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**PROJECT TEAM / EQUIPE DU PROJET :**

**CIVIL ENGINEER**  
McIntosh Perry Consulting Engineers Ltd.  
215 Merton Pl #104, Napanee, ON K2H 9C1  
https://www.mcintoshpermy.com/

**STRUCTURAL ENGINEER**  
Leakor Engineering Inc.  
359 Kent St #501, Ottawa, ON K2P 2M8  
https://www.leakor.com/

**MECHANICAL ENGINEER**  
Milton Ltd.  
2000 Thurston Dr #31, Ottawa, ON K1G 4K7  
https://milton.com/

**ELECTRICAL ENGINEER**  
Milton Ltd.  
2000 Thurston Dr #31, Ottawa, ON K1G 4K7  
https://milton.com/

**LANDSCAPE ARCHITECT**  
NAK Design Strategies  
1285 Wellington St. W, Ottawa, ON K1Y 3A8  
https://www.nakdesignstrategies.com/

**CLIENT :**

**HAWKINS PROPERTIES**

5646 & 5650 Manotick Main Manotick, ON K4M1B3  
Tel : (613) 859-2819

1.28 ISSUED FOR CONSTRUCTION 24-08-05

1.25 ISSUED FOR SPA R9 24-06-05

1.23 PERMIT AMENDMENT-CW 24-05-27

1.20 PERMIT RESPONSE 24-04-23

1.17 ISSUED FOR BP 24-03-21

1.16 ISSUED FOR COORD. 24-03-18

1.15 ISSUED FOR BP 24-03-14

1.13 ISSUED FOR COORD. 24-02-23

1.12 ISSUED FOR SPA R5 24-02-09

1.11 ISSUED FOR SPA R4 24-02-08

revision description date

**PROJECT NAME / NOM DU PROJET :**

**5646 & 5650 Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON K4M 1B3

**DRAWING NAME / NOM DU DESSIN :**

**SITE PLAN - EXISTING**

**PROJECT INFORMATION / INFORMATION DU DESSIN :** SPC# D07-12-23-0080 Plan# 19143

**PROJECT NO. / NO. DE PROJET :** 22199

**DATE :** 02/07/24

**DRAWN BY / DESSINÉ PAR :** MS/CK

**REVIEWED BY / VÉRIFIÉ PAR :** ES

**SCALE / ÉCHELLE :** As indicated

**PROJECT PHASE / PHASE DU PROJET :** 5

**DWG NO. / NO. DESSIN :**

A050.1

REVISION NO. / NO. DE RÉVISION :

1.28

Plan #19143

**SITE CONTEXT**

**LEGEND**

SURFACES	
	GRASS
	RIVERSTONE
	CONCRETE PAVERS
	POURED CONCRETE
	ASPHALT PAVING
	PROPOSED NEW BUILDING
	EXISTING BUILDING TO REMAIN
	EXISTING BUILDING TO BE DEMOLISHED
LINES	
	PROPERTY LINE
	SETBACK LINE
	EXISTING FENCE
	NEW FENCE
	OVERHEAD WIRES
	RETAINING WALL
VEGETATION	
	TREE: EXISTING TO REMAIN
	TREE: EXISTING TO BE REMOVED
	TREE: NEW PROPOSED
	SHRUB: NEW PROPOSED
SYMBOLS	
	DIRECTIONAL ARROWS
	BUILDING ACCESS
	BUILDING EGRESS
	SIAMESE CONNECTION
	UTILITY POLE
	FIRE HYDRANT
	CATCH BASIN / MANHOLE
	DEPRESSED CURB
	LANDSCAPE LIGHT
	LIGHT POLE
	STOP SIGN
	WALL MOUNTED LIGHT
	EXISTING GRADE ELEVATION
	PROPOSED GRADE ELEVATION
PARKING	
	BIKE PARKING H: HORIZONTAL 0.6M x 1.8M V: VERTICAL 0.5M x 1.5M S: STACKED 0.37M x 1.8M
	CAR PARKING R: RESIDENTIAL V: VISITOR
	BF PARKING (TYPE A) R: RESIDENTIAL V: VISITOR
	QUEUEING SPACE DIMENSION

**GENERAL NOTES**

- NOTE - A :**  
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.
- NOTE - B :**  
ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM DWG. CSI 22-3310 - 5646 MANOTICK MAIN STREET OTTAWA TOPO
- NOTE - C :**  
CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.
- NOTE - D :**  
REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.
- NOTE - E :**  
DO NOT SCALE DRAWINGS.
- NOTE - F :**  
ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

**BOUNDARY INFO**

TOPOGRAPHIC BOUNDARY INFORMATION OF LOT 4, CONCESSION A (BROKEN FRONT), GEOGRAPHIC TOWNSHIP OF NORTH GOWER PREPARED BY MCINTOSH PERRY SURVEYING INC.



**PROJECT INFORMATION**

ADDRESS	5646 Manotick Main Street
CURRENT ZONING	RC1
SITE AREA	4078.48 m²
PROPOSED USE	RC1
BUILDING AREA	340.2 m² / 3661.8 sqft

**SITE SUMMARY**

ZONING SUMMARY	REQUIRED	PROPOSED
LOT AREA	1350.00 m²	4078.48 m²
LOT WIDTH	20.00 m	70.00 m
MIN. LOT WIDTH	n/a	n/a
MAX. BUILDING HEIGHT	11.00 m	6.00 m
MAX. PARAPET HEIGHT	0.00 m	0.50 m

**SETBACKS**

- FRONT YARD	7.50 m (min.) n/a (max.)	8.50 m
- CORNER SIDE YARD	7.50 m (min.) n/a (max.)	12.64 m
- INTERIOR SIDE YARD	3.00 m (min.) 4.50 m (max.)	13.90 m (min.) n/a (max.)
- REAR YARD	7.50 m (min.) n/a (max.)	28.19 m (min.) n/a (max.)
- ADDITIONAL REQ	0.00 m	0.00 m

**VEHICULAR PARKING**

	REQUIRED	PROPOSED
MIN LANDSCAPED AREA	223.00 m²	771.00 m²
LAND COVERAGE	30% Max.	8.86%
MIN PARKING SPACES	10 per 100m²	20%
MIN VISITOR PARKING SPACES	n/a	n/a
MIN ACCESSIBLE PRKG SPACES	1	1

**BICYCLE PARKING**

	REQUIRED	PROPOSED
MIN PARKING SPACES	1	3

**WASTE CONTAINERS**

	REQUIRED	PROPOSED
GARBAGE (0.11 y³ / unit)	TBH	TBH
RECYCLING (0.038 y³ / unit)	TBH	TBH
ORGANICS	TBH	TBH

**PARKING LOT AREA**

	REQUIRED	PROPOSED
SETBACK	1.50 m	14.43 m 14.99 m

**BUILDING SUMMARY**

	UNITS	GFA - OBC	GFA - CITY
n/a	n/a	268.60 m²	268.60 m²

**OUTDOOR REFUSE AREA**

SETBACK	REQUIRED	PROPOSED
LOT LINE ABUTTING A PUBLIC STREET	9.00 m	40.15 m
OTHER LOT LINES	3.00 m	35.39 m 9.80 m 29.57 m

**QUEUEING SPACES**

SETBACK	REQUIRED	PROPOSED
RESIDENTIAL ZONE	3.00 m	3.00 m

**MIN. NUMBER OF QUEUEING SPACES**

	REQUIRED	PROPOSED
CAR WASH	10	10
DRIVE-THRU REST. BEFORE ORDER BOARD	7	7
TOTAL	17	17

**1 SITE PLAN - EXISTING**  
A050.1 1 : 200



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**CIVIL ENGINEER**  
Mcintosh Perry Consulting Engineers Ltd.  
215 Merton Rd. Unit. Niagara, ON K2H 9C1  
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1285 Wellington St. W. Ottawa, ON K1Y 3A8  
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**CLIENT :**  
**HAWKINS PROPERTIES**

**PROJECT INFORMATION**  
**5646 & 5650 Manotick Main**  
5646 Manotick Main Street  
R1  
4078.48 m²  
R1  
340.2 m²/3661.8 sqft

**ZONING SUMMARY**

REQUIRED	PROPOSED
LOT AREA 1350.00 m²	4078.48 m²
LOT WIDTH 20.00 m	70.00 m
MIN. LOT WIDTH n/a	n/a
MAX. BUILDING HEIGHT 11.00 m	6.00 m
MAX. PARAPET HEIGHT 0.00 m	0.50 m

**SET BACKS**

REQUIRED	PROPOSED
- FRONT YARD 7.50 m (min.)	8.50 m
n/a (max.)	n/a (max.)
- CORNER SIDE YARD 7.50 m (min.)	12.64 m
n/a (max.)	n/a (max.)
- INTERIOR SIDE YARD 3.00 m (min.)	13.90 m (min.)
4.50 m (max.)	n/a (max.)
- REAR YARD 7.50 m (min.)	28.19 m (min.)
n/a (max.)	n/a (max.)
- ADDITIONAL REQ 0.00 m	0.00 m

**MIN LANDSCAPED AREA**  
223.00 m² (REQUIRED) / 771.00 m² (PROPOSED)

**LAND COVERAGE**  
30% Max. (REQUIRED) / 8.86% (PROPOSED)

**VEHICULAR PARKING**  
10 per 100m² - 20% (REQUIRED) / 19 (PROPOSED)

REQUIRED	PROPOSED
MIN PARKING SPACES = 18 SPACE	19
MIN VISITOR PARKING SPACES n/a	n/a
MIN ACCESSIBLE PRKG SPACES 1	1

**BICYCLE PARKING**  
1 (REQUIRED) / 3 (PROPOSED)

**WASTE CONTAINERS**  
GARBAGE (0.11 y³ / unit) TBH (REQUIRED) / TBH (PROPOSED)  
RECYCLING (0.038 y³ / unit) TBH (REQUIRED) / TBH (PROPOSED)  
ORGANICS TBH (REQUIRED) / TBH (PROPOSED)

