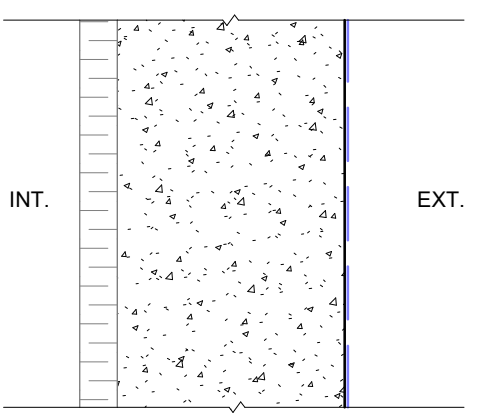
REVISION NO. / NO. DE RÉVISION : **1.9**

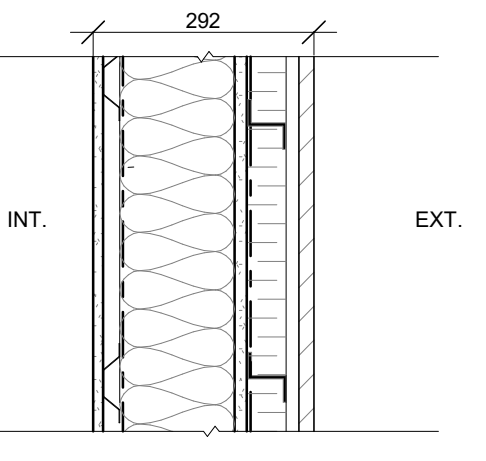
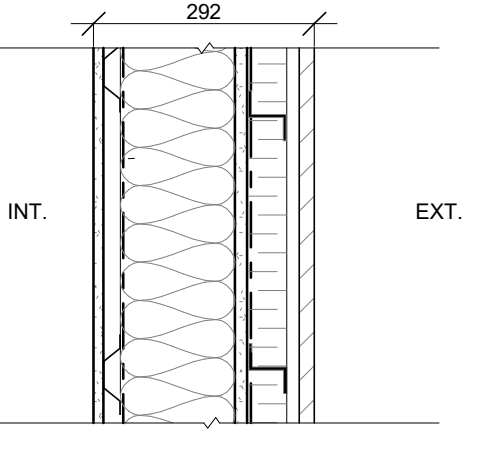
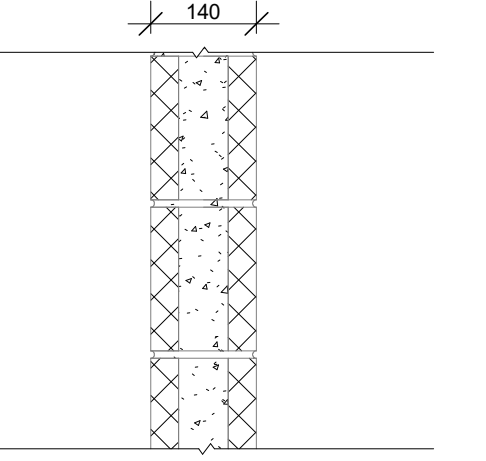
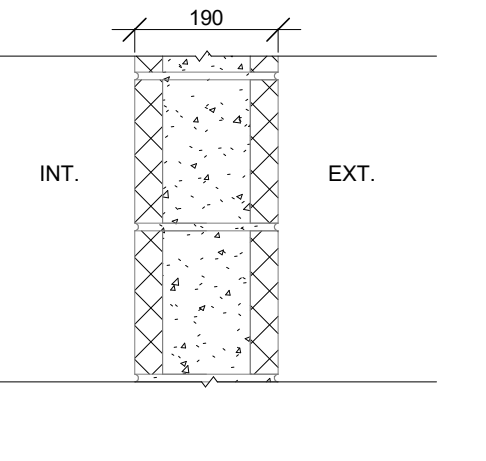
DRIVE-THRU RESTAURANT

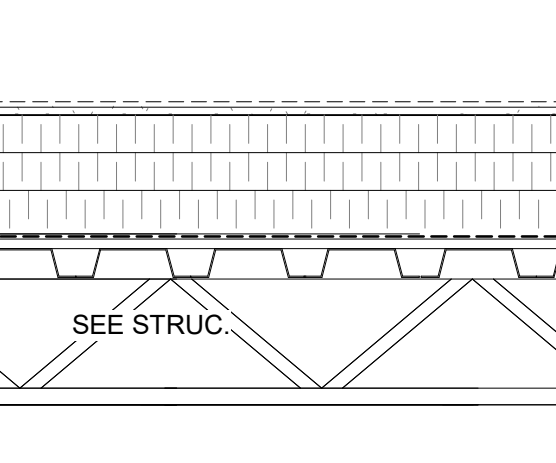
CODE MATRIX													
Project Description	Change of Use	New			Part 11			Part 3			Part 9		
		Alteration	Addition								2.1.1, 9.10.1.3		
Major Occupancy											3.1.2.1. (1)	9.10.2.	
Building Area (m²)	Existing	New	232	Total							1.1.3.2.	1.1.3.2.	
Gross Area (m²)	Existing	New		Total							1.1.3.2.	1.1.3.2.	
Number of Storeys	Above Grade	1		Below Grade	x						3.2.1.1. & 1.1.3.2.	2.1.1.3.	
Height of Building (m)		5										2.1.1.3.	
Number of Streets/Access Routes		1									3.2.2.10. & 3.2.5.5.		
Building Classification	GROUP E – 1 FLOOR										3.2.2.20 – 83	9.10.4.	
Sprinkler System Proposed	<input type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In lieu of roof rating <input checked="" type="checkbox"/> Not Required										3.2.2.20-83	9.10.8	
Standpipe Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.9.		
Fire Alarm Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.4.	9.10.7.2.	
Water Service/Supply is Adequate	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.6.		
High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.6.		
Permitted Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible										3.2.2.20 - 83	9.10.6.	
Actual Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible										3.2.1.1. 3)-6)	9.10.4.1.	
Mezzanine(s) Area											3.1.17.	9.9.1.3.	
Occupant Load Based on	<input type="checkbox"/> m² <input checked="" type="checkbox"/> Design of building										3.1.17.	9.9.1.3.	
Parking level – 02	Occupancy			Load									
Parking level – 01	Occupancy	30		Load									
Ground Floor	Occupancy			Load									
Level 2	Occupancy			Load									
Level 3	Occupancy			Load									
Level 4	Occupancy			Load									
Level 5	Occupancy			Load									
Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)										3.8.	9.5.2.	
Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.3.1.2. (1) & 3.3.1.19. (1)	9.10.1.3.	
Required Fire Resistance Rating	Horizontal Assemblies FRR(Hours) Listed Design No. or Description (SG-2) Floors NA Based On Roof - Based On Mezzanine - Based On FRR of Supporting Members Listed Design No. or Description (SG-2) Floors NA Based On Roof - Based On Mezzanine - Based On										3.2.2.20 - 83 & 3.2.1.4.	9.10.8. & 9.10.9.	
Spatial Separation – Construction Of Exterior Walls												3.2.3	9.10.14
Wall	Area (m²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Constr.	Comb. Constr. Non-comb. cladding	Non-comb. Constr.			
North	-	-						<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
South	-	-						<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
East								<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
West								<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
Exigences Relatives Aux Issues												3.4.2.1, 3.4.3.2B, 3.4.6.16	9.9
Étage	Min. Number of Exits	Min. Width of Corridors	Min. Width of Ramps	Min. Width of Stairs	Min. Width of door openings	Max. Travel Distance	Max. Distance between Exits	Panic bars					
Sous-sol								<input type="checkbox"/>					
1 st Floor	2	1100						<input type="checkbox"/>					
2 nd Floor								<input type="checkbox"/>					
3 rd Floor								<input type="checkbox"/>					
4 th Floor								<input type="checkbox"/>					
5 th Floor								<input type="checkbox"/>					
6 th Floor								<input type="checkbox"/>					

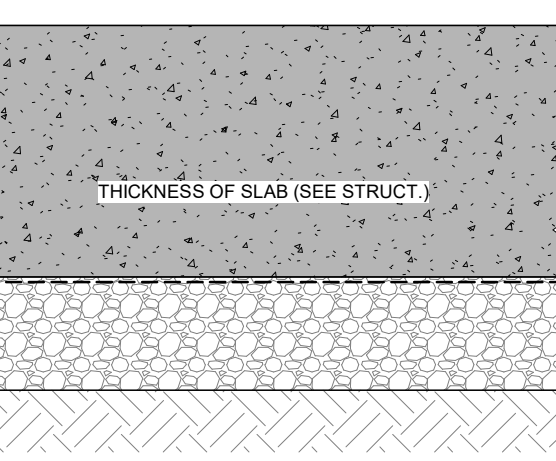
CAR WASH

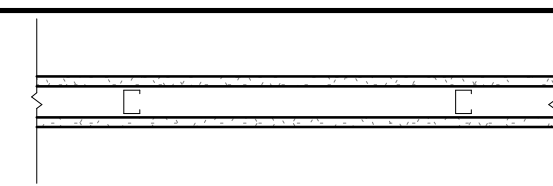
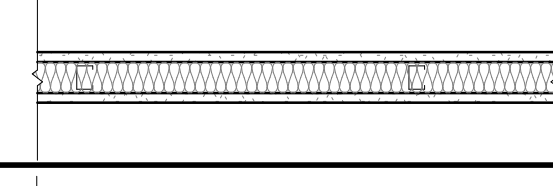
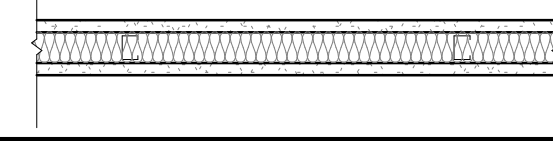
CODE MATRIX													
Project Description	Change of Use	New			Part 11			Part 3			Part 9		
		Alteration	Addition								2.1.1, 9.10.1.3		
Major Occupancy											3.1.2.1. (1)	9.10.2.	
Building Area (m²)	Existing	New	288.7	Total							1.1.3.2.	1.1.3.2.	
Gross Area (m²)	Existing	New		Total							1.1.3.2.	1.1.3.2.	
Number of Storeys	Above Grade	1		Below Grade	x						3.2.1.1. & 1.1.3.2.	2.1.1.3.	
Height of Building (m)		5										2.1.1.3.	
Number of Streets/Access Routes		1									3.2.2.10. & 3.2.5.5.		
Building Classification	GROUP F2 – 1 FLOOR										3.2.2.20 – 83	9.10.4.	
Sprinkler System Proposed	<input type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In lieu of roof rating <input checked="" type="checkbox"/> Not Required										3.2.2.20-83	9.10.8	
Standpipe Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.9.		
Fire Alarm Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.4.	9.10.7.2.	
Water Service/Supply is Adequate	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.6.		
High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.2.6.		
Permitted Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible										3.2.2.20 - 83	9.10.6.	
Actual Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible										3.2.1.1. 3)-8)	9.10.4.1.	
Mezzanine(s) Area											3.1.17.	9.9.1.3.	
Occupant Load Based on	<input type="checkbox"/> m² <input checked="" type="checkbox"/> Design of building										3.1.17.	9.9.1.3.	
Parking level – 02	Occupancy			Load									
Parking level – 01	Occupancy			Load									
Ground Floor	Occupancy	5		Load									
Level 2	Occupancy			Load									
Level 3	Occupancy			Load									
Level 4	Occupancy			Load									
Level 5	Occupancy			Load									
Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)										3.8.	9.5.2.	
Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.3.1.2. (1) & 3.3.1.19. (1)	9.10.1.3.	
Required Fire Resistance Rating	Horizontal Assemblies FRR(Hours) Listed Design No. or Description (SG-2) Floors NA Based On Roof - Based On Mezzanine - Based On FRR of Supporting Members Listed Design No. or Description (SG-2) Floors NA Based On Roof - Based On Mezzanine - Based On										3.2.2.20 - 83 & 3.2.1.4.	9.10.8. & 9.10.9.	
Spatial Separation – Construction Of Exterior Walls												3.2.3	9.10.14
Wall	Area (m²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Constr.	Comb. Constr. Non-comb. cladding	Non-comb. Constr.			
North	-	-						<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
South	-	-						<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
East								<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
West								<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
Exigences Relatives Aux Issues												3.4.2.1, 3.4.3.2B, 3.4.6.16	9.9
Étage	Min. Number of Exits	Min. Width of Corridors	Min. Width of Ramps	Min. Width of Stairs	Min. Width of door openings	Max. Travel Distance	Max. Distance between Exits	Panic bars					
Sous-sol								<input type="checkbox"/>					
1 st Floor	1	1100						<input type="checkbox"/>					
2 nd Floor								<input type="checkbox"/>					
3 rd Floor								<input type="checkbox"/>					
4 th Floor								<input type="checkbox"/>					
5 th Floor								<input type="checkbox"/>					
6 th Floor								<input type="checkbox"/>					

FOUNDATIONS				
TYPE	CONSTRUCTION	DESCRIPTION		NOTES:
F1		FOUNDATION WALL - RIGID INSULATION 50mm (600mm BELOW GRADE) - CONCRETE FOUNDATION (SEE STRUCTURAL ENGINEER) - HOT APPLIED RUBBER BITUMEN MEMBRANE	RSI (min) 1.8ci RSI 1.98 ITS (1.87ci) DFR	NOTE-1 : ENSURE ALL DAMP PROOFING IS INSTALLED ON EXTERIOR WALL FACE, WHERE SOIL IS IN CONTACT WITH CONCRETE WALL.

EXTERIOR WALLS				
TYPE	CONSTRUCTION	DESCRIPTION		NOTES:
W1		EXTERIOR WALL - HORIZONTAL SIDING - 3mm METAL PANEL SYSTEM WITH 51mm EXTRUSION AND SUPPORT SYSTEM - 50 mm Z-Bar - XPS RIGID INSULATION 50mm (R10 MIN.) - GALVANIZED STEEL "Z" BARS @ 400mm c/c - VAPOUR PERMEABLE AIR BARRIER AND WATERPROOFING MEMBRANE - EXTERNAL GYPSUM PANEL 16mm - METAL MAST 152mm @ 400mm c/c - MINERAL WOOL INSULATION - R24 (FILL CAVITY) - POLYETHYLENE VAPOUR BARRIER - 22mm METAL FRAMES - 1 GYPSUM PANELS 13mm	RSI (min) 2.3+1.8ci RSI 4.19 ITS DFR	2 HOUR F.R.R. ASSEMBLY (REFER TO FIRE RATING PLANS FOR REQUIRED F.R.R. BY LOCATION) NOTE: SEAL TOP & BOTTOM TRACKS AND DRYWALL WITH FIRE CAULKING. ALL ACOUSTICAL NOTES TO APPLY ON THIS WALL.
W2		EXTERIOR WALL - VERTICAL SIDING - 3mm METAL PANEL SYSTEM WITH 51mm EXTRUSION AND SUPPORT SYSTEM - 50 mm Z-Bar - XPS RIGID INSULATION 50mm (R10 MIN.) - GALVANIZED STEEL "Z" BARS @ 400mm c/c - VAPOUR PERMEABLE AIR BARRIER AND WATERPROOFING MEMBRANE - EXTERNAL GYPSUM PANEL 16mm - METAL MAST 152mm @ 400mm c/c - MINERAL WOOL INSULATION - R24 (FILL CAVITY) - POLYETHYLENE VAPOUR BARRIER - 22mm METAL FRAMES - 1 GYPSUM PANELS 13mm	RSI (min) 2.3+1.8ci RSI 4.19 ITS DFR	2 HOUR F.R.R. ASSEMBLY (REFER TO FIRE RATING PLANS FOR REQUIRED F.R.R. BY LOCATION) NOTE: SEAL TOP & BOTTOM TRACKS AND DRYWALL WITH FIRE CAULKING. ALL ACOUSTICAL NOTES TO APPLY ON THIS WALL.
W3		BAY DIVIDING CMU BLOCK - 140MM CONCRETE BLOCK W/ PAINT FINISH (REFER TO PLANS & SEE STRUCT.)	RSI (min) RSI ITS DFR	
W4		CMU - EXTERIOR WALL - 190MM CINDER BLOCK	RSI (min) RSI ITS DFR	

ROOF TYPES				
TYPE	CONSTRUCTION	DESCRIPTION		NOTES:
RF-01		TYPICAL ROOF BILAYER MEMBRANE ASSEMBLY - TWO-LAYER ELASTOMERIC BITUMEN MEMBRANE: - THERMO-WELDED TOP COAT - THERMO-WELDED UNDERLAYMENT - HIGH DENSITY MEMBRANE SUPPORT PANEL 13mm - XPS RIGID INSULATION 150mm - SELF-ADHESIVE VAPOUR BARRIER MEMBRANE - 13mm EXTERNAL GYPSUM SUPPORT PANEL - GALVANIZED STEEL DECKING (SEE STRUCTURAL ENGINEER) - STEEL JOISTS (SLOPE PER STRUCTURE - SEE STRUCTURAL ENGINEER)	RSI (min) 4.4ci RSI 5.93 ITS DFR	2 HOUR F.R.R. ASSEMBLY (REFER TO FIRE RATING PLANS FOR REQUIRED F.R.R. BY LOCATION) NOTE: SEAL TOP & BOTTOM TRACKS AND DRYWALL WITH FIRE CAULKING. ALL ACOUSTICAL NOTES TO APPLY ON THIS WALL.