**PARKING LOT AREA**  
SETBACK 1.50 m (REQUIRED) / 14.48 m (PROPOSED) / 14.99 m (PROPOSED)

**BUILDING SUMMARY**

UNITS	GFA - OBC	GFA - CITY
n/a	268.60 m²	268.60 m²

**OUTDOOR REFUSE AREA**  
SETBACK 9.00 m (REQUIRED) / 40.15 m (PROPOSED)  
LOT LINE ABUTTING A PUBLIC STREET

**OTHER LOT LINES**  
3.00 m (REQUIRED) / 35.39 m (PROPOSED) / 9.80 m (PROPOSED) / 29.57 m (PROPOSED)

**QUEUING SPACES**  
SETBACK 3.00 m (REQUIRED) / 3.00 m (PROPOSED)  
RESIDENTIAL ZONE

**MIN. NUMBER OF QUEUING SPACES**  
CAR WASH 10 (REQUIRED) / 10 (PROPOSED)  
DRIVE-THRU REST. BEFORE ORDER BOARD 7 (REQUIRED) / 7 (PROPOSED)  
TOTAL 11 (REQUIRED) / 11 (PROPOSED)

**PROJECT NAME / NOM DU PROJET :**  
**5646 & 5650 Manotick Main**

**DRAWING INFORMATION / INFORMATION DU DESSIN :**  
SPC# D07-12-23-0080  
Plan# 19143

**PROJECT NO. / NO. DE PROJET :** 22199

**DATE :** 2023-08-08

**DRAWN BY / DESSINÉ PAR :** MS/CK

**REVIEWED BY / VÉRIFIÉ PAR :** ES

**SCALE / ÉCHELLE :** As Indicated

**PROJECT PHASE / PHASE DU PROJET :** 5

**DWG NO. / NO. DESSIN :** A050.2

**REVISION NO. / NO. DE RÉVISION :** 1.28

**DATE :** 2023-08-08

**DRAWN BY / DESSINÉ PAR :** MS/CK

**REVIEWED BY / VÉRIFIÉ PAR :** ES

**SCALE / ÉCHELLE :** As Indicated

**PROJECT PHASE / PHASE DU PROJET :** 5

**DWG NO. / NO. DESSIN :** A050.2

**REVISION NO. / NO. DE RÉVISION :** 1.28

**SITE CONTEXT**

**LEGEND**

**SURFACES**

- GRASS
- RIVERSTONE
- CONCRETE PAVERS
- POURED CONCRETE
- ASPHALT PAVING
- PROPOSED NEW BUILDING
- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO BE DEMOLISHED

**LINES**

- PROPERTY LINE
- SETBACK LINE
- EXISTING FENCE
- NEW FENCE
- OVERHEAD WIRES
- RETAINING WALL

**VEGETATION**

- TREE: EXISTING TO REMAIN
- TREE: EXISTING TO BE REMOVED
- TREE: NEW PROPOSED
- SHRUB: NEW PROPOSED

**SYMBOLS**

- DIRECTIONAL ARROWS
- BUILDING ACCESS
- BUILDING EGRESS
- SIAMESE CONNECTION
- UTILITY POLE
- FIRE HYDRANT
- CATCH BASIN / MANHOLE
- DEPRESSED CURB
- LANDSCAPE LIGHT
- LIGHT POLE
- STOP SIGN
- WALL MOUNTED LIGHT
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- LOT CORNERS
- BIKE PARKING
- CAR PARKING
- BF PARKING (TYPE A)
- QUEUING SPACE DIMENSION

**GENERAL NOTES**

**NOTE A :**  
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**NOTE B :**  
ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM DWG. CSI 22-3310 - 5646 MANOTICK MAIN STREET OTTAWA TOPO (RF) PRELIMINARY.

**NOTE C :**  
CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

**NOTE D :**  
REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.

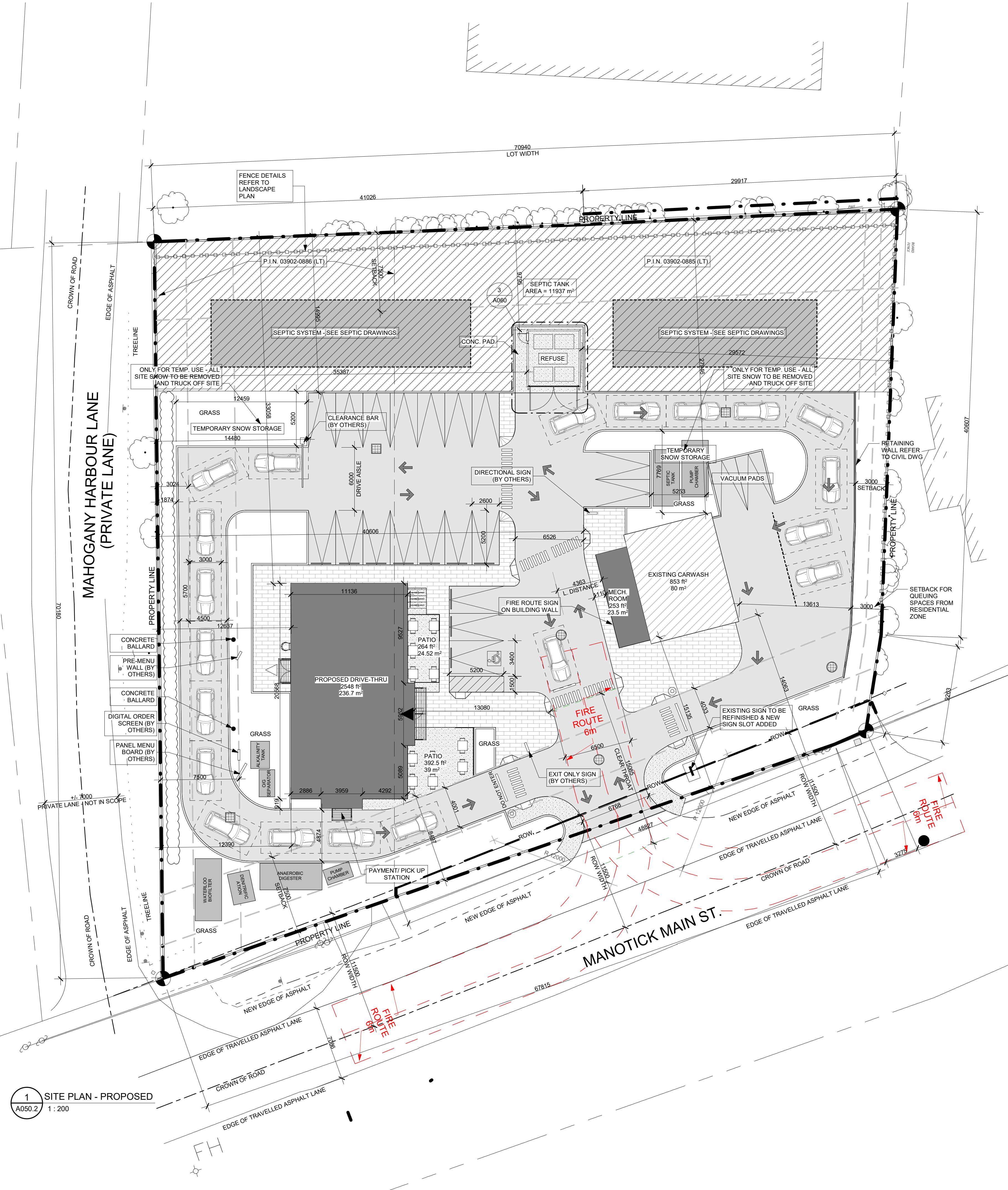
**NOTE E :**  
DO NOT SCALE DRAWINGS.

**NOTE F :**  
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**BOUNDARY INFO**

TOPOGRAPHIC BOUNDARY INFORMATION OF LOT 4, CONCESSION A (BROKEN FRONT), GEOGRAPHIC TOWNSHIP OF NORTH GOWER PREPARED BY MCINTOSH PERRY SURVEYING INC.

**SCALE**  
0m 1m 2m 5m 10m 15m



**1 SITE PLAN - PROPOSED**  
A050.2 1 : 200



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https://www.mcintoshpercy.com/

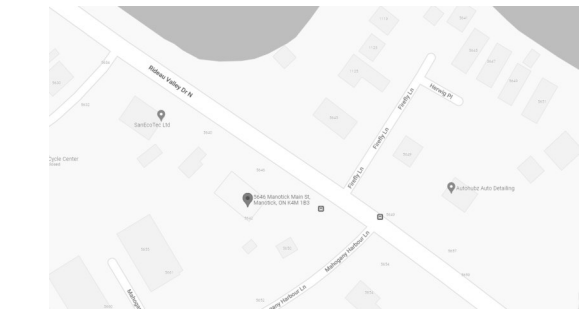
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**LANDSCAPE ARCHITECT**  
NAK Design Strategies  
1285 Wellington St. W, Ottawa, ON K1Y 3A8  
https://www.nakdesignstrategies.com/

**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

**HAWKINS PROPERTIES**

5646 & 5650 Manotick Main Manotick, ON K4M1B3  
Tel : (613) 859-2819

revision	description	date
1.28	ISSUED FOR CONSTRUCTION	24-08-05
1.23	PERMIT AMENDMENT-CW	24-05-27
1.20	PERMIT RESPONSE 01-CW	24-04-23
1.17	ISSUED FOR BP	24-03-21
1.16	ISSUED FOR COORD.	24-03-18
1.15	ISSUED FOR BP	24-03-14
1.13	ISSUED FOR COORD.	24-02-23
1.10	ISSUED FOR PERMIT	24-01-26
1.8	CO-ORDINATION	23-11-07
1.6	ISSUED FOR SPA R2	23-10-17
1.5	CO-ORDINATION	23-10-10