FLOOR TYPES				
TYPE	CONSTRUCTION	DESCRIPTION		NOTES:
FF1		CONCRETE SLAB ON GROUND - EPOXY FINISH SEALER - CONCRETE SLAB (SEE STRUCTURAL ENGINEER) - 15mm POLYETHYLENE VAPOUR BARRIER - COMPACTED GRANULAR BACKFILL (SEE GEOTECHNICAL ENGINEERING)	RSI (min) 1.8 RSI 1.8 ITS DFR	

TYPE	CONSTRUCTION	DESCRIPTION	DIMENSIONS		INSTALLATION						NOTES	
			SIZE	WALL	INSULATION + SCELLANT (I)			SCELLANT (S)				
P1		- GYPSUM BOARD 13mm - METAL STUD @ 406mm O/C - GYPSUM BOARD 13mm	.1	41 mm [1 5/8"]	67 mm [2 5/8"]							- SEE THE FIRE RESISTANCE PLANS FOR PRECISION ON THE REQUIRED FIRE RESISTANCE DEPENDING ON THE LOCATION. - THIS PARTITION IS SOMETIMES USED WITHOUT A ONE HOUR DEGREE OF FIRE RESISTANCE REQUIRED (FOR ACOUSTIC PURPOSES)
			.2	64 mm [2 1/2"]	90 mm [3 9/16"]							
			.3	92 mm [3 5/8"]	118 mm [4 5/8"]							
			.4	152 mm [6"]	178 mm [7"]							
P2		- GYPSUM BOARD 13mm - METAL STUD @ 406mm O/C - FIBER GLASS INSULATION (CAVITY) - GYPSUM BOARD 13mm	.1	41 mm [1 5/8"]	67 mm [2 5/8"]						- SEE THE FIRE RESISTANCE PLANS FOR PRECISION ON THE REQUIRED FIRE RESISTANCE DEPENDING ON THE LOCATION. - THIS PARTITION IS SOMETIMES USED WITHOUT A ONE HOUR DEGREE OF FIRE RESISTANCE REQUIRED (FOR ACOUSTIC PURPOSES)	
			.2	64 mm [2 1/2"]	90 mm [3 9/16"]							
			.3	92 mm [3 5/8"]	118 mm [4 5/8"]							
			.4	152 mm [6"]	178 mm [7"]							
P3		- GYPSUM BOARD 16mm - TYPE-X - METAL STUD @ 406mm O/C - MINERAL FIBER INSULATION (CAVITY) - GYPSUM BOARD 16mm - TYPE-X	.1	41 mm [1 5/8"]	73 mm [2 7/8"]	39	45MIN			1HR	- SEE THE FIRE RESISTANCE PLANS FOR PRECISION ON THE REQUIRED FIRE RESISTANCE DEPENDING ON THE LOCATION. - THIS PARTITION IS SOMETIMES USED WITHOUT A ONE HOUR DEGREE OF FIRE RESISTANCE REQUIRED (FOR ACOUSTIC PURPOSES)	
			.2	64 mm [2 1/2"]	96 mm [3 3/4"]	45	1HR	ULC W409	35	3/4HRS		
			.3	92 mm [3 5/8"]	124 mm [4 7/8"]	50	1HR	ULC W415	38	1HR		
			.4	152 mm [6"]	184 mm [7 1/4"]	51	45MIN					

NOT FOR CONSTRUCTION / PAS POUR CONSTRUCTION

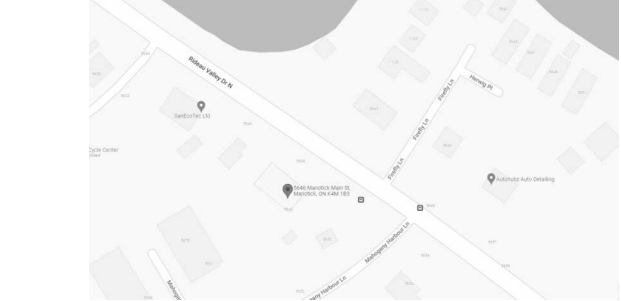
This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

- CIVIL ENGINEER**
McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>
- STRUCTURAL ENGINEER**
Leakor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leakor.com/>
- MECHANICAL ENGINEER**
Milton Ltd.
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>
- ELECTRICAL ENGINEER**
Milton Ltd.
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>
- LANDSCAPE ARCHITECT**
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

revision	description	date
1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3

DRAWING NAME / NOM DU DESSIN :

EXTERIOR & INTERIOR ASSEMBLIES

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	22199
DATE :	04/12/21
DRAWN BY / DESSINÉ PAR :	KD
REVIEWED BY / VÉRIFIÉ PAR :	LaG
SCALE / ÉCHELLE :	1 : 10
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	

A012

REVISION NO. / NO. DE RÉVISION : 1.9

NOT FOR CONSTRUCTION,
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Rd #104, Napanee, ON K2H 9C1
<https://www.mcintoshperry.com/>

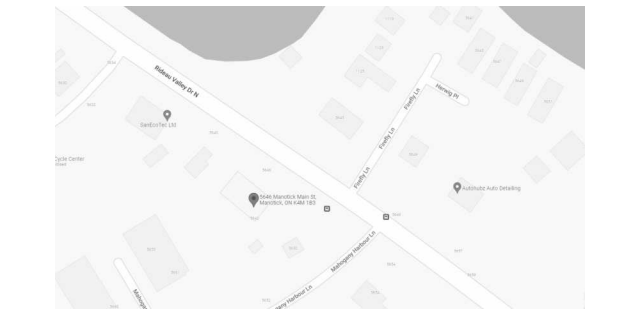
STRUCTURAL ENGINEER
Leakor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leakor.com/>

MECHANICAL ENGINEER
Milton Ltd.
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER
Milton Ltd.
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

revision	description	date
1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.6	ISSUED FOR SPA R2	23-10-17
1.5	CO-ORDINATION	23-10-10

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3

DRAWING NAME / NOM DU DESSIN :

SITE PLAN DETAILS

DRAWING INFORMATION / INFORMATION DU DESSIN :

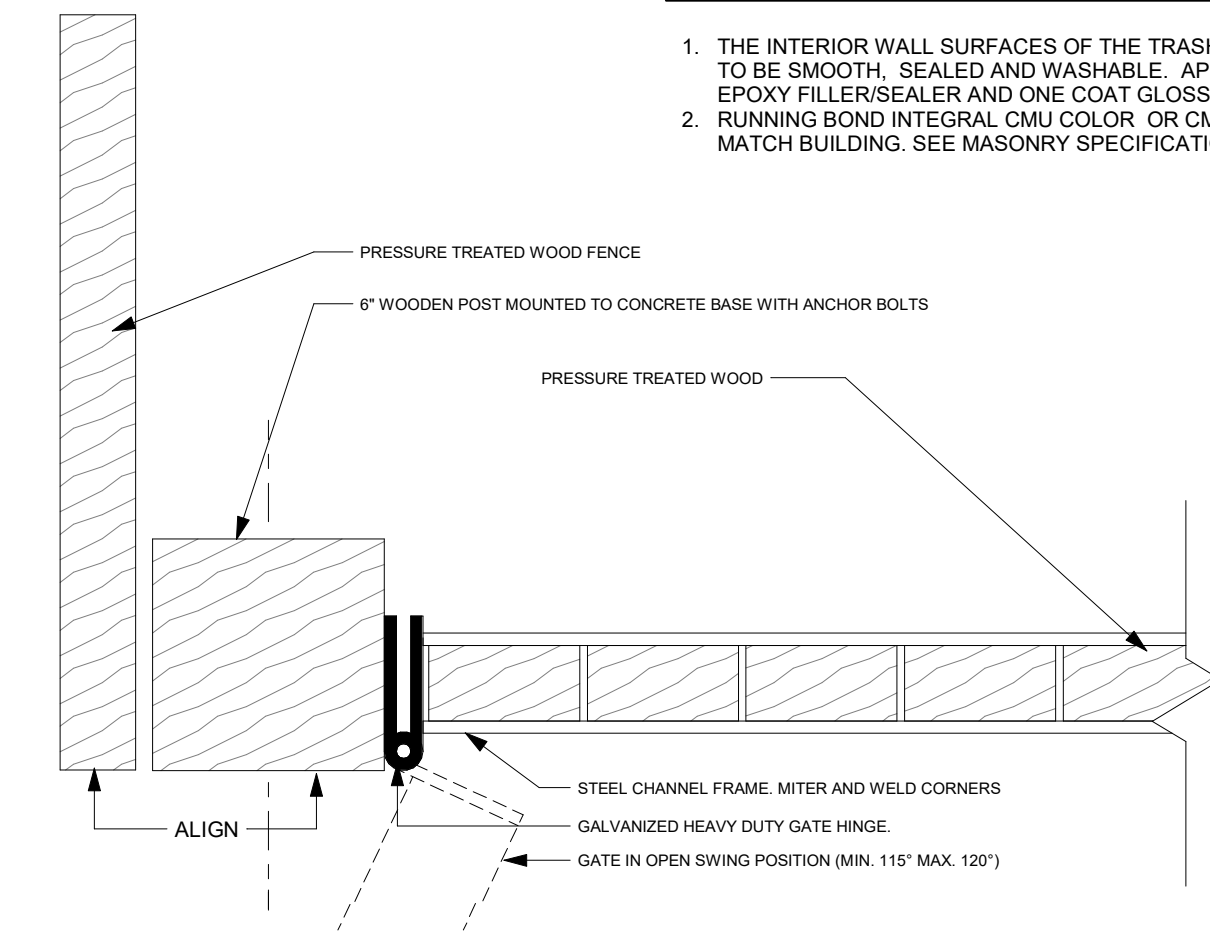
PROJECT NO. / NO. DE PROJET : **22199**
DATE : **2023-10-10**
DRAWN BY / DESSINÉ PAR : **Author**
REVIEWED BY / VÉRIFIÉ PAR : **Checker**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN : **A060**

A060

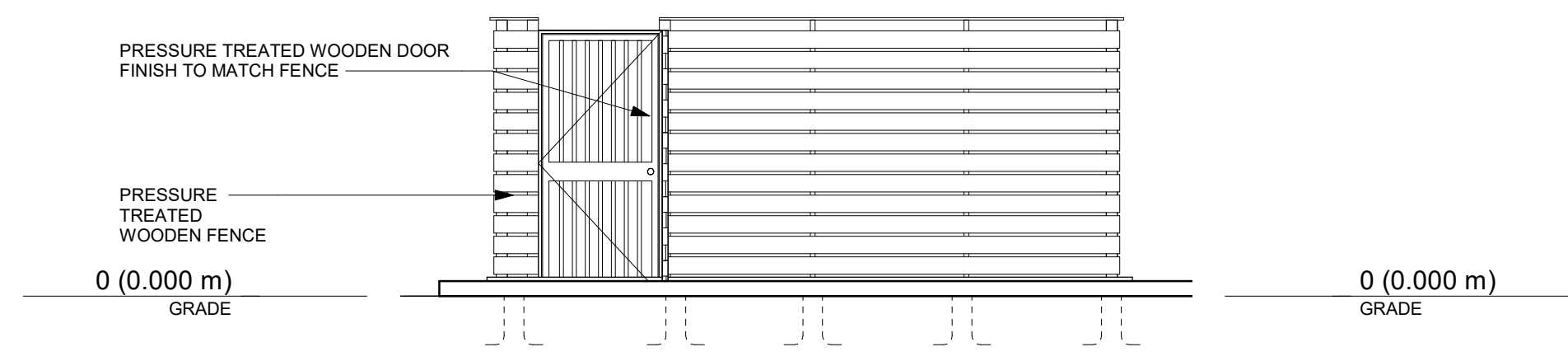
REVISION NO. / NO. DE RÉVISION : **1.9**

EXTERIOR FINISH NOTES:

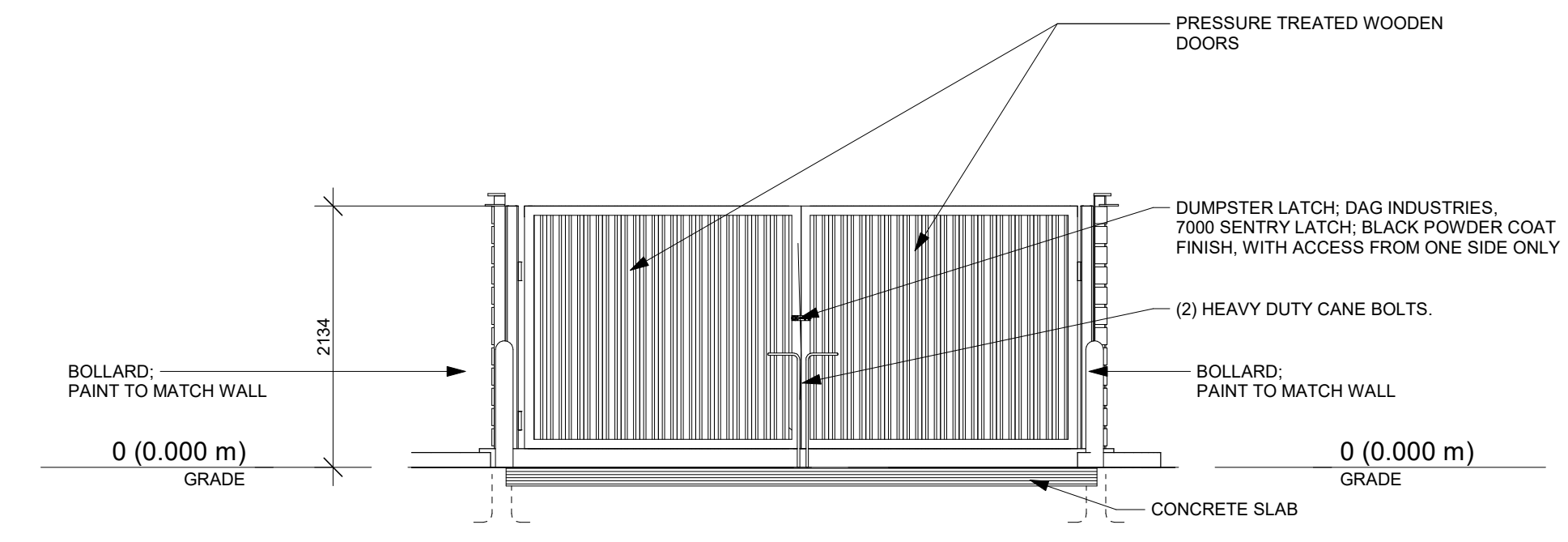
1. THE INTERIOR WALL SURFACES OF THE TRASH ENCLOSURE ARE TO BE SMOOTH, SEALED AND WASHABLE. APPLY ONE COAT EPOXY FILLER/SEALER AND ONE COAT GLOSS POLYURETHANE.
2. RUNNING BOND INTEGRAL CMU COLOR OR CMU PAINTED TO MATCH BUILDING. SEE MASONRY SPECIFICATIONS.