**PROJECT NAME / NOM DU PROJET :**

**5646 & 5650  
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON  
**K4M 1B3**

**DRAWING NAME / NOM DU DESSIN :**

**SITE PLAN - DETAILS**

**DRAWING INFORMATION / INFORMATION DU DESSIN :** SPC# D07-12-23-0080  
Plan# 19143

**PROJECT NO. / NO. DE PROJET :** 22199

**DATE :** 2023-10-10

**DRAWN BY / DESSINÉ PAR :** MS/CK

**REVIEWED BY / VÉRIFIÉ PAR :** ES

**SCALE / ÉCHELLE :** As indicated

**PROJECT PHASE / PHASE DU PROJET :** 5

**DWG NO. / NO. DESSIN :** A060

**REVISION NO. / NO. DE RÉVISION :** 1.28

Plan #19143

**TYPICAL DRAWINGS NOTES:**

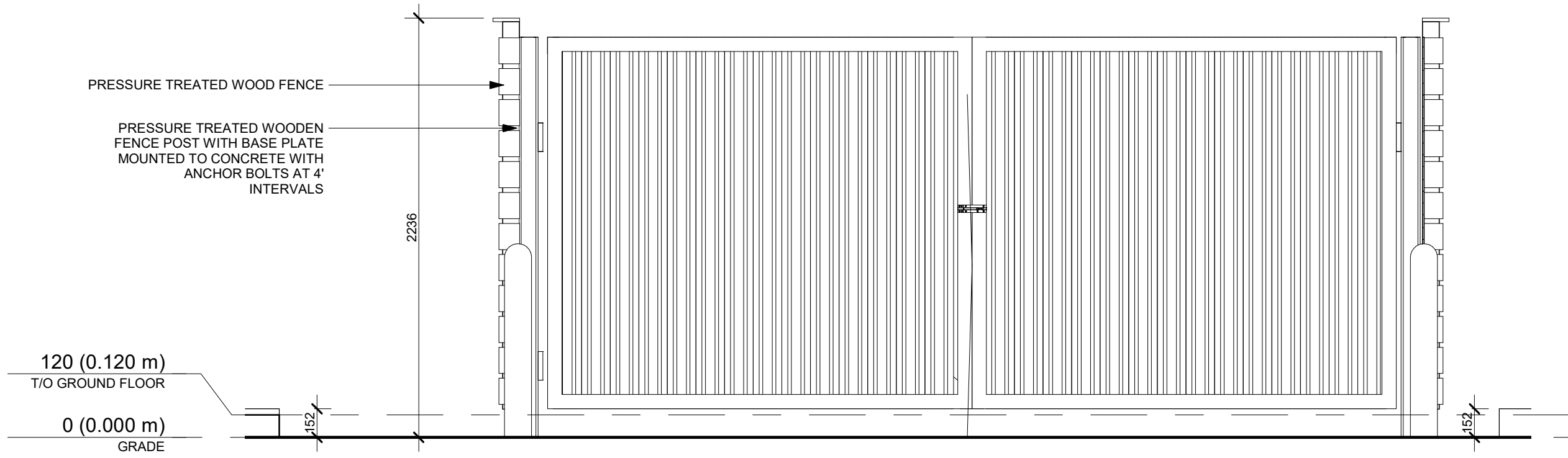
- EXTEND ALL PARTITIONS TO U/S DECK OR SLAB U.N.
- STAGGER ALL JOINTS OF MULTIPLE GYPSUM BOARD LAYERS.
- INNER LAYERS MUST BE TAPED BUT NOT SANDED.
- INSTALL GYPSUM BOARD WITH NO JOINTS GREATER THAN 6mm.
- TAPE ALL GYPSUM BOARD JOINTS WITH DRYWALL COMPOUND.
- FIRE-STOP CAULK OUTSIDE LAYER OF GYPSUM BOARD OF ALL RATED STEEL STUD PARTITIONS AT TOP AND BOTTOM AND ALL PENETRATIONS.
- ACOUSTIC CAULK OUTSIDE LAYER OF GYPSUM BOARD OF ALL NON-RATED STEEL STUD PARTITIONS AT ALL PENETRATIONS.
- CAULKING OF ANY GAP OVER 6 mm MUST BE OVER ROD BACKUP.
- LOCATE ELECTRICAL BOXES ON OPPOSING FACES OF THE WALL IN SEPARATE STUD CAVITY.
- TRIM AND EXTEND THERMAL AND ACOUSTIC BATT INSULATION CONTINUOUSLY BEHIND AND AROUND ALL ELECTRICAL BOXES.
- PROVIDE SLOTTED TOP TRACK DEFLECTION HEAD AT T/O ALL STEEL STUD WALL AND PARTITION ASSEMBLIES.
- PROVIDE 20mm DEFLECTION ALLOWANCE AT T/O ALL CONCRETE BLOCK PARTITIONS
- PACK VOID AT T/O OF ALL FIRE RATED CONCRETE BLOCK PARTITIONS WITH MINERAL WOOL AND SEAL IN PLACE WITH FIRE-STOP CAULK.
- SEAL VOID AT T/O OF ALL NON-RATED CONCRETE BLOCK PARTITIONS WITH ACOUSTIC CAULK OVER BACKER ROD.
- PROVIDE MAX. 0.50mm METAL STUDS FOR ALL INTERIOR PARTITIONS. NOTIFY ARCHITECT WHERE HEAVIER GAUGE IS NEEDED TO MEET DEFLECTIONS REQUIREMENT.

- STUD WALL REINFORCEMENT:**
- SECURE 19mm VENEER CORE PLYWOOD BLOCKING TO STUDS WITHIN THE WALL CAVITY AS REQUIRED TO ANCHOR THE FUTURE INSTALLATION OF GRAB BARS LOCATED IN ALL SUITE WASHROOMS AND INSTALL BLOCKING TO ACCOMMODATE THE FOLLOWING GRAB BAR CONFIGURATIONS:
  - 700mm TO 1500mm AFF ON ALL WALLS ADJACENT TO A WATER CLOSET EXTENDING 400mm TO 1200mm FROM WALL BEHIND THE WATER CLOSET
  - 800mm LONG x 200mm HIGH CENTERED ON THE WALL BEHIND THE WATER CLOSET AND 150mm ABOVE THE TANK
  - 850mm AFF x 200mm HIGH FULL LENGTH OF WALL OPPOSITE THE ENTRANCE TO THE SHOWER
- GRIND HIGH-POINTS AND SKIM-COAT ALL EXPOSED CONCRETE SURFACES WITH DRYWALL COMPOUND.

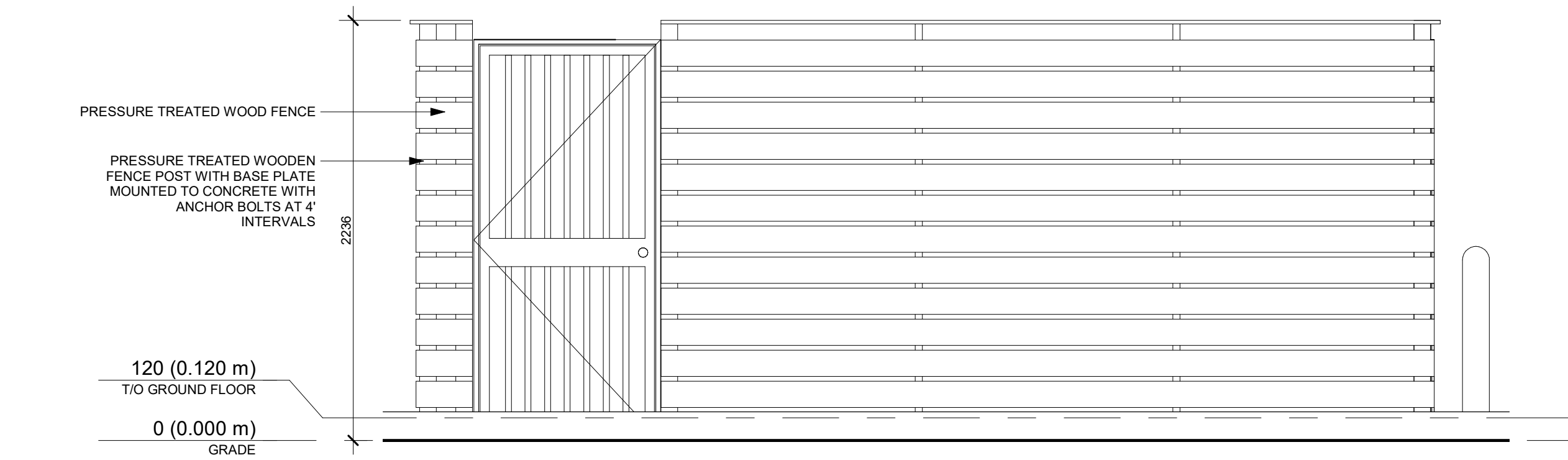
- MISCELLANEOUS METAL:**
- CONTINUOUSLY WELD ALL STEEL COMPONENTS
- FILL AND GRIND ALL STEEL CONNECTIONS SMOOTH
- FINISH ALL EXPOSED STEEL SURFACES WITH PAINT
- USE MOISTURE RESISTANT GYPSUM BOARD ON ALL WASHROOM AND HIGH HUMIDITY AREA CEILINGS AND WALLS.
- USE GYPSUM TILE BACKER BOARD ON ALL SHOWER WALLS.
- FIRE-CAULK PERIMETER OF ALL ACOUSTIC GYPSUM BOARD PARTITIONS.
- WHERE OUTLET BOXES ARE INSTALLED BACK TO BACK, PACK CAVITY AROUND BOTH OUTLET BOXES AND SECURE ONE LAYER OF DRYWALL IN THE AIR-SPACE TO THE BACK SIDE OF ONE ROW OF STUDS. EXTEND THESE MEASURES FOR A MINIMUM RADIUS OF 600mm FROM CENTER OF EACH OUTLET BOX. IN ADDITION, PROVIDE PUTTY PADS TO ALL ELECTRICAL BOXES WHERE MORE THAN ONE ELECTRICAL BOX IS INSTALLED IN A SINGLE STUD CAVITY.
- SHIM AS REQUIRED TO PLUMB WALLS FOR ALL FURRING CHANNELS. ADJUST OTHER DIMENSION ACCORDINGLY.
- WHERE BATHTUBS ABUT A FIRE SEPARATION APPLY AN ADDITIONAL LAYER OF WATER RESISTANT GYPSUM BOARD TO PROVIDE SUBSTRATE FOR FINISHES ABOVE BATHTUB.