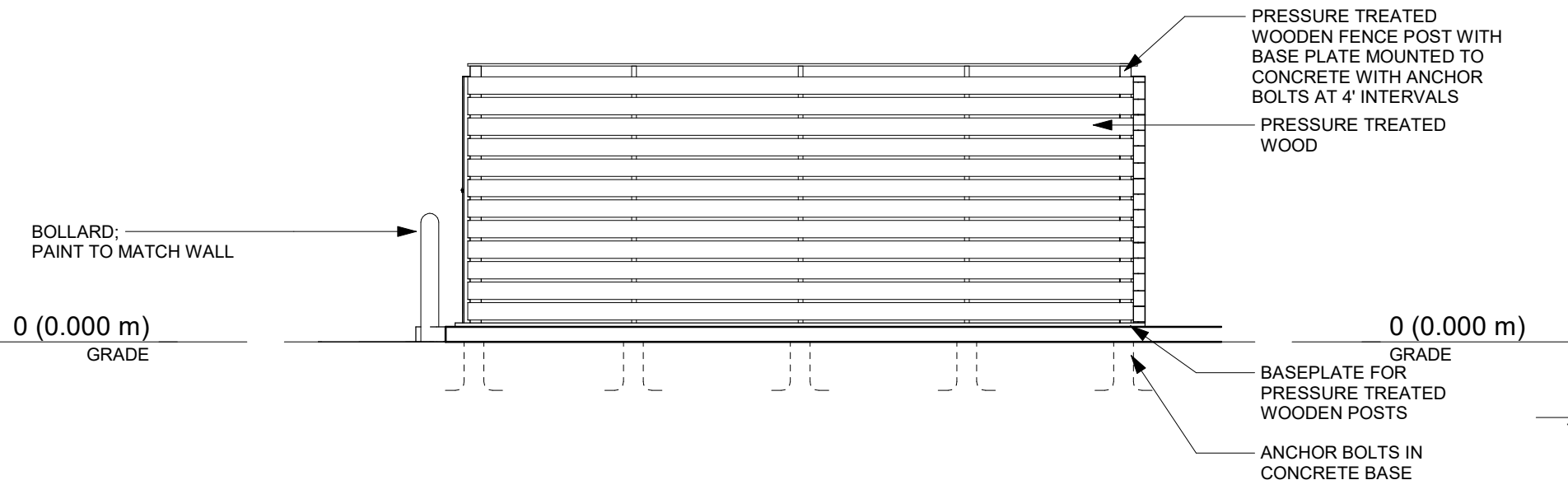
8 GATE HINGE DETAIL
A060 1:5



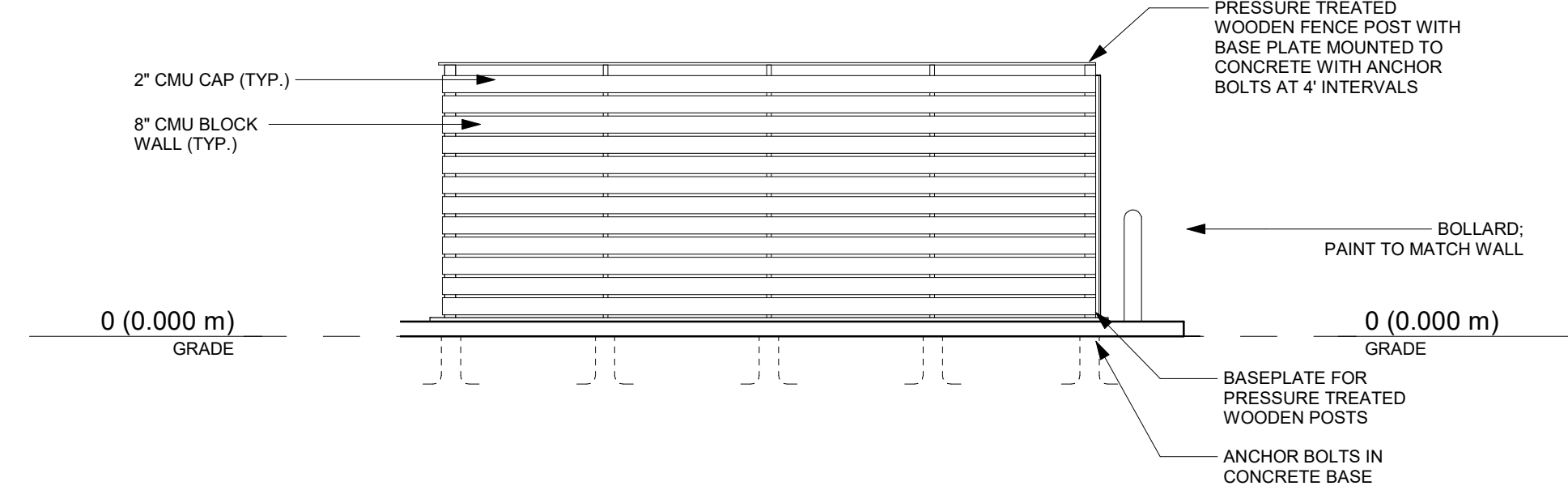
4 TRASH ENCLOSURE REAR ELEVATION
A060 1:50



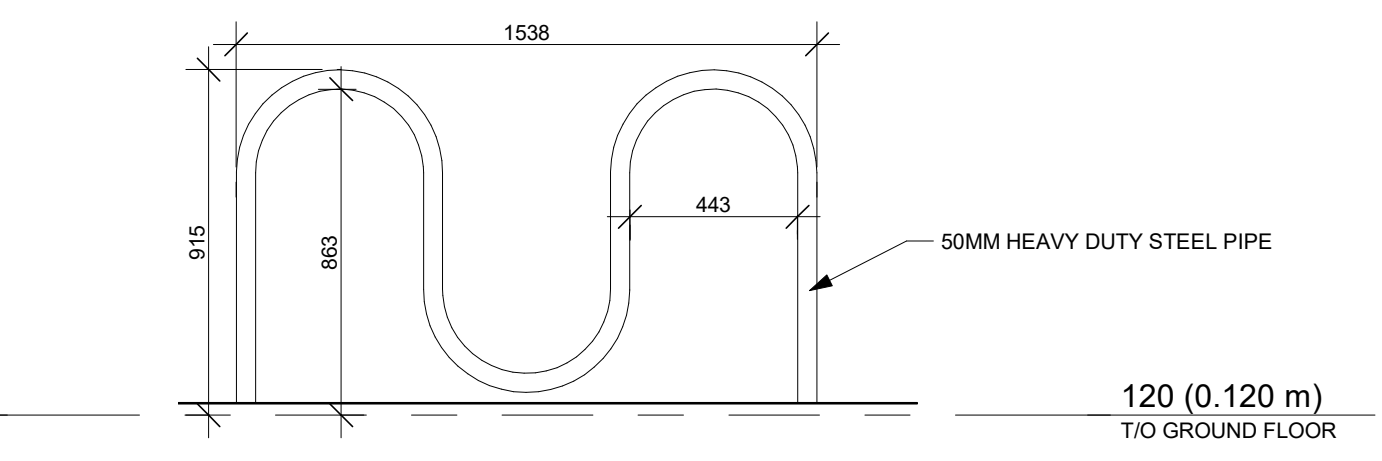
1 TRASH ENCLOSURE FRONT ELEVATION
A060 1:50



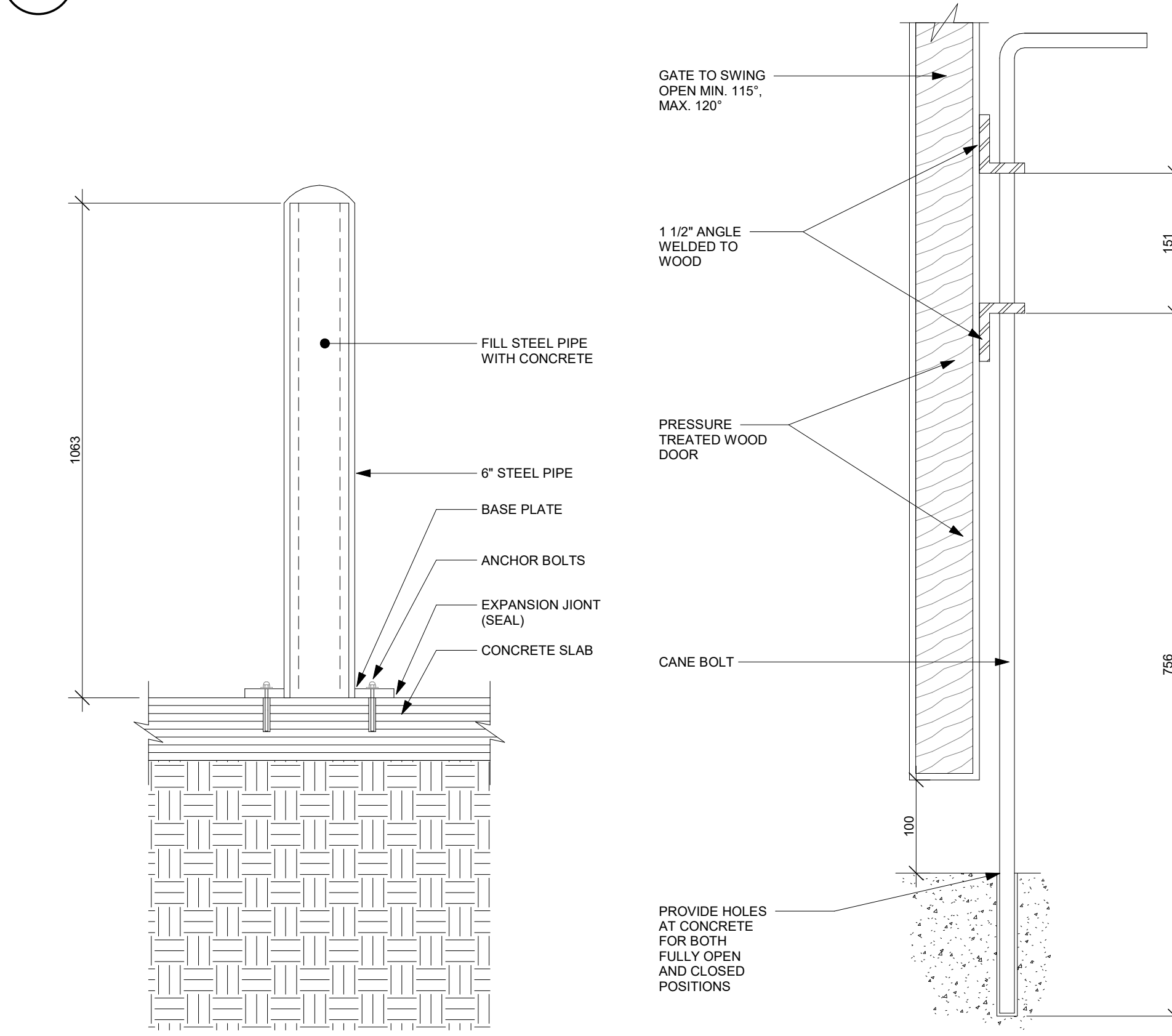
5 TRASH ENCLOSURE SIDE ELEVATION 2
A060 1:50



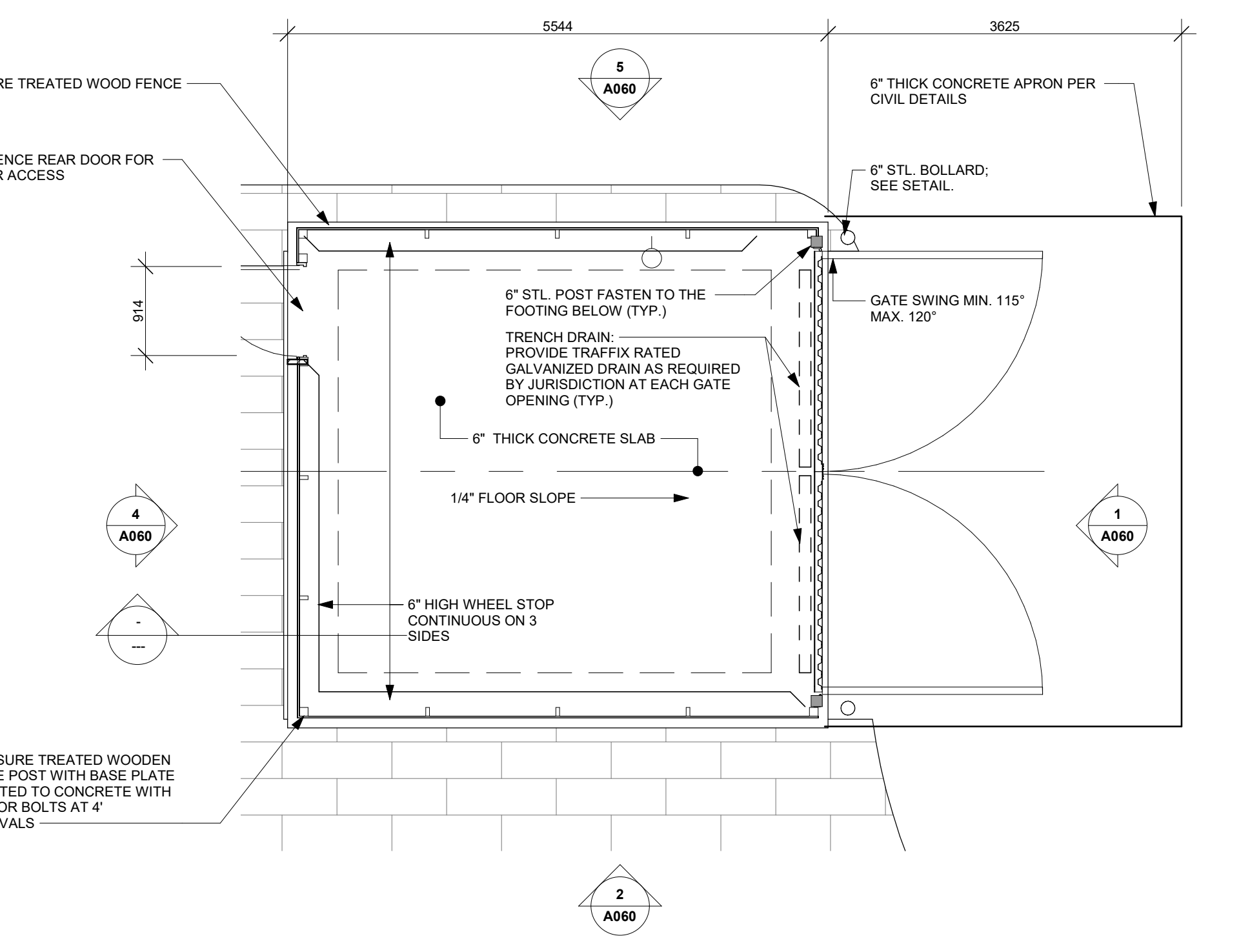
2 TRASH ENCLOSURE SIDE ELEVATION
A060 1:50



9 BIKE RACK ELEVATION
A060 1:20

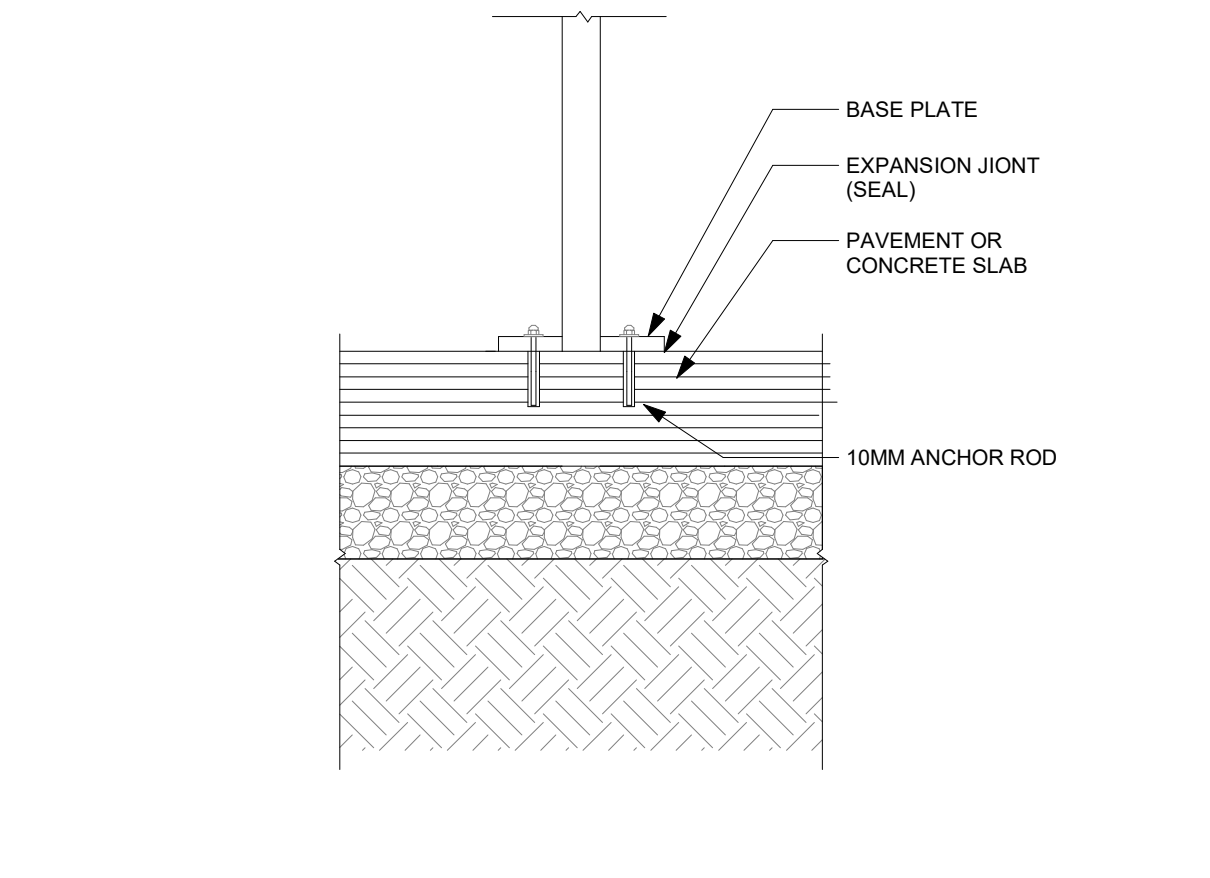


7 SECTION AT CANE BOLT
A060 1:5



3 GROUND FLOOR- TRASH ENCLOSURE
A060 1:50

6 TRASH ENCLOSURE BOLLARD
A060 1:10



10 TRASH ENCLOSURE BOLLARD
A060 1:10

NOT FOR CONSTRUCTION
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>

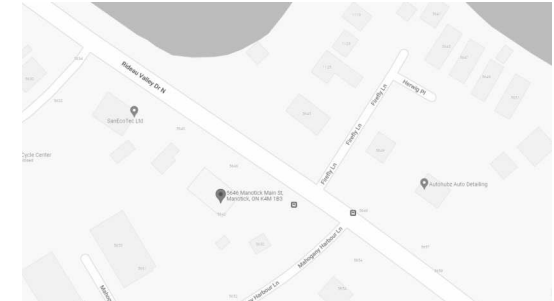
STRUCTURAL ENGINEER
Leekor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leekor.com/>

MECHANICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

revision	description	date
1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.7	CO-ORDINATION	23-10-30
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.2	CO-ORDINATION	23-08-17
1.1	CO-ORDINATION	23-08-08
1.0	ISSUED FOR SPA	23-05-24

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3

DRAWING NAME / NOM DU DESSIN :

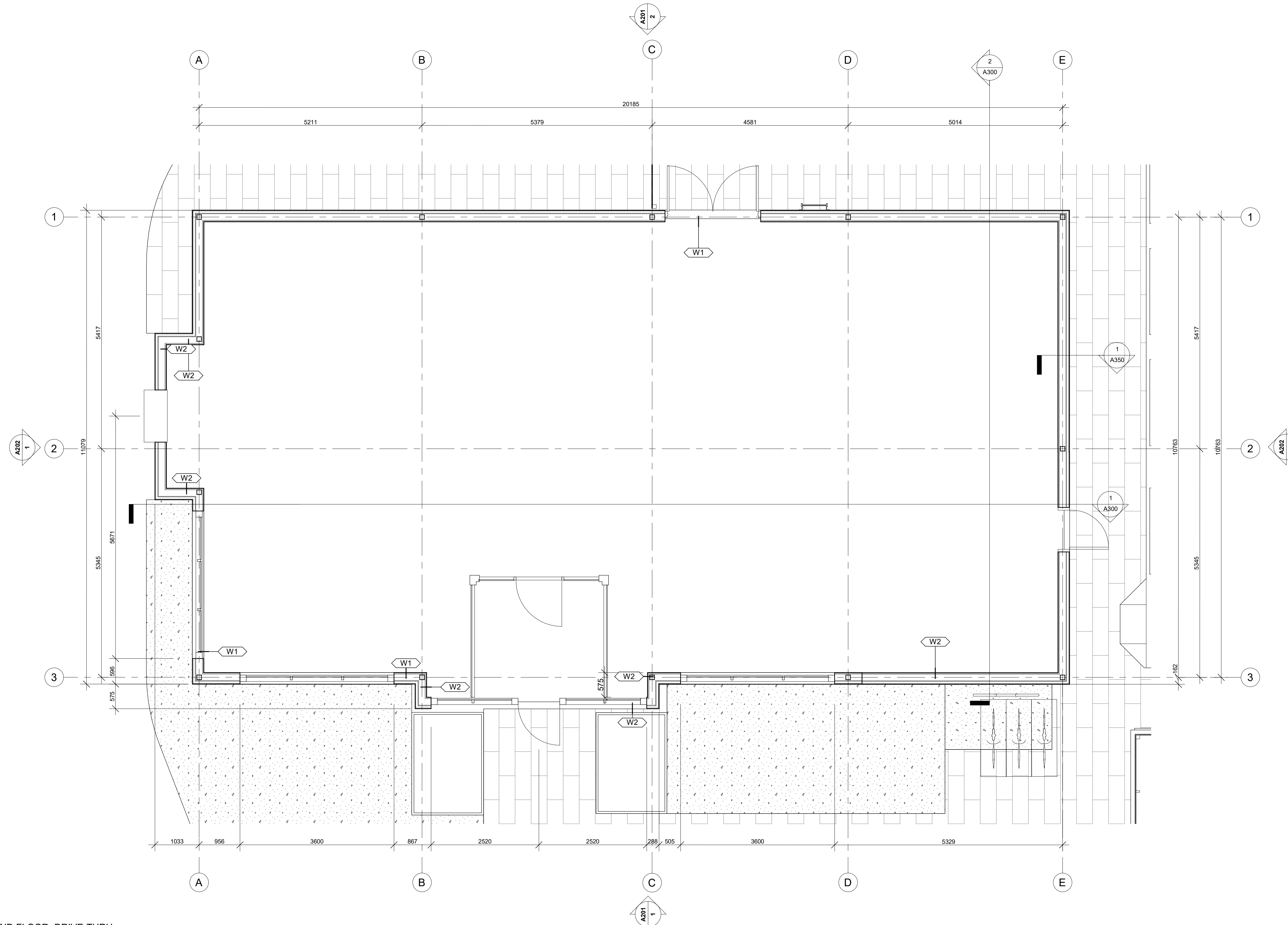
FLOOR PLAN - DRIVE THRU

**DRAWING INFORMATION /
INFORMATION DU DESSIN :**

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **2022-11-29**
DRAWN BY / DESSINÉ PAR : **MS**
REVIEWED BY / VÉRIFIÉ PAR : **LaG**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A101.1

REVISION NO. / NO. DE RÉVISION : **1.9**



1
GROUND FLOOR- DRIVE-THRU
A101.1 1 : 50

NOT FOR CONSTRUCTION
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tending or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>

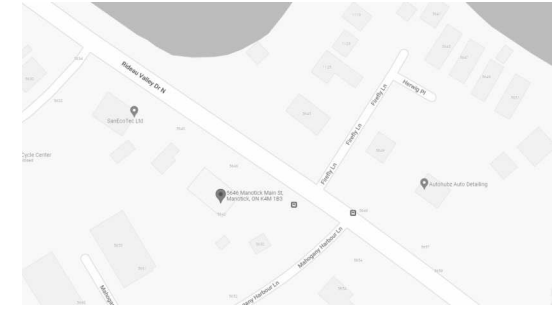
STRUCTURAL ENGINEER
Leekor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leekor.com/>

MECHANICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

revision	description	date
1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.2	CO-ORDINATION	23-08-17
1.1	CO-ORDINATION	23-08-08
1.0	ISSUED FOR SPA	23-05-24

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3

DRAWING NAME / NOM DU DESSIN :

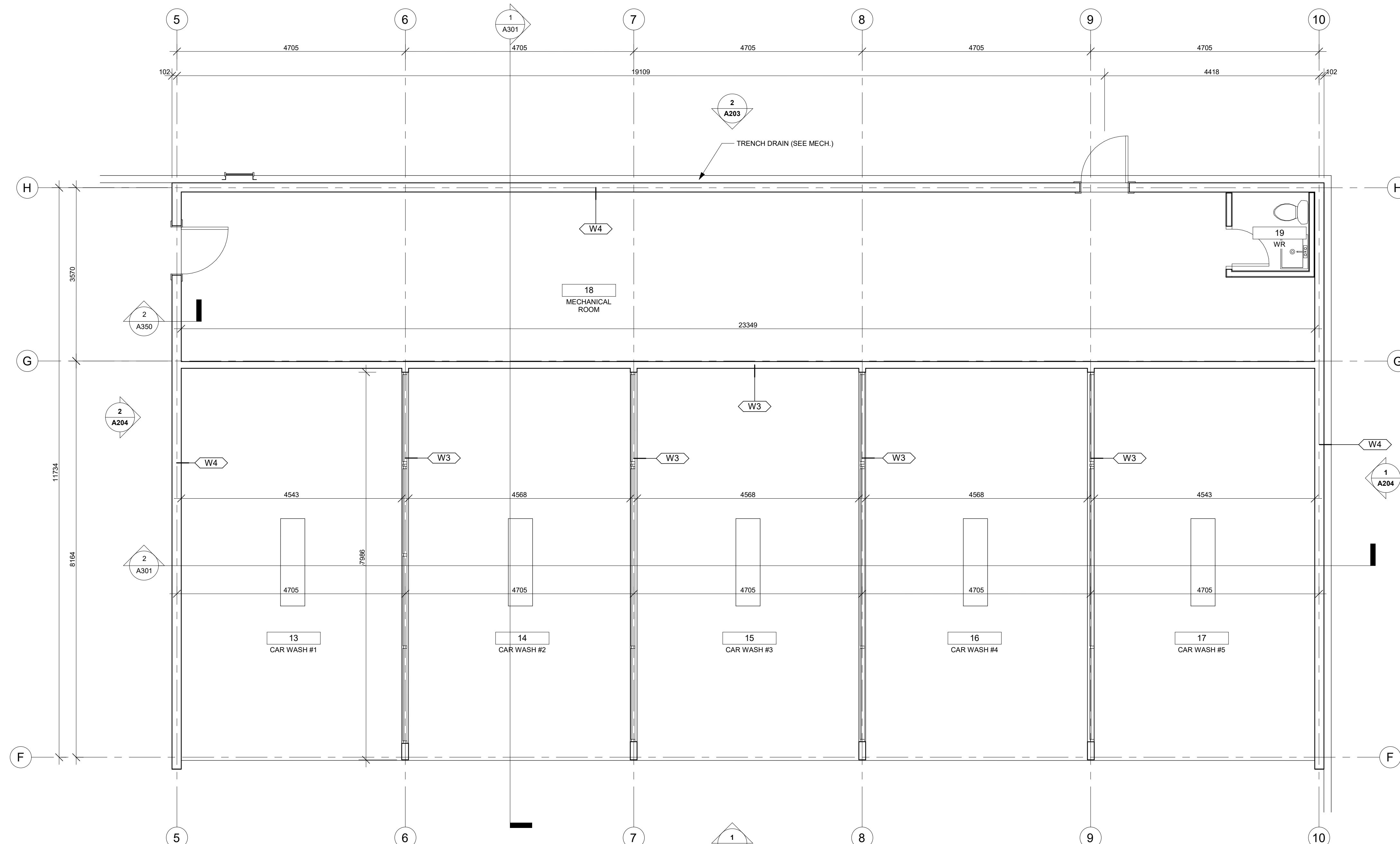
FLOOR PLAN - CARWASH

**DRAWING INFORMATION /
INFORMATION DU DESSIN :**

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **2022-11-29**
DRAWN BY / DESSINÉ PAR : **MS**
REVIEWED BY / VÉRIFIÉ PAR : **LaG**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A101.2

REVISION NO. / NO. DE RÉVISION : **1.9**



1
GROUND FLOOR - CAR WASH
A101.2
1 : 50

NOT FOR CONSTRUCTION
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tending or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous informations contenues a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tierce partie, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune maniere pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>

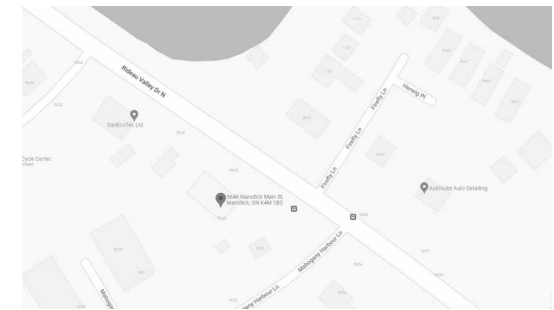
STRUCTURAL ENGINEER
Leekor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leekor.com/>

MECHANICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.2	CO-ORDINATION	23-08-17
revision	description	date

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON

K4M 1B3

DRAWING NAME / NOM DU DESSIN :

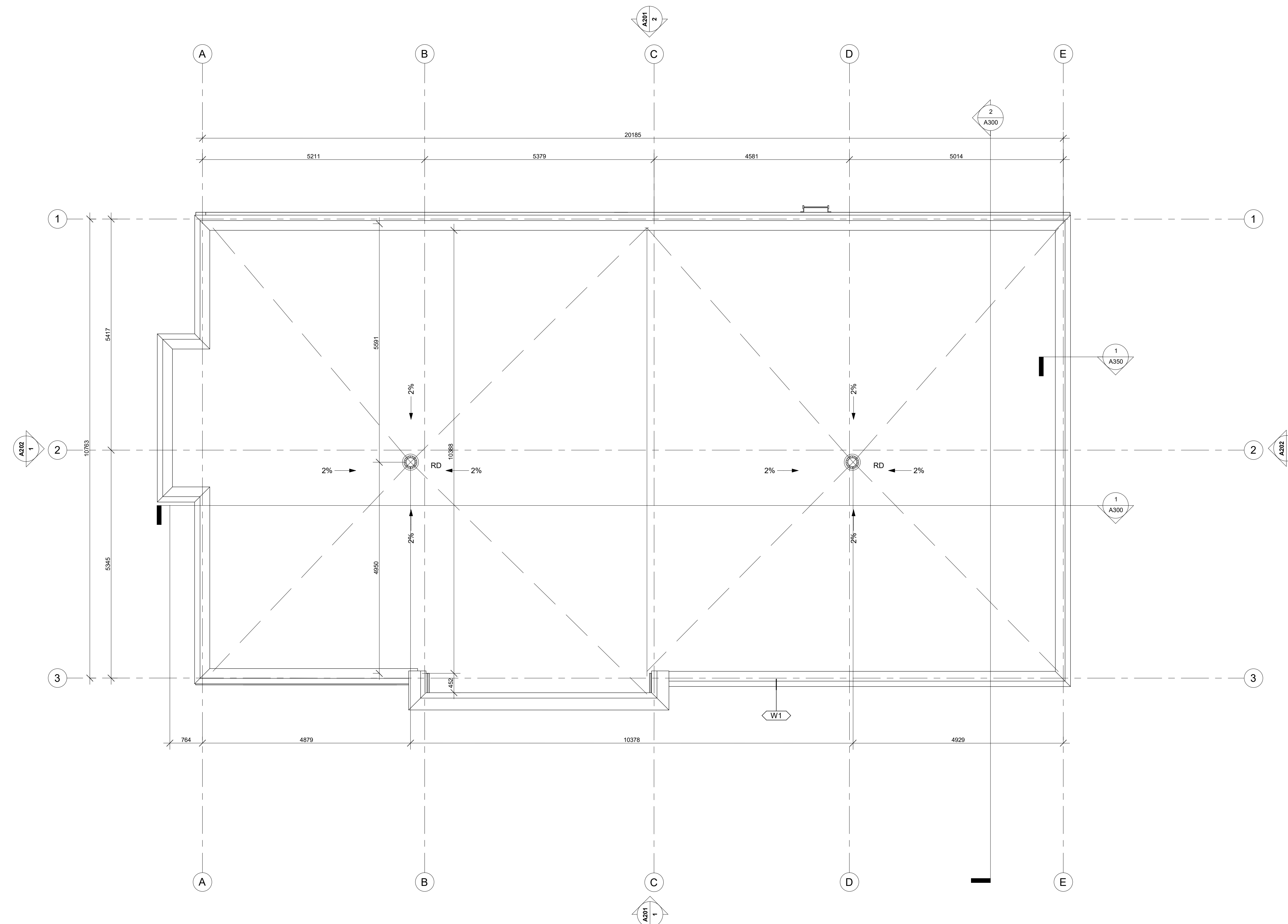
ROOF PLAN - DRIVE THRU

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **2023-08-17**
DRAWN BY / DESSINÉ PAR : **Author**
REVIEWED BY / VÉRIFIÉ PAR : **Checker**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A110