- TYPICAL SUITE AND CORRIDOR DEMISING WALL ACOUSTIC REQUIREMENTS:**
- CONTINUE DEMISING WALL BETWEEN SUITES THROUGH EXTERIOR WALL STUD CAVITY TO INSIDE FACE OF EXTERIOR SHEATHING AND FIRECAULK
- SUITE SIDE OF CORRIDOR DEMISING WALL GYPSUM TO BE DISCONTINUOUS AT JUNCTION WITH SUITE DEMISING WALL
- STAGGER GYPSUM LAYERS AT JOINTS.
- ACCESS LADDERS MUST CONFORM TO THE REQUIREMENTS OF ENGINEERING DATA SHEET 2-04, ISSUED BY THE MINISTRY OF LABOUR.

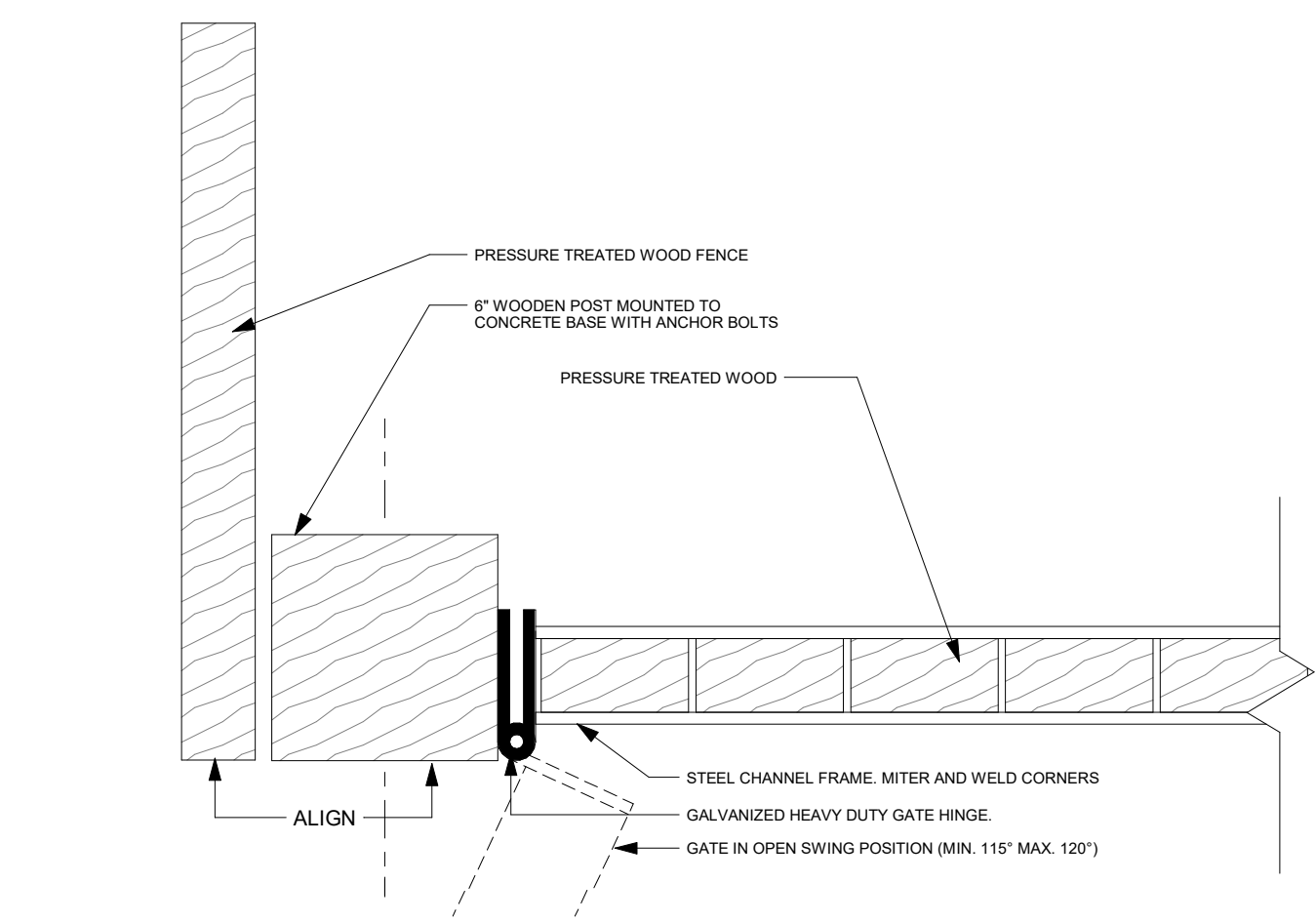
- EXTERIOR FINISH NOTES:**
- THE INTERIOR WALL SURFACES OF THE TRASH ENCLOSURE ARE TO BE SMOOTH, SEALED AND WASHABLE. APPLY ONE COAT EPOXY FILLER/SEALER AND ONE COAT GLOSS POLYURETHANE.
- RUNNING BOND INTEGRAL CMU COLOR OR CMU PAINTED TO MATCH BUILDING. SEE MASONRY SPECIFICATIONS.



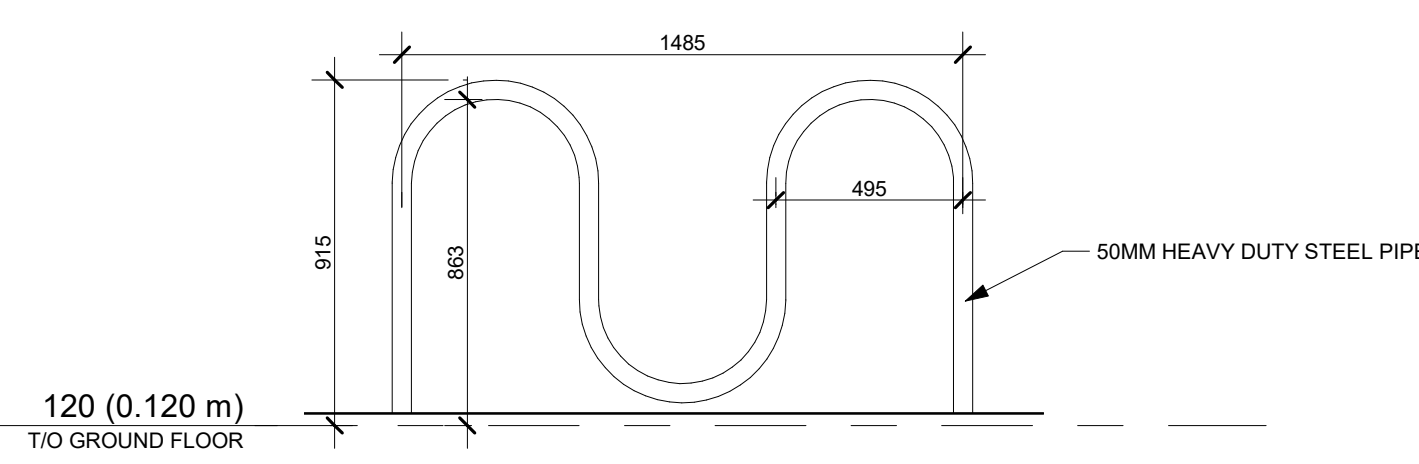
**1 TRASH ENCLOSURE FRONT ELEVATION**  
A060 1 : 25