REVISION NO. / NO. DE RÉVISION : **1.9**



1 T/O ROOF - DRIVE-THRU
A110 1:50

NOT FOR CONSTRUCTION
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tending or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous informations contenues a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>

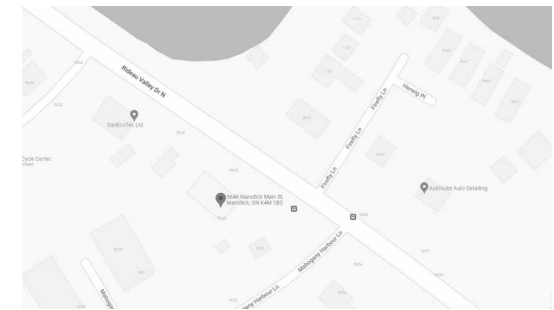
STRUCTURAL ENGINEER
Leekor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leekor.com/>

MECHANICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.2	CO-ORDINATION	23-08-17
revision	description	date

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

**5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3**

DRAWING NAME / NOM DU DESSIN :

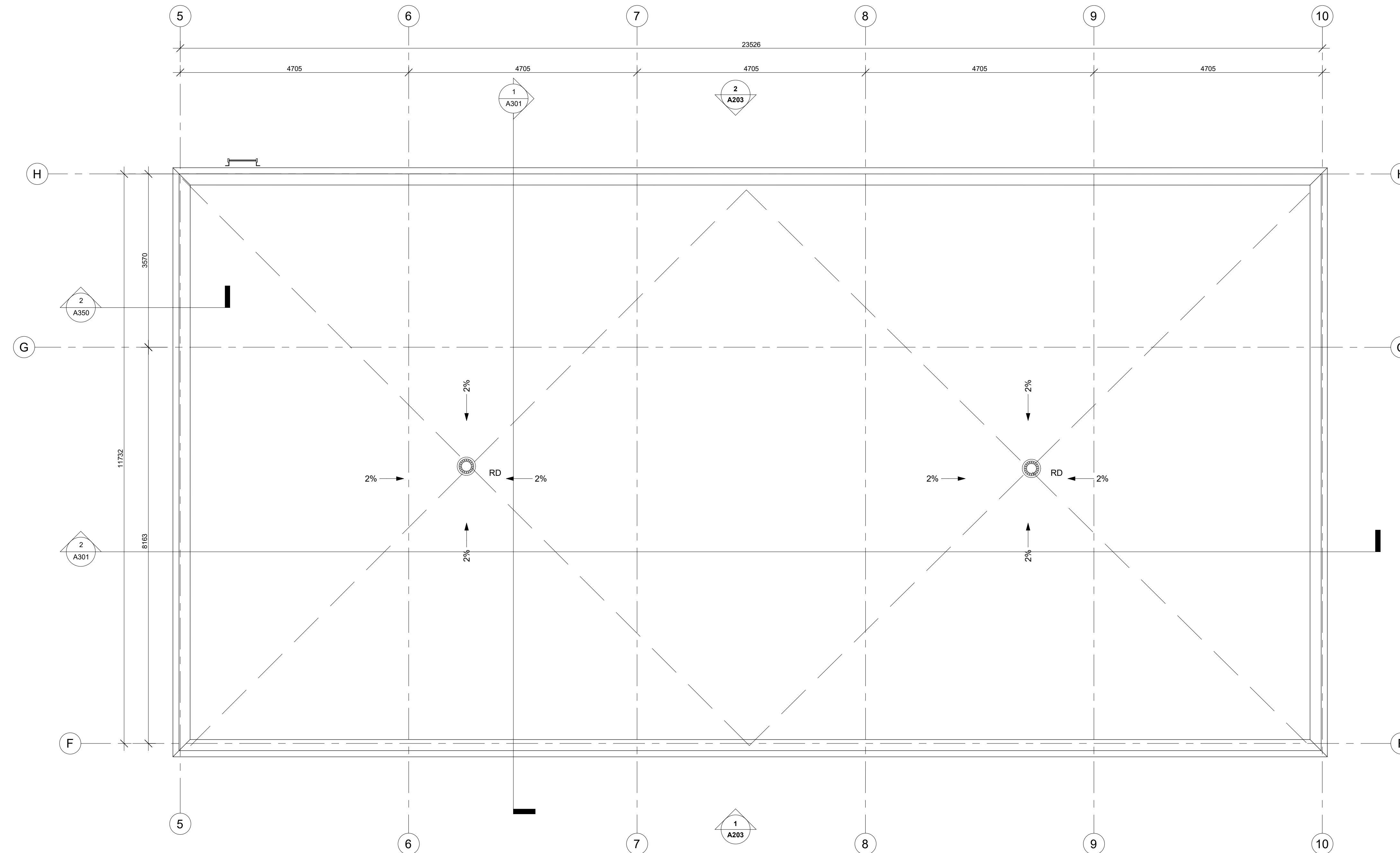
ROOF PLAN - CAR WASH

**DRAWING INFORMATION /
INFORMATION DU DESSIN :**

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **2023-08-17**
DRAWN BY / DESSINÉ PAR : **Author**
REVIEWED BY / VÉRIFIÉ PAR : **Checker**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A110.1

REVISION NO. / NO. DE RÉVISION : **1.9**



1
A110.1 T/O ROOF - CAR WASH
1 : 50

NOT FOR CONSTRUCTION /
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>

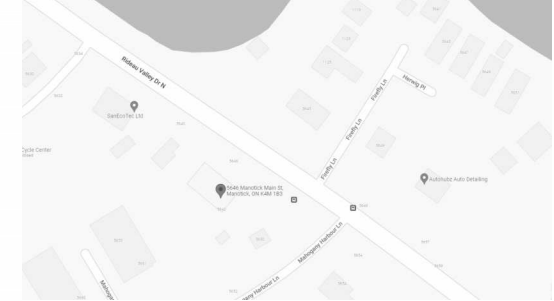
STRUCTURAL ENGINEER
Leekor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leekor.com/>

MECHANICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

revision	description	date
1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.6	ISSUED FOR SPA R2	23-10-17
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08
1.0	ISSUED FOR SPA	23-05-24

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON

K4M 1B3

DRAWING NAME / NOM DU DESSIN :

**DRIVE- THRU - FRONT &
REAR**

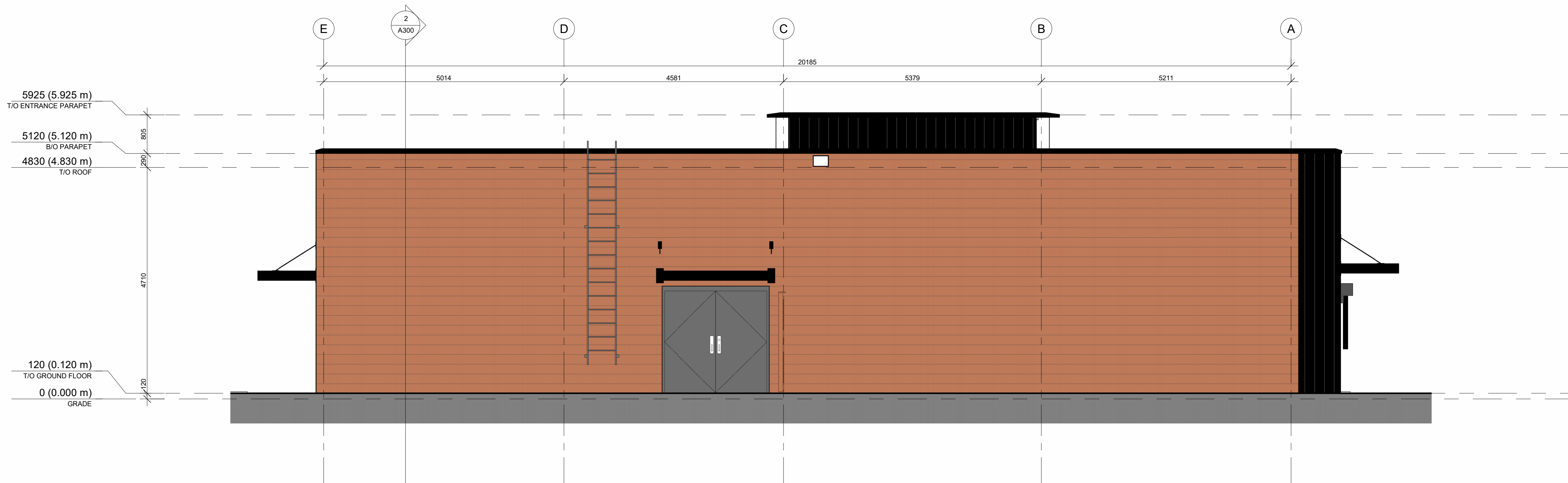
**DRAWING INFORMATION /
INFORMATION DU DESSIN :**

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **20/11/2023**
DRAWN BY / DESSINÉ PAR : **MS**
REVIEWED BY / VÉRIFIÉ PAR : **PP**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN : **A201**

REVISION NO. / NO. DE RÉVISION : **1.9**



1 DRIVE-THRU FRONT ELEVATION
A201 1 : 50



2 DRIVE-THRU REAR ELEVATION
A201 1 : 50

EXTERIOR FINISHES

MASONRY

- Architectural Block 1 - CMU BLOCK
Colour: Grey
- Architectural Block 2 - CMU BLOCK
Colour: Dark Grey
- HOLLOW MORTAR JOINT

CLADDING

- Horizontal Vinyl Siding
Color: Brown
- Vertical Metal Siding
Color: Black

NOTES

NOT FOR CONSTRUCTION
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tending or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous informations contenues a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

CIVIL ENGINEER

McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>

STRUCTURAL ENGINEER

Leekor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leekor.com/>

MECHANICAL ENGINEER

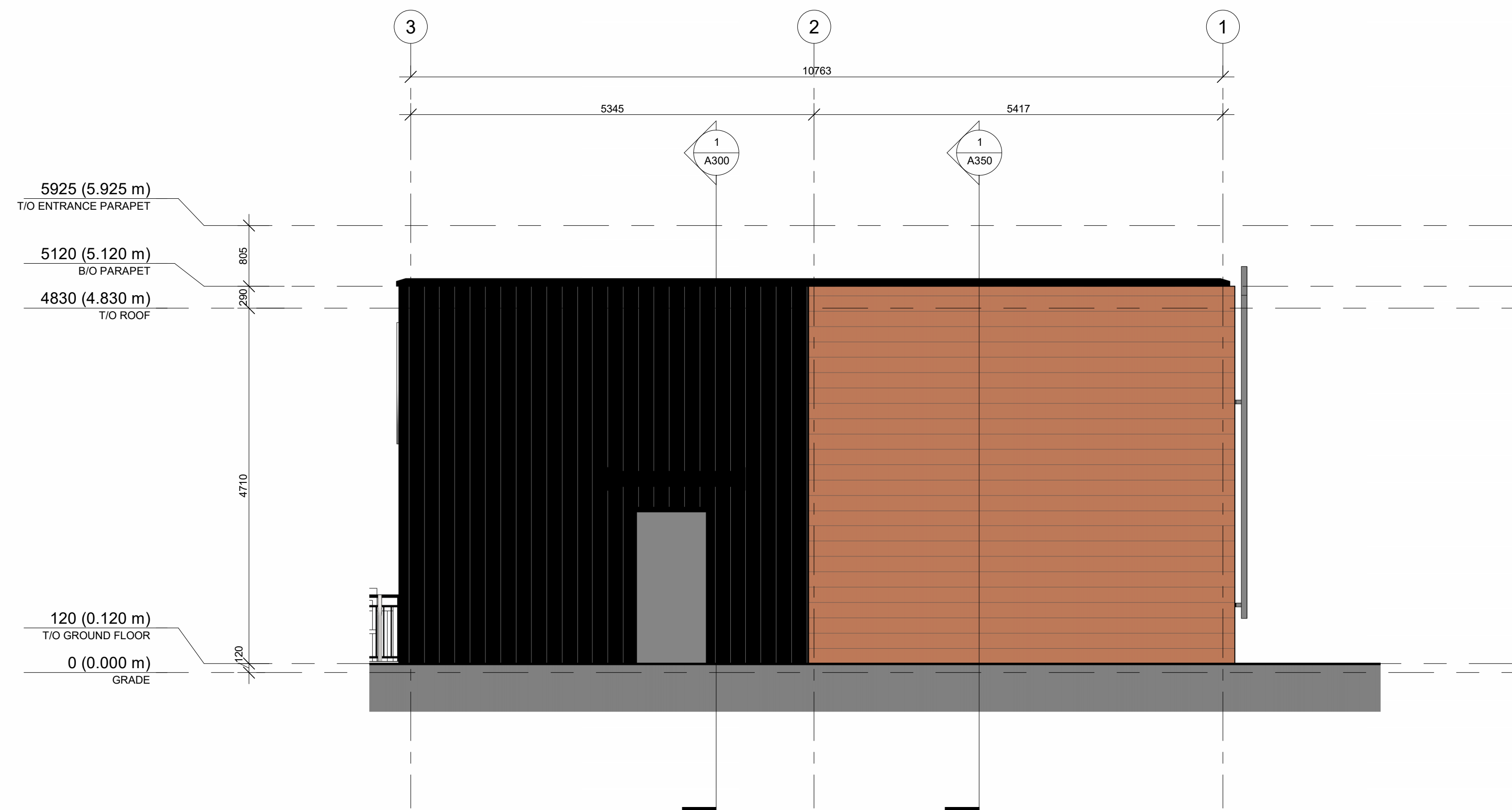
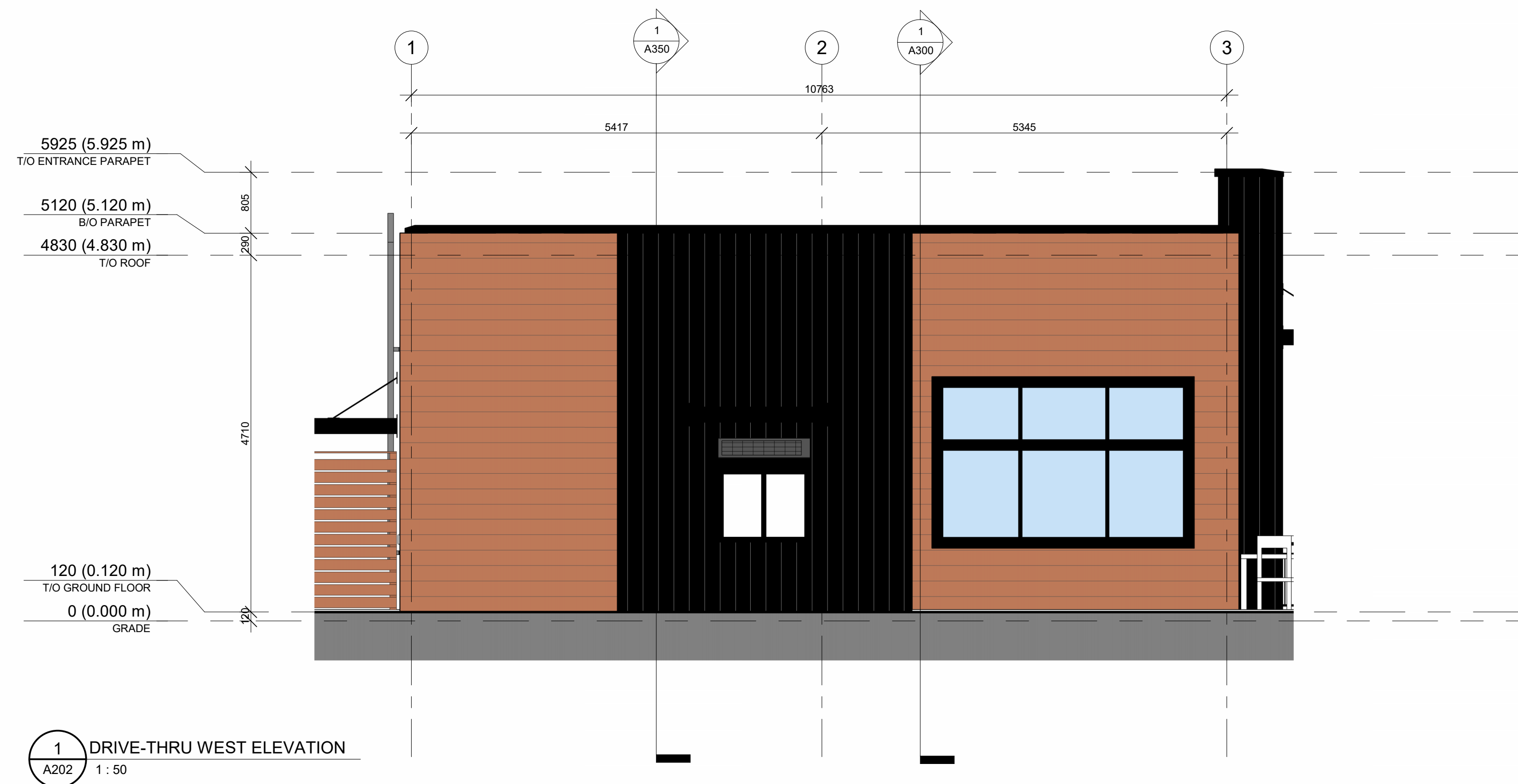
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER

Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT

NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>



KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

revision	description	date
1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.6	ISSUED FOR SPA R2	23-10-17
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08
1.0	ISSUED FOR SPA	23-05-24

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3

DRAWING NAME / NOM DU DESSIN :

**DRIVE- THRU - EAST &
WEST**

**DRAWING INFORMATION /
INFORMATION DU DESSIN :**

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **20/11/2023**
DRAWN BY / DESSINÉ PAR : **MS**
REVIEWED BY / VÉRIFIÉ PAR : **PP**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

EXTERIOR FINISHES

MASONRY

Architectural Block 1 - CMU BLOCK
Colour: Grey

Architectural Block 2 - CMU BLOCK
Colour: Dark Grey

HOLLOW MORTAR JOINT

CLADDING

Horizontal Vinyl Siding
Color: Brown

Vertical Metal Siding
Color: Black

NOTES

NOT FOR CONSTRUCTION /
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>

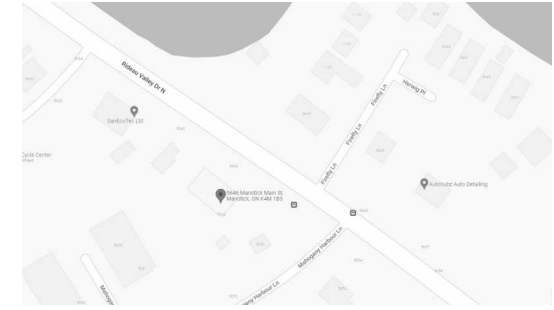
STRUCTURAL ENGINEER
Leekor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leekor.com/>

MECHANICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

revision	description	date
1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.6	ISSUED FOR SPA R2	23-10-17
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08
1.0	ISSUED FOR SPA	23-05-24

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3

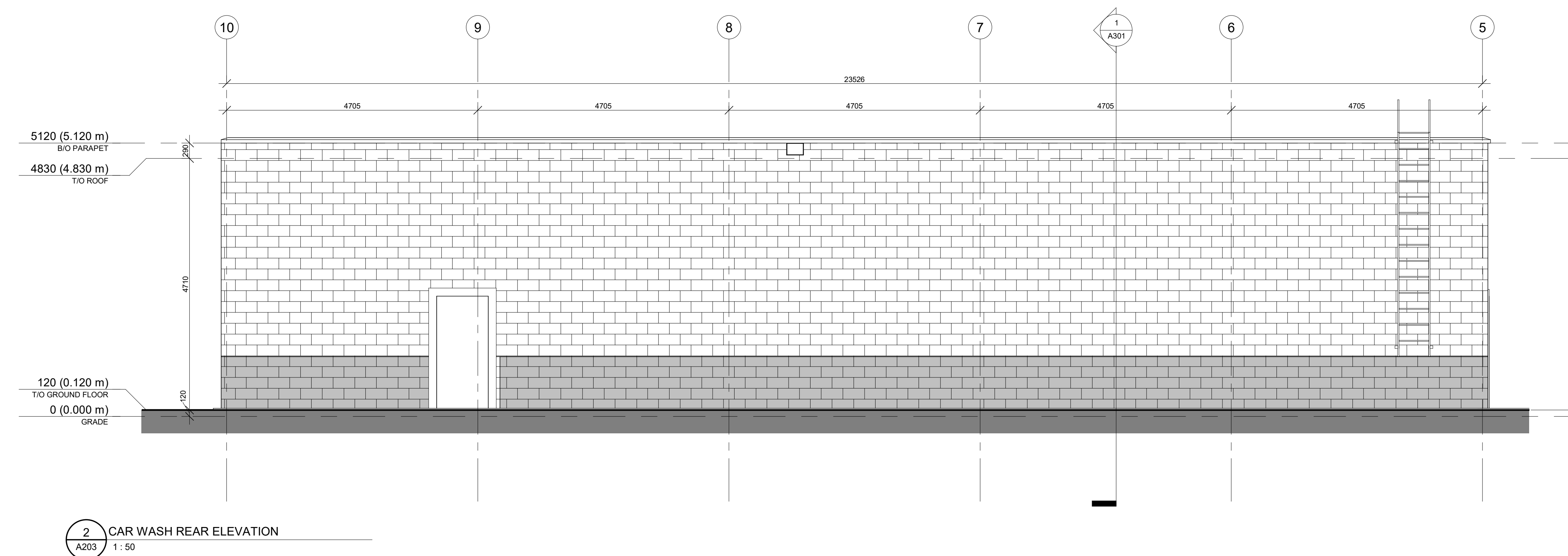
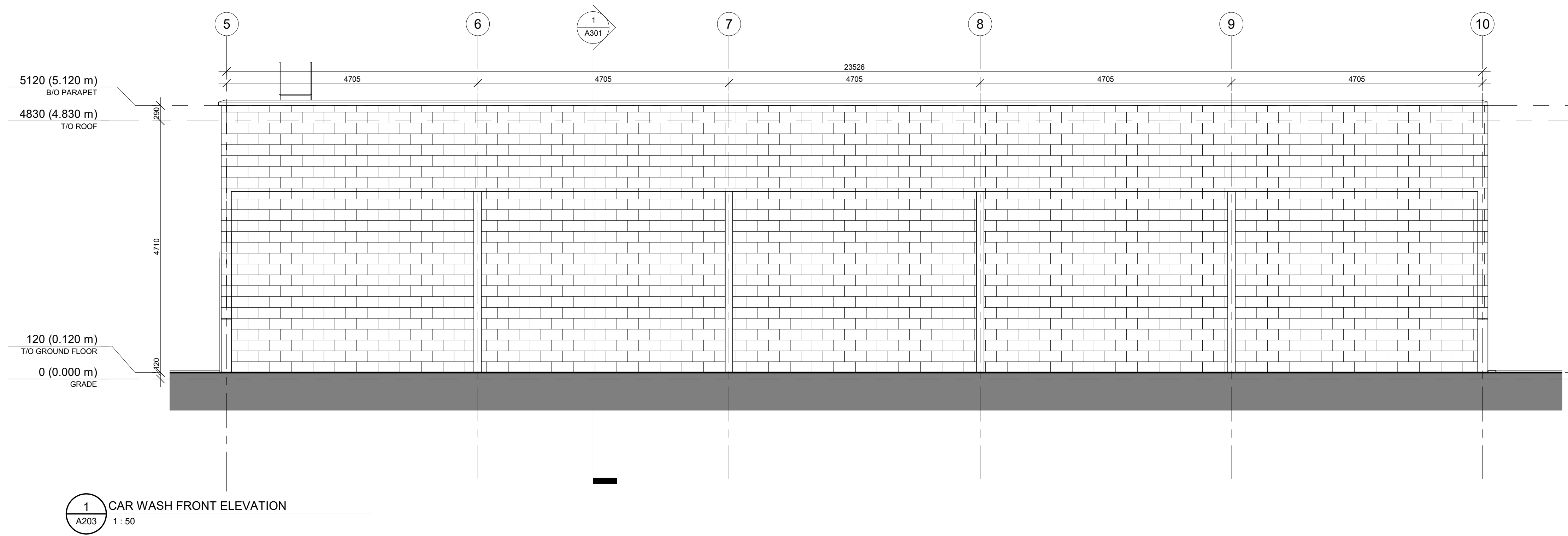
DRAWING NAME / NOM DU DESSIN :

CARWASH - FRONT & REAR

**DRAWING INFORMATION /
INFORMATION DU DESSIN :**

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **10/23/19**
DRAWN BY / DESSINÉ PAR : **Author**
REVIEWED BY / VÉRIFIÉ PAR : **Checker**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN : **A203**

REVISION NO. / NO. DE RÉVISION : **1.9**





EXTERIOR FINISHES

MASONRY

-  Architectural Block 1 - CMU BLOCK
Colour: Grey
-  Architectural Block 2 - CMU BLOCK
Colour: Dark Grey
-  HOLLOW MORTAR JOINT

CLADDING

-  Horizontal Vinyl Siding
Color: Brown
-  Vertical Metal Siding
Color: Black

NOTES

NOT FOR CONSTRUCTION
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tending or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous informations contenues a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>

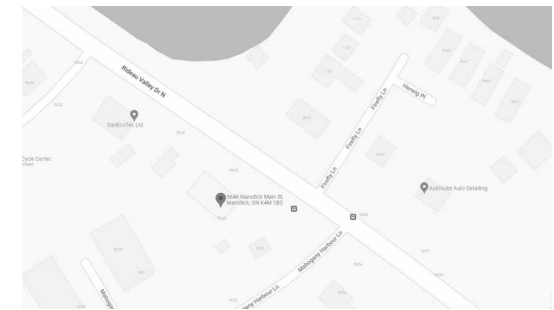
STRUCTURAL ENGINEER
Leekor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leekor.com/>

MECHANICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

revision	description	date
1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.6	ISSUED FOR SPA R2	23-10-17
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08
1.0	ISSUED FOR SPA	23-05-24

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3

DRAWING NAME / NOM DU DESSIN :

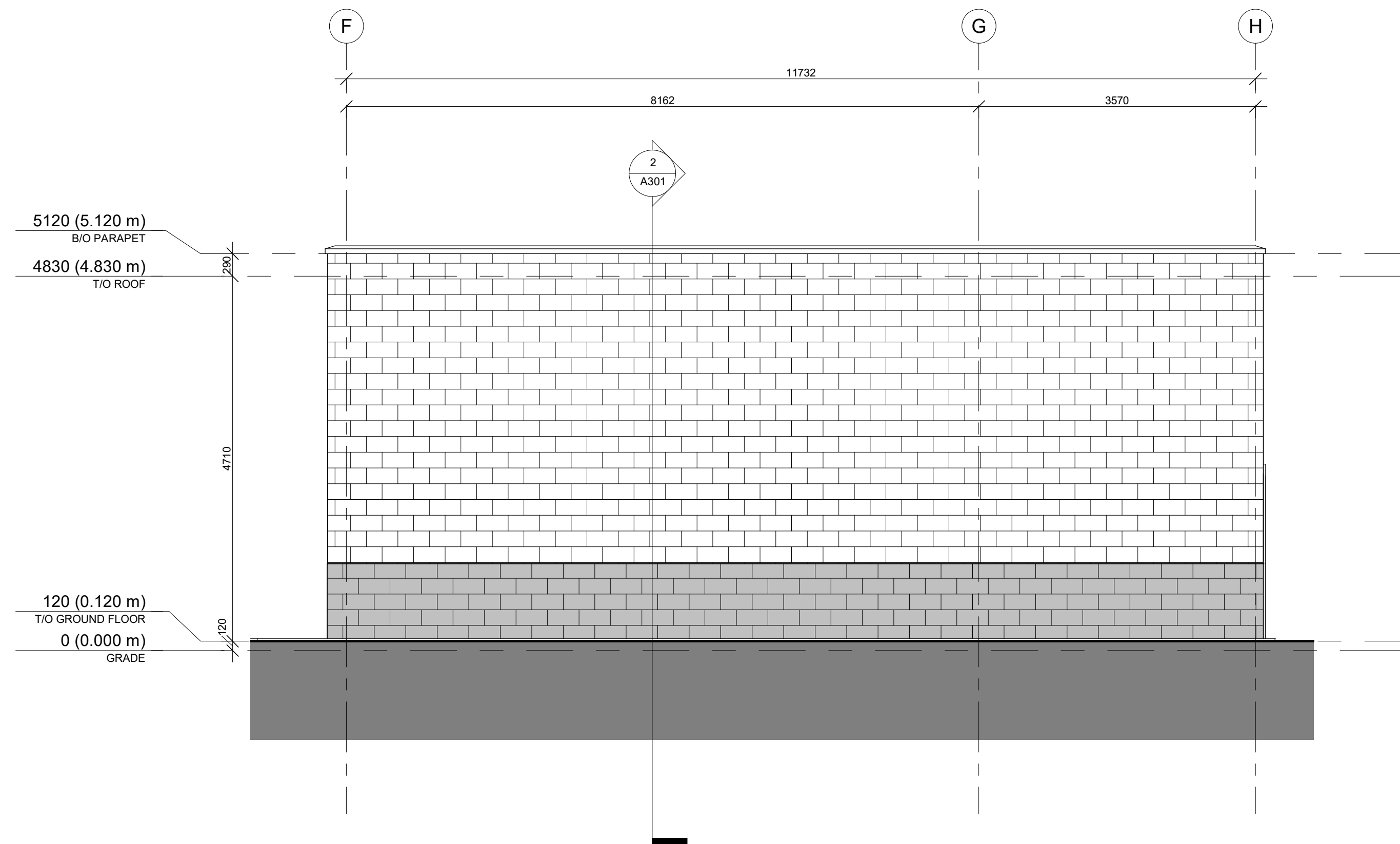
CARWASH - EAST & WEST

**DRAWING INFORMATION /
INFORMATION DU DESSIN :**

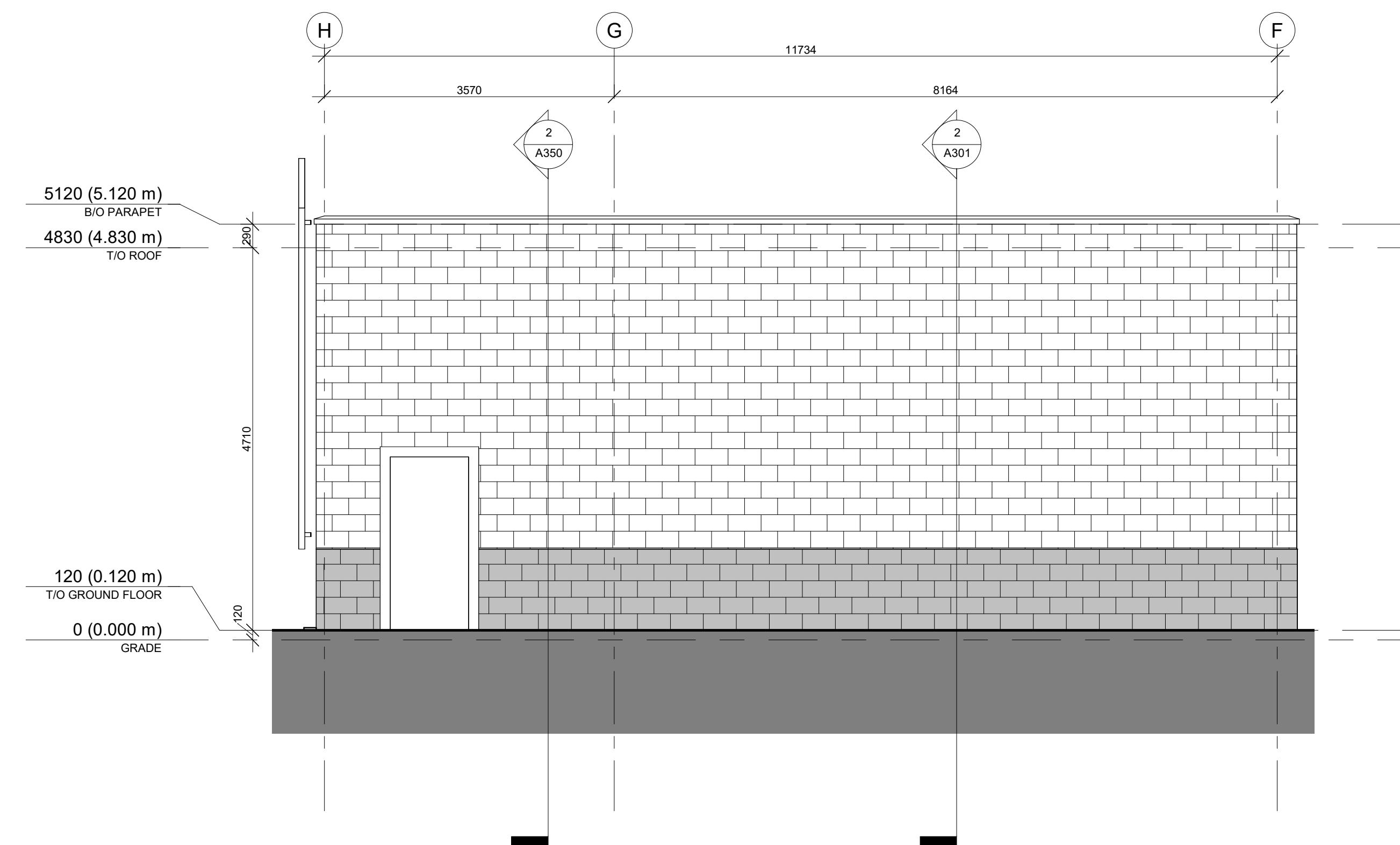
PROJECT NO. / NO. DE PROJET : **22199**
DATE : **2018-07-12**
DRAWN BY / DESSINÉ PAR : **Author**
REVIEWED BY / VÉRIFIÉ PAR : **Checker**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A204