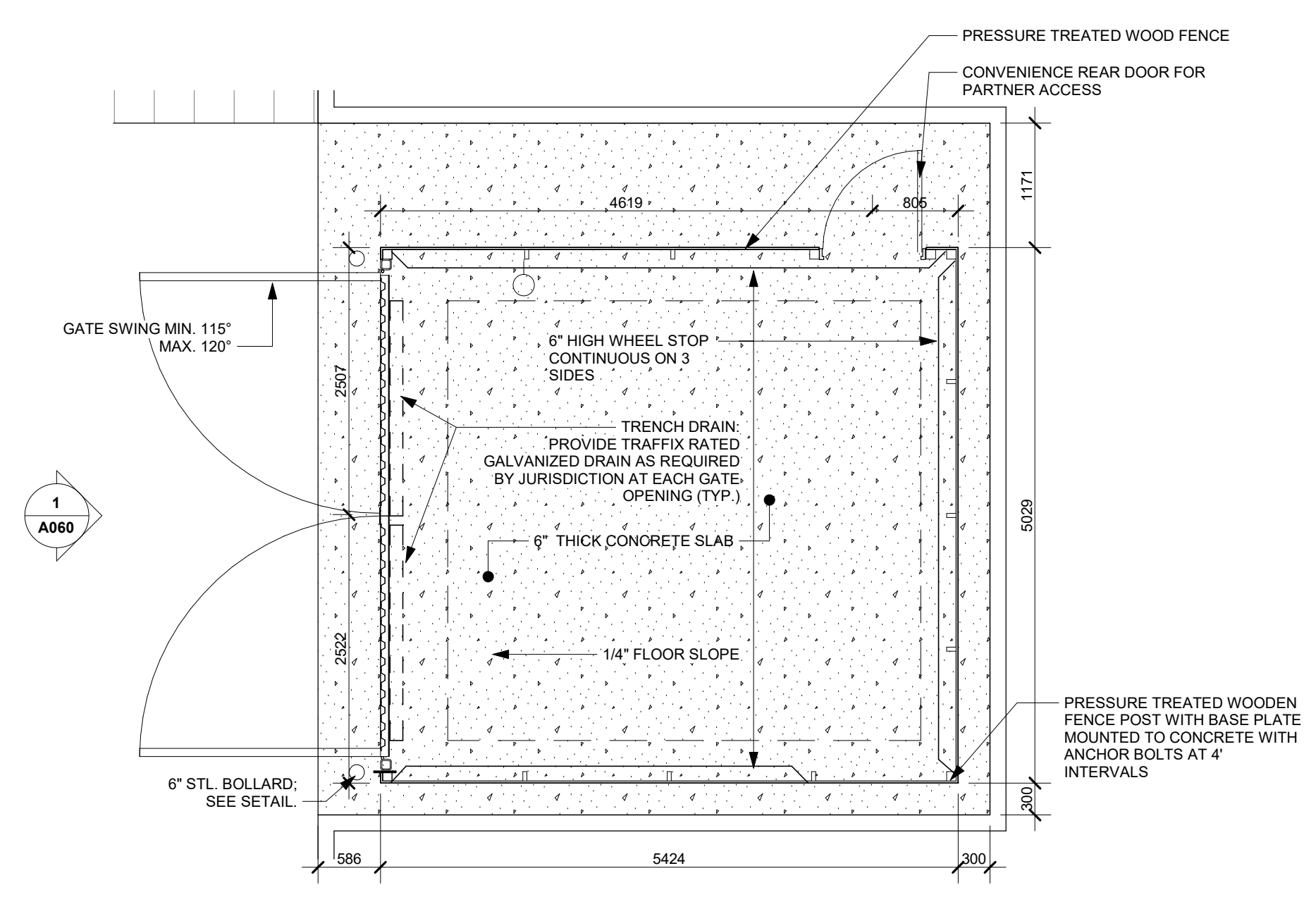
**2 TRASH ENCLOSURE SIDE ELEVATION**  
A060 1 : 25