REVISION NO. / NO. DE RÉVISION : 1.9



1 CAR WASH EAST ELEVATION
A204 1 : 50



2 CAR WASH WEST ELEVATION
A204 1 : 50

EXTERIOR FINISHES

MASONRY

- Architectural Block 1 - CMU BLOCK
Colour: Grey
- Architectural Block 2 - CMU BLOCK
Colour: Dark Grey
- HOLLOW MORTAR JOINT

CLADDING

- Horizontal Vinyl Siding
Color: Brown
- Vertical Metal Siding
Color: Black

NOTES

NOT FOR CONSTRUCTION /
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

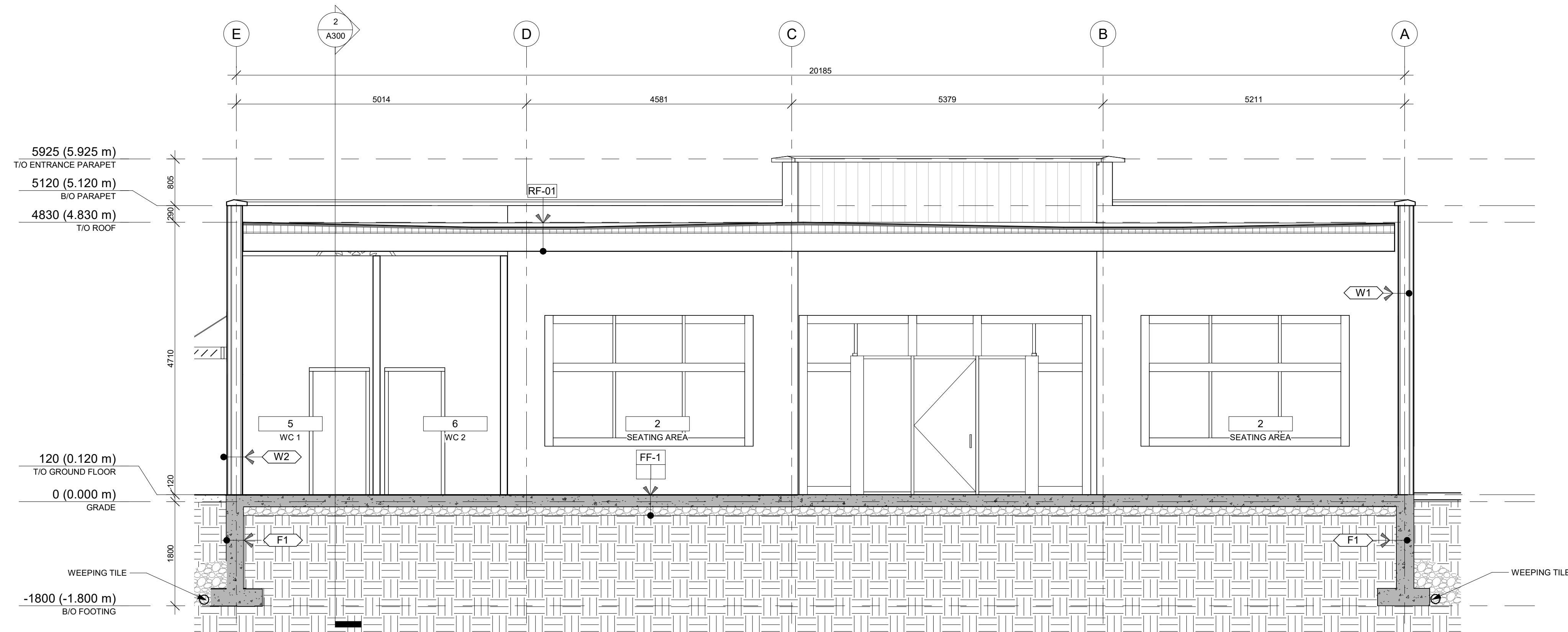
CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>

STRUCTURAL ENGINEER
Leakor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leakor.com/>

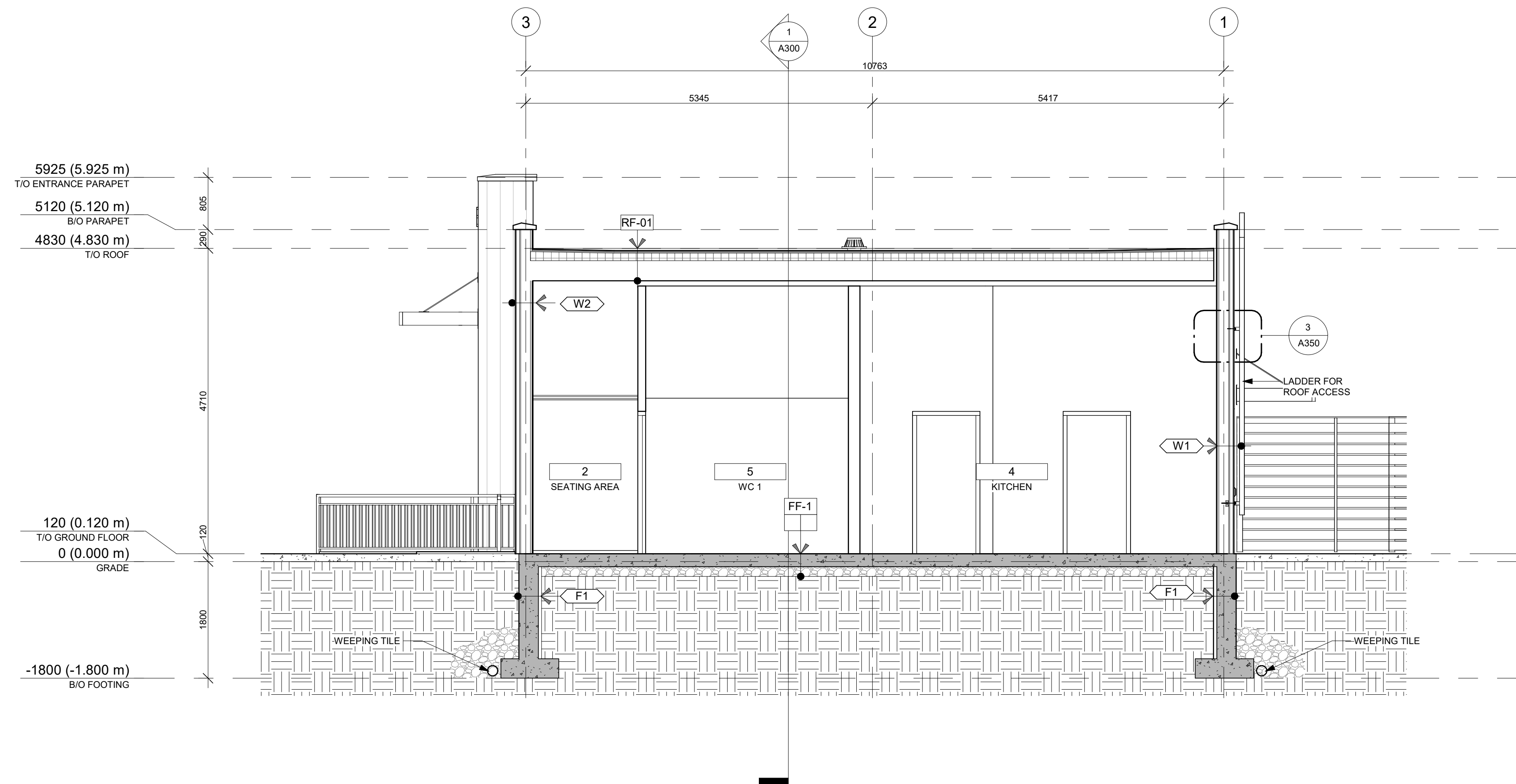
MECHANICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

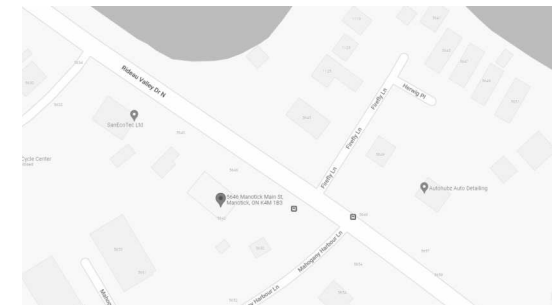


1
A300 DRIVE-THRU - BUILDING SECTION 1
1 : 50



2
A300 DRIVE-THRU - BUILDING SECTION 2
1 : 50

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

revision	description	date
1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3

DRAWING NAME / NOM DU DESSIN :

**GENERAL CROSS
SECTIONS- DRIVE THRU**

**DRAWING INFORMATION /
INFORMATION DU DESSIN :**

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **2023-08-07**
DRAWN BY / DESSINÉ PAR : **KD**
REVIEWED BY / VÉRIFIÉ PAR : **LaG**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A300

REVISION NO. / NO. DE RÉVISION : **1.9**

NOT FOR CONSTRUCTION /
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tending or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous renseignements contenus a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

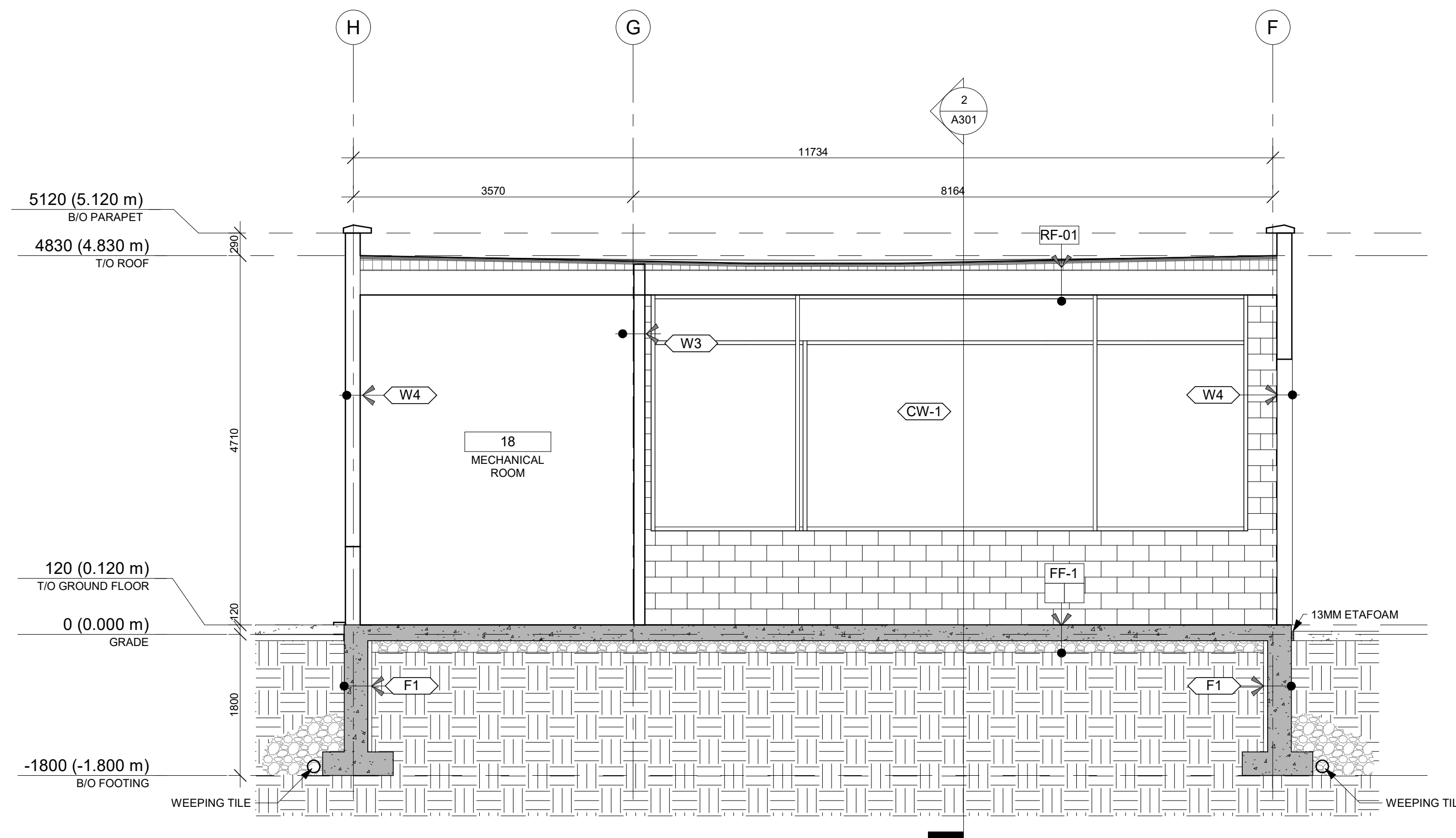
CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>

STRUCTURAL ENGINEER
Leakor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leakor.com/>

MECHANICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

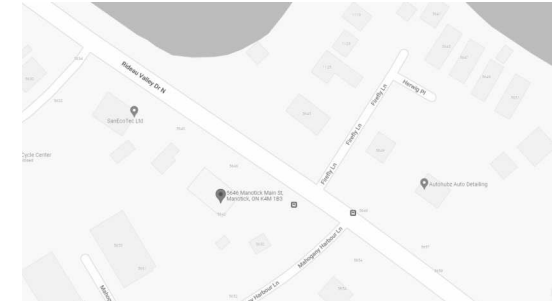
ELECTRICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>



1 CAR WASH- BUILDING SECTION 1
A301 1: 50

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

revision	description	date
1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08
1.0	ISSUED FOR SPA	23-05-24

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3

DRAWING NAME / NOM DU DESSIN :

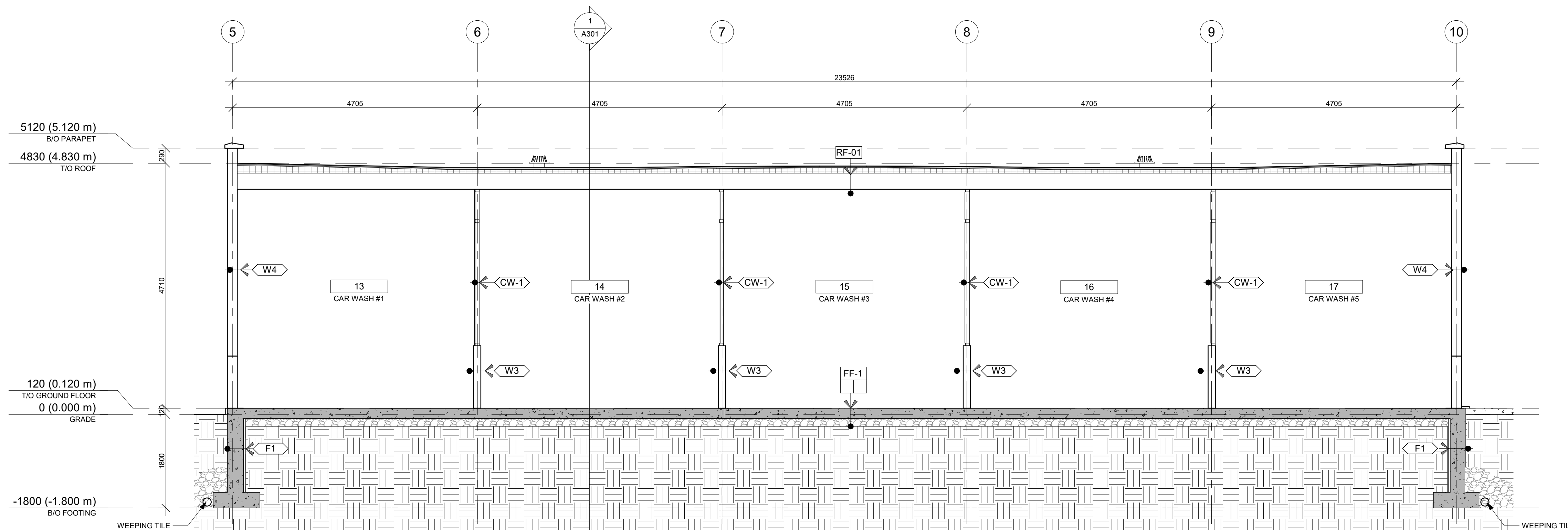
**GENERALE CROSS
SECTIONS - CAR WASH**

**DRAWING INFORMATION /
INFORMATION DU DESSIN :**

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **2023-08-07**
DRAWN BY / DESSINÉ PAR : **KD**
REVIEWED BY / VÉRIFIÉ PAR : **LaG**
SCALE / ÉCHELLE : **1 : 50**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN :

A301

REVISION NO. / NO. DE RÉVISION : **1.9**



2 CAR WASH- BUILDING SECTION 2
A301 1: 50

NOT FOR CONSTRUCTION
PAS POUR CONSTRUCTION

This document and all information herein is confidential and the intellectual property of Rossmann Architecture Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architecture Inc. The copyright is retained by Rossmann Architecture Inc.