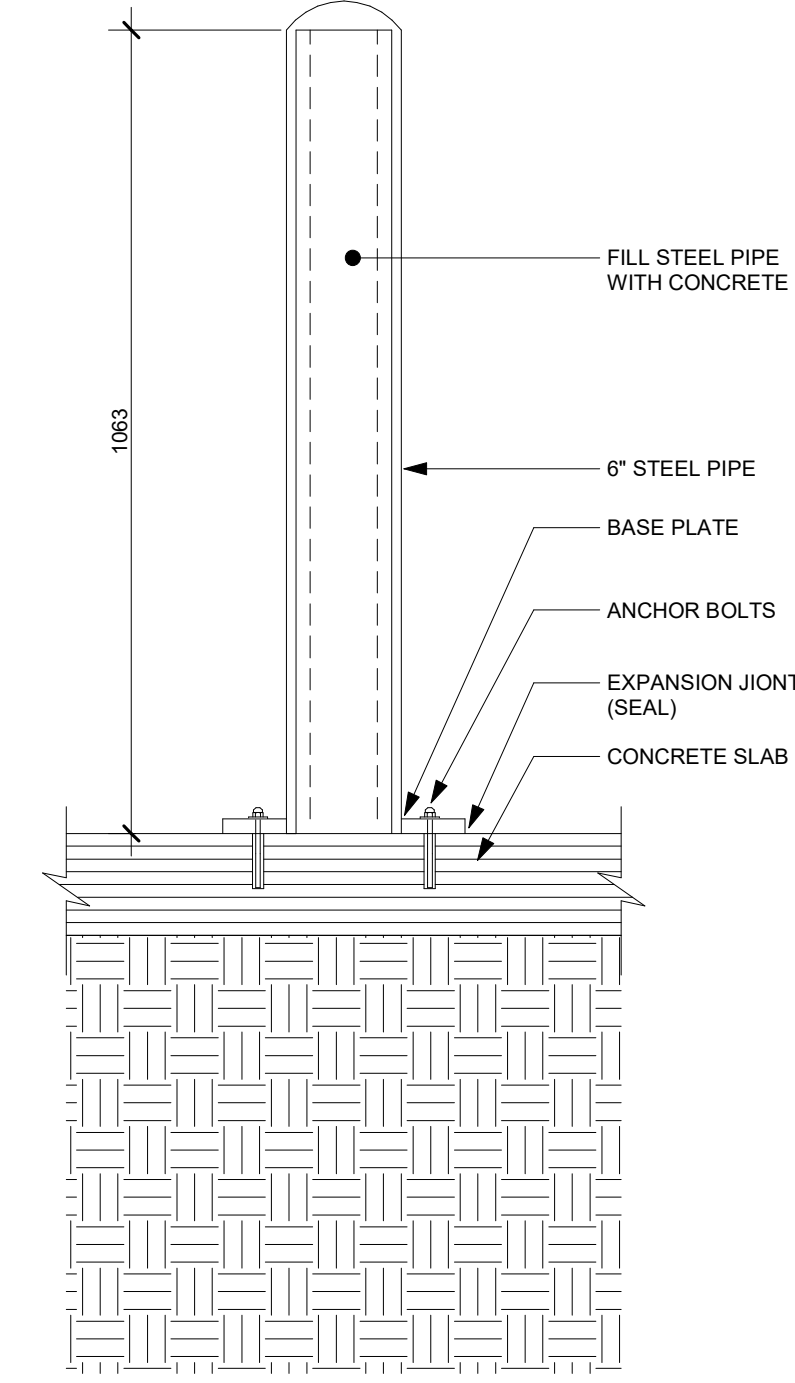
**4 GATE HINGE DETAIL**  
A060 1 : 5



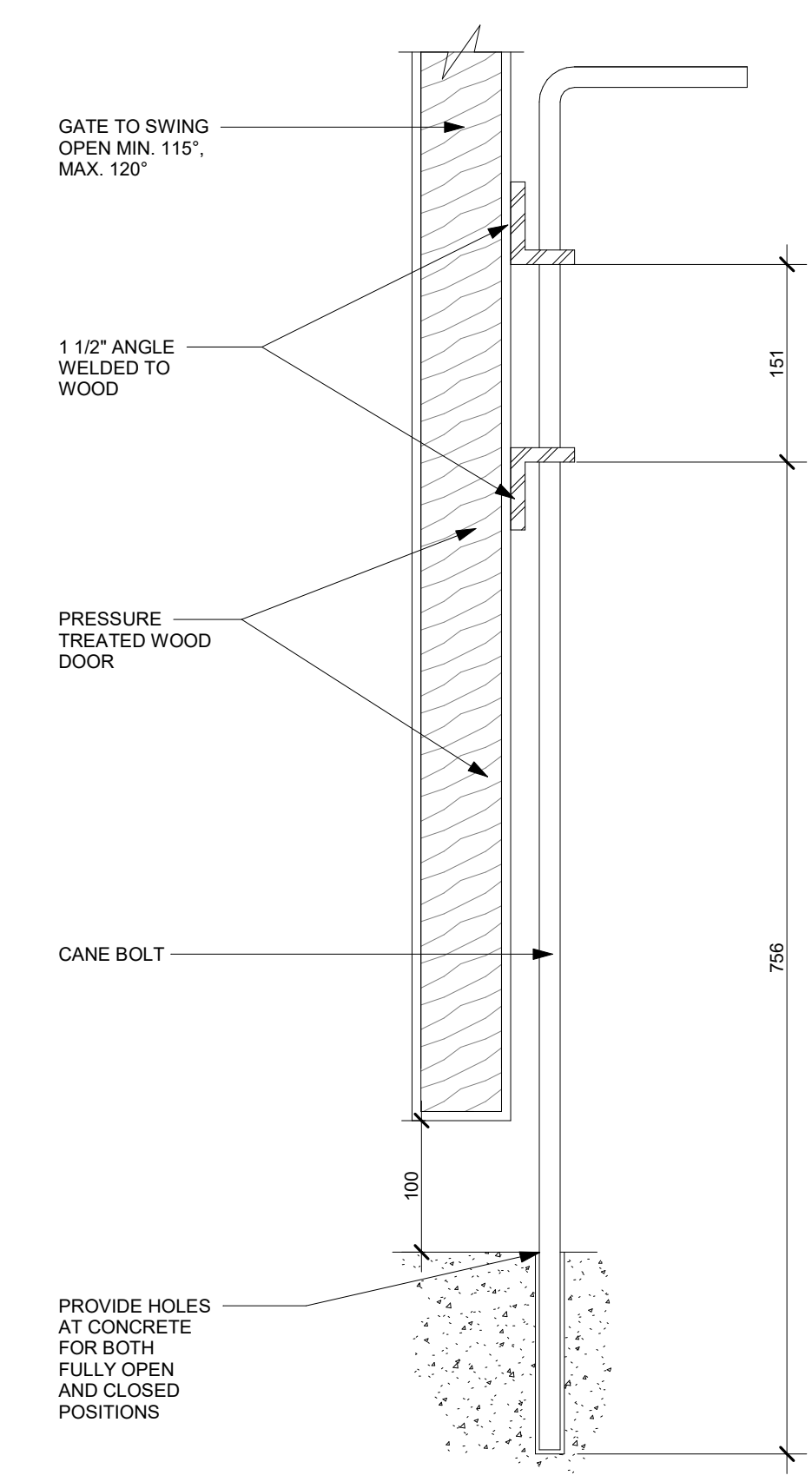
**5 BIKE RACK ELEVATION**  
A060 1 : 20



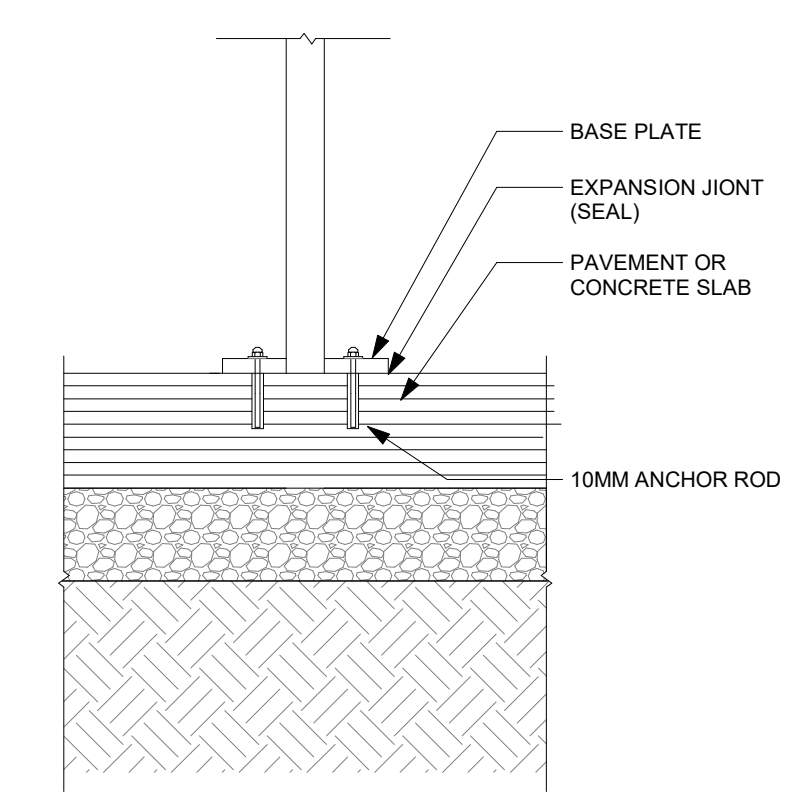
**3 GROUND FLOOR- TRASH ENCLOSURE**  
A060 1 : 50



**6 TRASH ENCLOSURE BOLLARD**  
A060 1 : 10



**7 SECTION AT CANE BOLT**  
A060 1 : 5



**8 TRASH ENCLOSURE POST**  
A060 1 : 10



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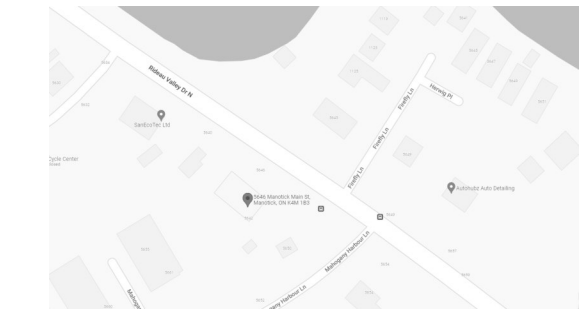
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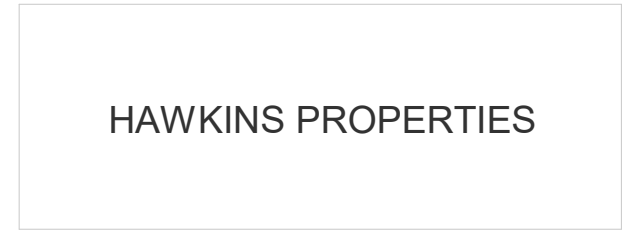
**ELECTRICAL ENGINEER**  
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**LANDSCAPE ARCHITECT**  
NAK Design Strategies  
1285 Wellington St. W, Ottawa, ON K1Y 3A8  
<https://www.nakdesignstrategies.com/>

**KEY PLAN / PLAN CLÉ :**



**CLIENT :**



5646 & 5650 Manotick Main Manotick, ON K4M1B3  
Tel : (613) 859-2819

revision	description	date
1.28	ISSUED FOR CONSTRUCTION	24-08-05

**PROJECT NAME / NOM DU PROJET :**

**5646 & 5650  
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON K4M 1B3

**DRAWING NAME / NOM DU DESSIN :**

**SITE PLAN - DETAILS**

**DRAWING INFORMATION / INFORMATION DU DESSIN :** SPC# D07-12-23-0080 Plan# 19143

PROJECT NO. / NO. DE PROJET : **22199**

DATE : **06/25/24**

DRAWN BY / DESSINÉ PAR : **MS/CK**

REVIEWED BY / VÉRIFIÉ PAR : **ES**

SCALE / ÉCHELLE : **As indicated**

PROJECT PHASE / PHASE DU PROJET : **5**

DWG NO. / NO. DESSIN : **A061**

REVISION NO. / NO. DE RÉVISION : **1.28**

**TYPICAL DRAWINGS NOTES:**

EXTEND ALL PARTITIONS TO U/S DECK OR SLAB U.N.

STAGGER ALL JOINTS OF MULTIPLE GYPSUM BOARD LAYERS.

INNER LAYERS MUST BE TAPED BUT NOT SANDED.

INSTALL GYPSUM BOARD WITH NO JOINTS GREATER THAN 6mm.

TAPE ALL GYPSUM BOARD JOINTS WITH DRYWALL COMPOUND.

FIRE-STOP CAULK OUTSIDE LAYER OF GYPSUM BOARD OF ALL RATED STEEL STUD PARTITIONS AT TOP AND BOTTOM AND ALL PENETRATIONS.

ACOUSTIC CAULK OUTSIDE LAYER OF GYPSUM BOARD OF ALL NON-RATED STEEL STUD PARTITIONS AT ALL PENETRATIONS.

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PROVIDE MAX. 0.50mm METAL STUDS FOR ALL INTERIOR PARTITIONS. NOTIFY ARCHITECT WHERE HEAVIER GAUGE IS NEEDED TO MEET DEFLECTIONS REQUIREMENT.

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SECURE 19mm VENEER CORE PLYWOOD BLOCKING TO STUDS WITHIN THE WALL CAVITY AS REQUIRED TO ANCHOR THE FUTURE INSTALLATION OF GRAB BARS LOCATED IN ALL SUITE WASHROOMS AND INSTALL BLOCKING TO ACCOMMODATE THE FOLLOWING GRAB BAR CONFIGURATIONS:

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  - FILL AND GRIND ALL STEEL CONNECTIONS SMOOTH
  - FINISH ALL EXPOSED STEEL SURFACES WITH PAINT

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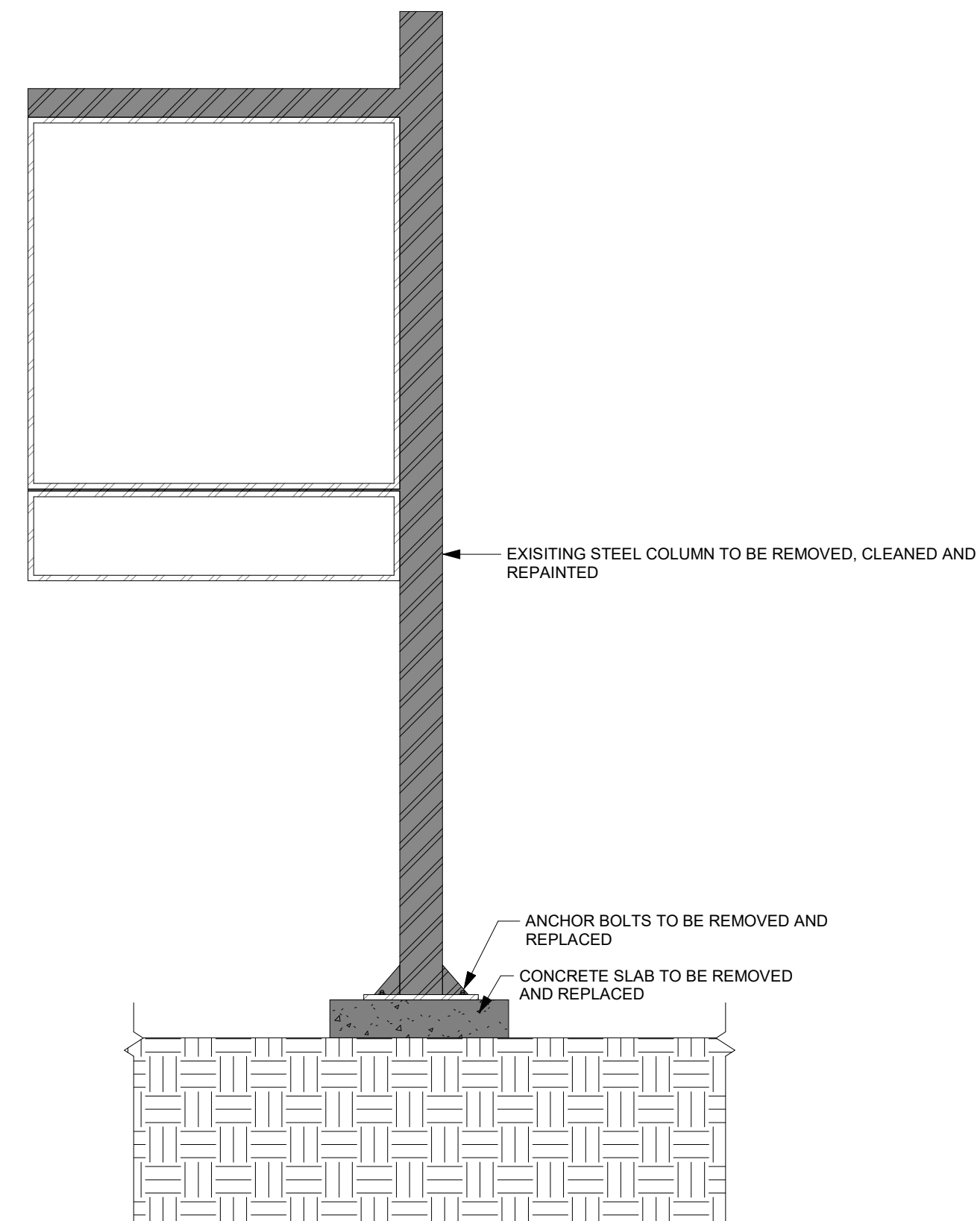
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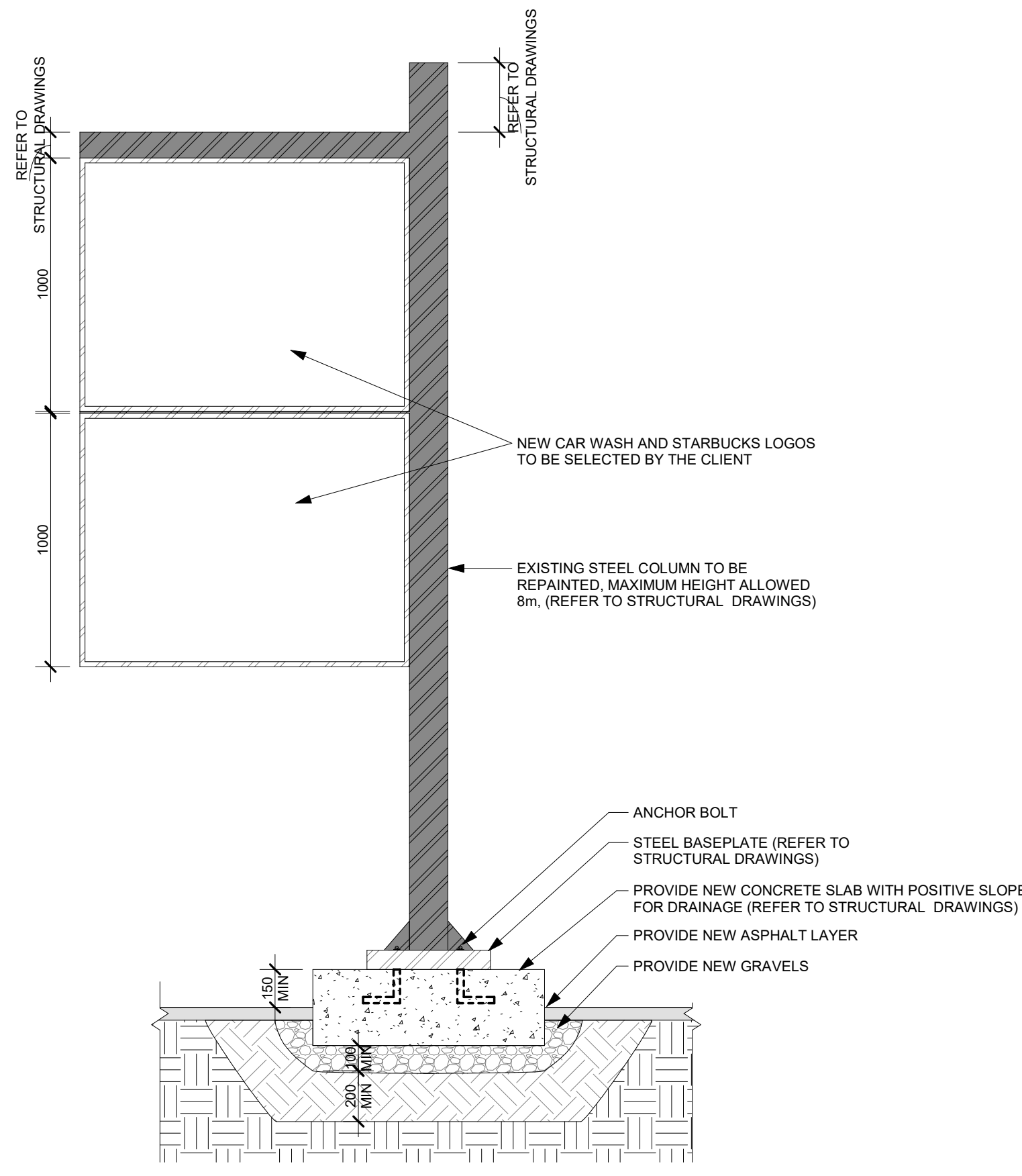
ACCESS LADDERS MUST CONFORM TO THE REQUIREMENTS OF ENGINEERING DATA SHEET 2-04, ISSUED BY THE MINISTRY OF LABOUR.

**EXTERIOR FINISH NOTES:**

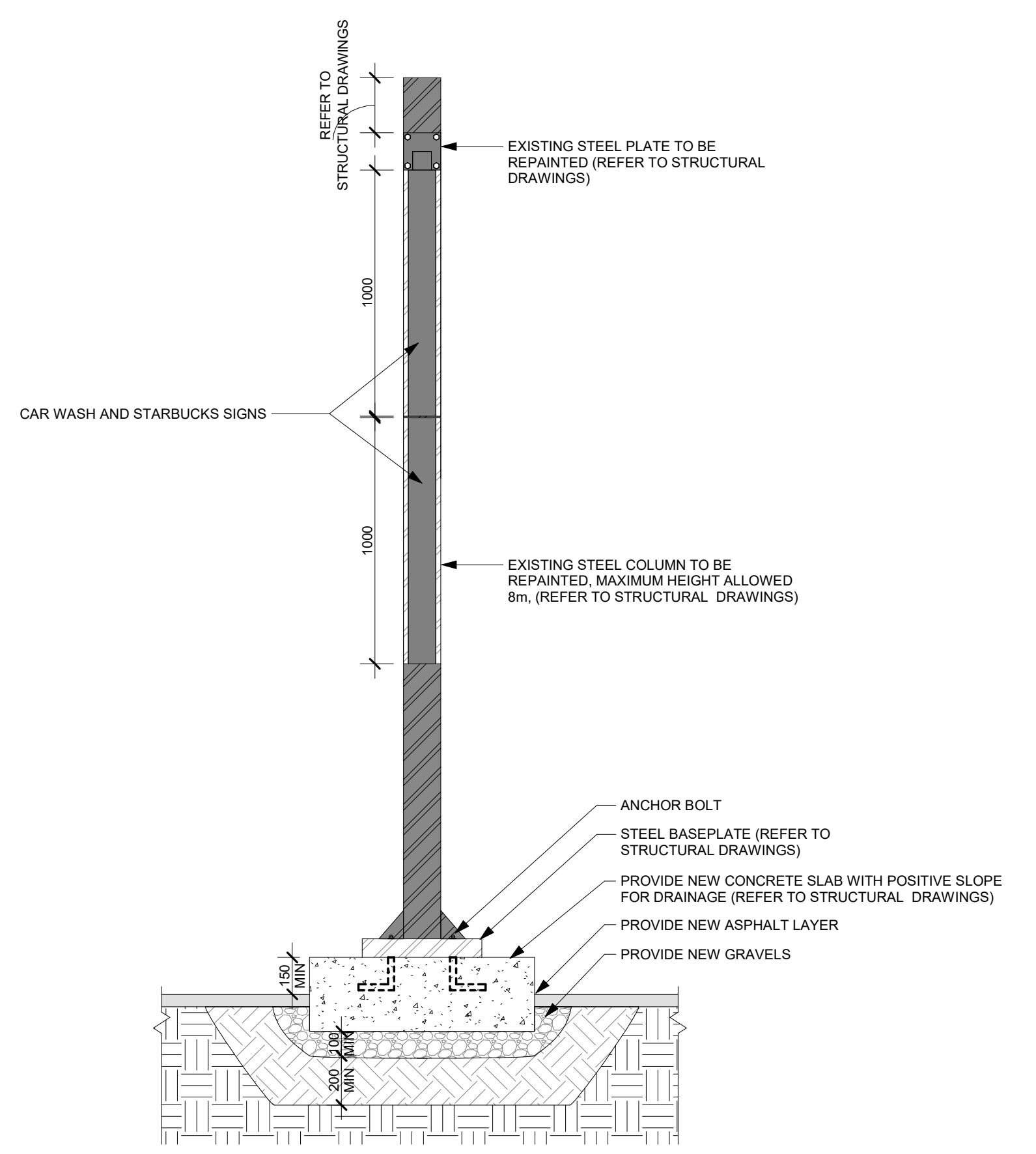
1. THE INTERIOR WALL SURFACES OF THE TRASH ENCLOSURE ARE TO BE SMOOTH, SEALED AND WASHABLE. APPLY ONE COAT EPOXY FILLERSEALER AND ONE COAT GLOSS POLYURETHANE.
2. RUNNING BOND INTEGRAL CMU COLOR OR CMU PAINTED TO MATCH BUILDING. SEE MASONRY SPECIFICATIONS.