Ce document, ainsi que tous informations contenues a l'intérieur, est la propriété de Rossmann Architecture Inc. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué a aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architecture Inc. Le droit d'auteur est retenu par Rossmann Architecture Inc.

PROJECT TEAM / ÉQUIPE DU PROJET :

CIVIL ENGINEER
McIntosh Perry Consulting Engineers Ltd.
215 Merton Pl #104, Napan, ON K2H 9C1
<https://www.mcintoshperry.com/>

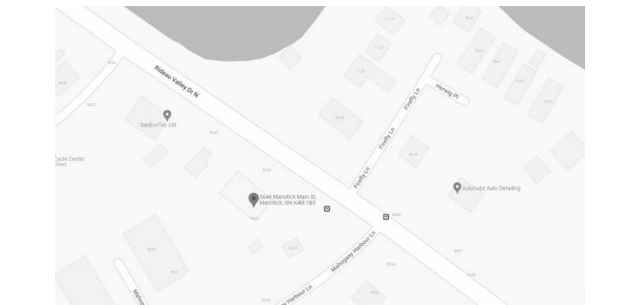
STRUCTURAL ENGINEER
Leekor Engineering Inc.
359 Kent St #501, Ottawa, ON K2P 2M8
<https://www.leekor.com/>

MECHANICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

ELECTRICAL ENGINEER
Milton Ltd
2000 Thurston Dr #31, Ottawa, ON K1G 4K7
<https://milton.com/>

LANDSCAPE ARCHITECT
NAK Design Strategies
1285 Wellington St. W, Ottawa, ON K1Y 3A8
<https://www.nakdesignstrategies.com/>

KEY PLAN / PLAN CLÉ :



CLIENT :

HAWKINS PROPERTIES

650a Eagleson Rd, Kanata, ON K2M 1H4
Tel : (613) 859-2819

revision	description	date
1.9	ISSUED FOR PERMIT	23-11-20
1.8	CO-ORDINATION	23-11-07
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08

PROJECT NAME / NOM DU PROJET :

**5646 & 5650
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON
K4M 1B3

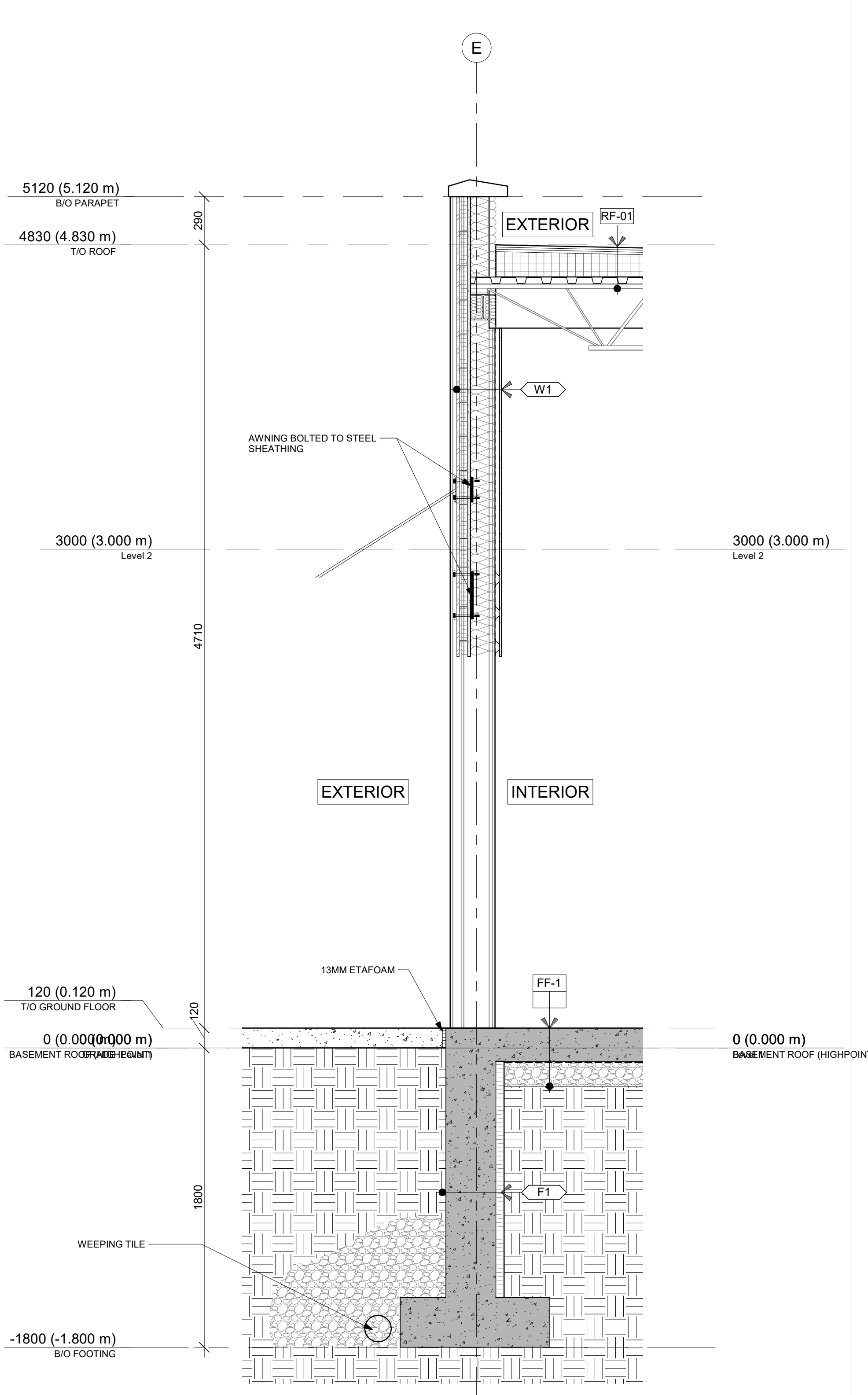
DRAWING NAME / NOM DU DESSIN :

WALL SECTIONS & DETAIL

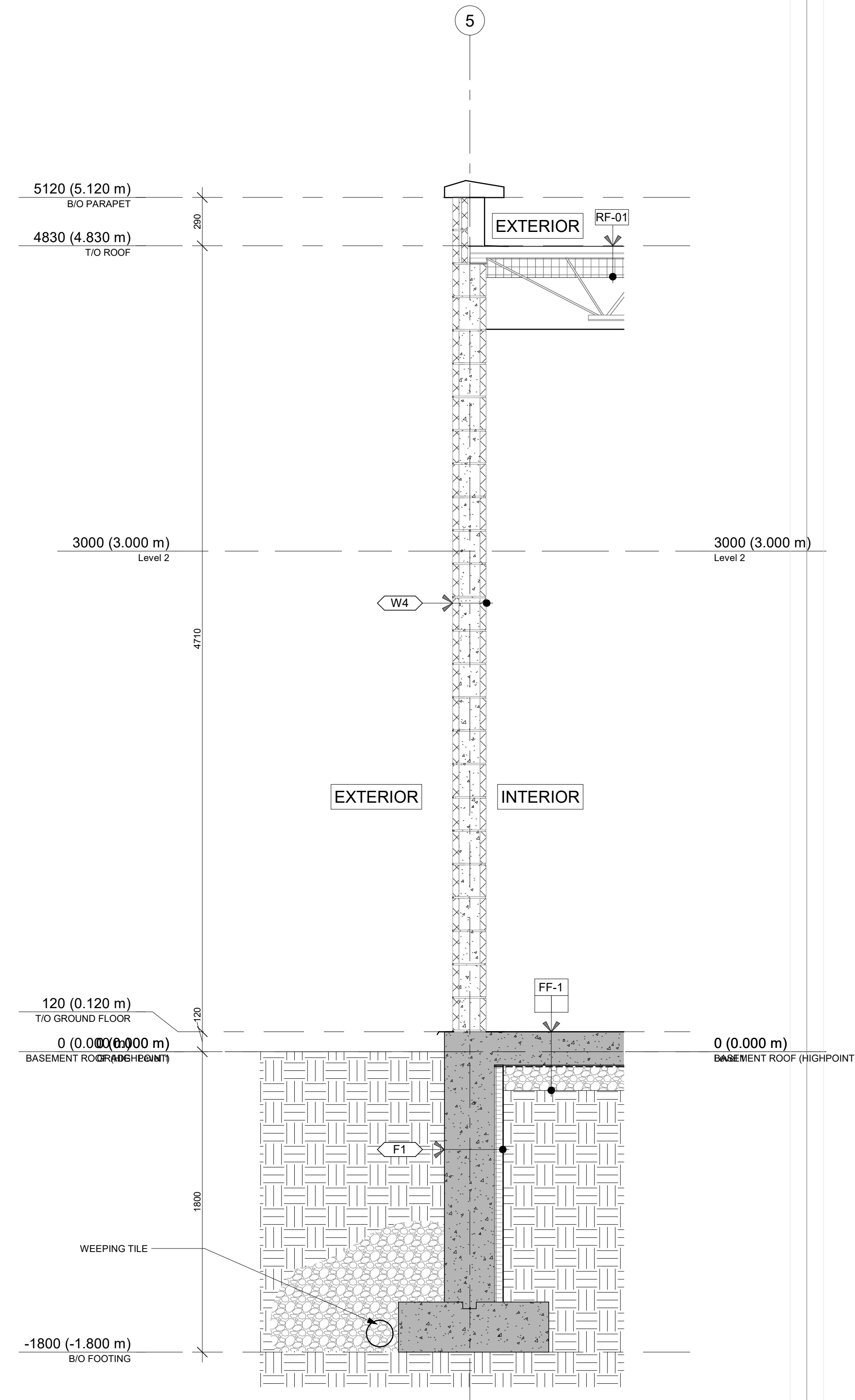
**DRAWING INFORMATION /
INFORMATION DU DESSIN :**

PROJECT NO. / NO. DE PROJET : **22199**
DATE : **2023-08-07**
DRAWN BY / DESSINÉ PAR : **KD**
REVIEWED BY / VÉRIFIÉ PAR : **LaG**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **1**
DWG NO. / NO. DESSIN : **A350**

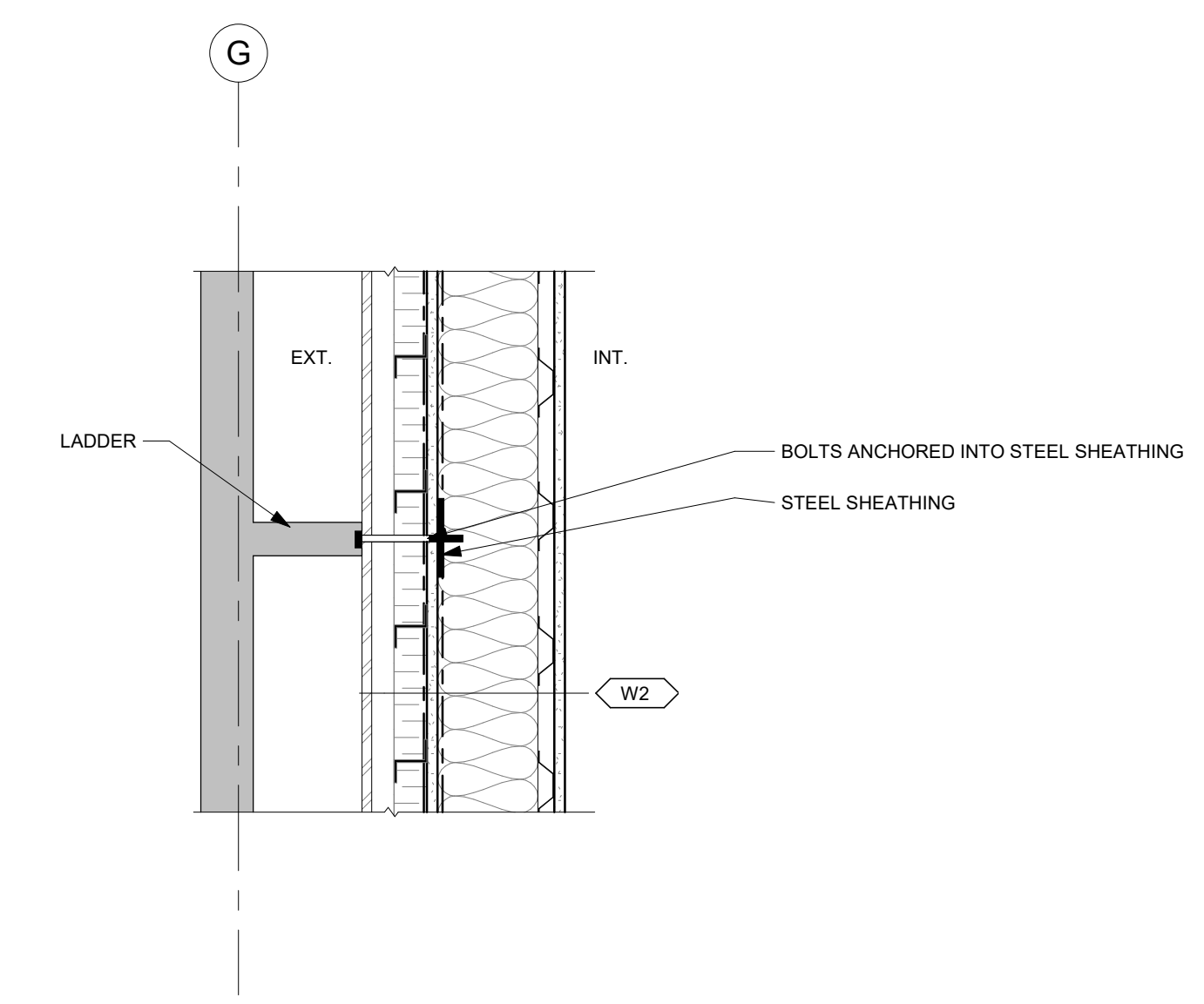
REVISION NO. / NO. DE RÉVISION : **1.9**



1 STARBUCKS- WALL SECTION
A350 1 : 20



2 CAR WASH- WALL SECTION
A350 1 : 20



3 TYPICAL LADDER ANCHOR DETAIL
A350 1 : 10