**1 STEEL GROUND SIGN - DEMOLITION**  
A061 1 : 20



**2 STEEL GROUND SIGN - CONSTRUCTION**  
A061 1 : 20



**3 STEEL GROUND SIGN - PROFILE - CONSTRUCTION**  
A061 1 : 20



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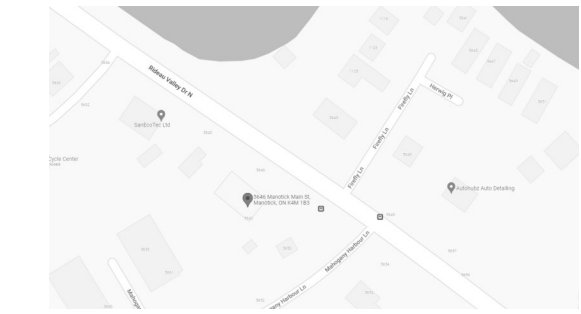
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**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

**HAWKINS PROPERTIES**

5646 & 5650 Manotick Main Manotick, ON K4M1B3  
Tel : (613) 859-2819

revision	description	date
1.28	ISSUED FOR CONSTRUCTION	24-08-05
1.26	ISSUED FOR COORDINATION	24-07-16
1.22	PERMIT RESPONSE 02-DT	24-05-21
1.17	ISSUED FOR BP	24-03-21
1.16	ISSUED FOR COORD.	24-03-18
1.13	ISSUED FOR COORD.	24-02-23
1.10	ISSUED FOR PERMIT	24-01-26
1.8	CO-ORDINATION	23-11-07
1.7	CO-ORDINATION	23-10-30
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.2	CO-ORDINATION	23-08-17
1.1	CO-ORDINATION	23-08-08
1.0	ISSUED FOR SPA	23-05-24

**PROJECT NAME / NOM DU PROJET :**

**5646 & 5650  
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON  
**K4M 1B3**

**DRAWING NAME / NOM DU DESSIN :**

**FLOOR PLAN - DRIVE THRU**

**DRAWING INFORMATION / INFORMATION DU DESSIN :** SPC# D07-12-23-0080  
Plan# 19143

PROJECT NO. / NO. DE PROJET : **22199**

DATE : **2022-11-29**

DRAWN BY / DESSINÉ PAR : **MS/CK**

REVIEWED BY / VÉRIFIÉ PAR : **ES**

SCALE / ÉCHELLE : **As indicated**

PROJECT PHASE / PHASE DU PROJET : **5**

DWG NO. / NO. DESSIN : **A100**

REVISION NO. / NO. DE RÉVISION : **1.28**

Plan #19143

**TYPICAL DRAWINGS NOTES:**

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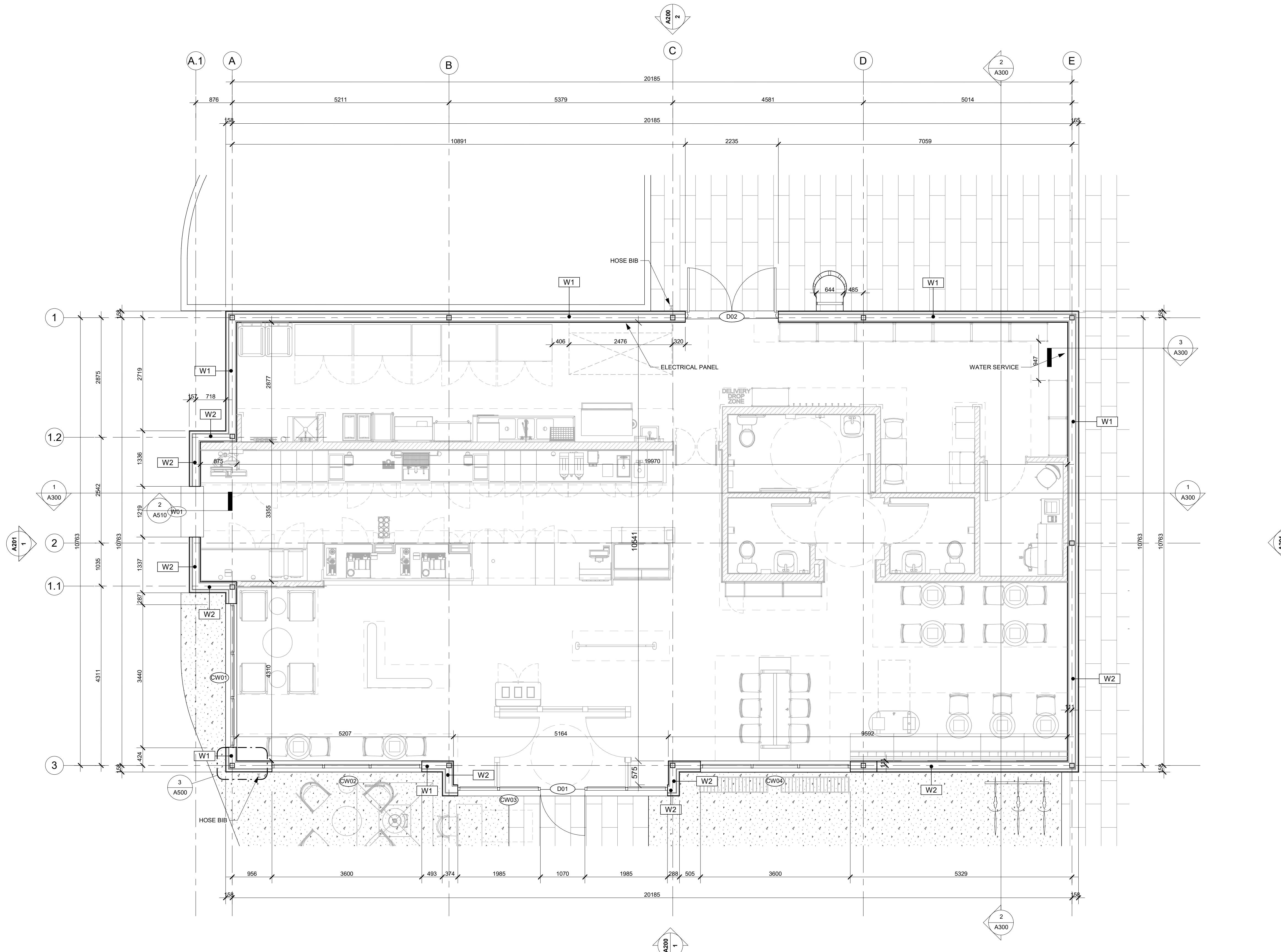
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**General Legend**

	TO DEMOLISH: WALLS, PARTITIONS AND OTHER ELEMENTS
	EXISTING TO REMAIN: WALLS, PARTITIONS AND OTHER ELEMENTS
	NEW CONSTRUCTION: WALLS, PARTITIONS AND OTHER ELEMENTS



**1 GROUND FLOOR- DRIVE-THRU**

A100 1:50



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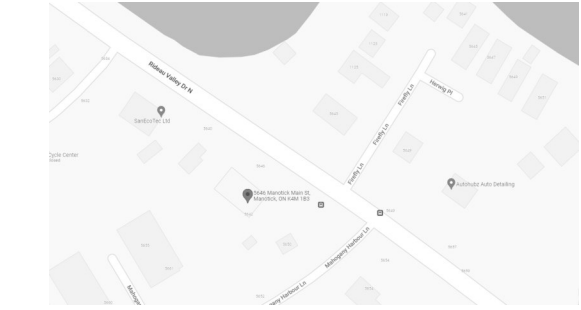
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revision	description	date
1.28	ISSUED FOR CONSTRUCTION	24-08-05
1.24	REVISED RTU LOCATIONS	24-05-31
1.17	ISSUED FOR BP	24-03-21
1.16	ISSUED FOR COORD.	24-03-18
1.13	ISSUED FOR COORD.	24-02-23
1.10	ISSUED FOR PERMIT	24-01-28
1.8	CO-ORDINATION	23-11-07
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.2	CO-ORDINATION	23-08-17

**PROJECT NAME / NOM DU PROJET :**

**5646 & 5650  
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON K4M 1B3

**DRAWING NAME / NOM DU DESSIN :**

**ROOF PLAN - DRIVE THRU**

**DRAWING INFORMATION / INFORMATION DU DESSIN :** SPC# D07-12-23-0080  
Plan# 19143

PROJECT NO. / NO. DE PROJET : **22199**

DATE : **2023-08-17**

DRAWN BY / DESSINÉ PAR : **MS/CK**

REVIEWED BY / VÉRIFIÉ PAR : **ES**

SCALE / ÉCHELLE : **As indicated**

PROJECT PHASE / PHASE DU PROJET : **5**

DWG NO. / NO. DESSIN : **A110**

**A110**

REVISION NO. / NO. DE RÉVISION : **1.28**

1.28

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WHERE BATH/TUBS ABUT A FIRE SEPARATION APPLY AN ADDITIONAL LAYER OF WATER RESISTANT GYPSUM BOARD TO PROVIDE SUBSTRATE FOR FINISHES ABOVE BATH/TUB.

**TYPICAL SUITE AND CORRIDOR DEMISING WALL ACOUSTIC REQUIREMENTS:**

- CONTINUE DEMISING WALL BETWEEN SUITES THROUGH EXTERIOR WALL STUD CAVITY TO INSIDE FACE OF EXTERIOR SHEATHING AND FIRECAULK
- SUITE SIDE OF CORRIDOR DEMISING WALL GYPSUM TO BE DISCONTINUOUS AT JUNCTION WITH SUITE DEMISING WALL
- STAGGER GYPSUM LAYERS AT JOINTS

ACCESS LADDERS MUST CONFORM TO THE REQUIREMENTS OF ENGINEERING DATA SHEET 2-04, ISSUED BY THE MINISTRY OF LABOUR.

**ROOF**

**NUMBERING**

- BOWL**  
Identification number
- DRAIN**  
No. d'identification

**SLOPE**

- SLOPE ARROW** Type and Direction
- ROOF POOL** Slope per structure
- ROOF POOL** 2% slope insulation
- PITCHED ROOF** Pitch per structure

**DRAIN**

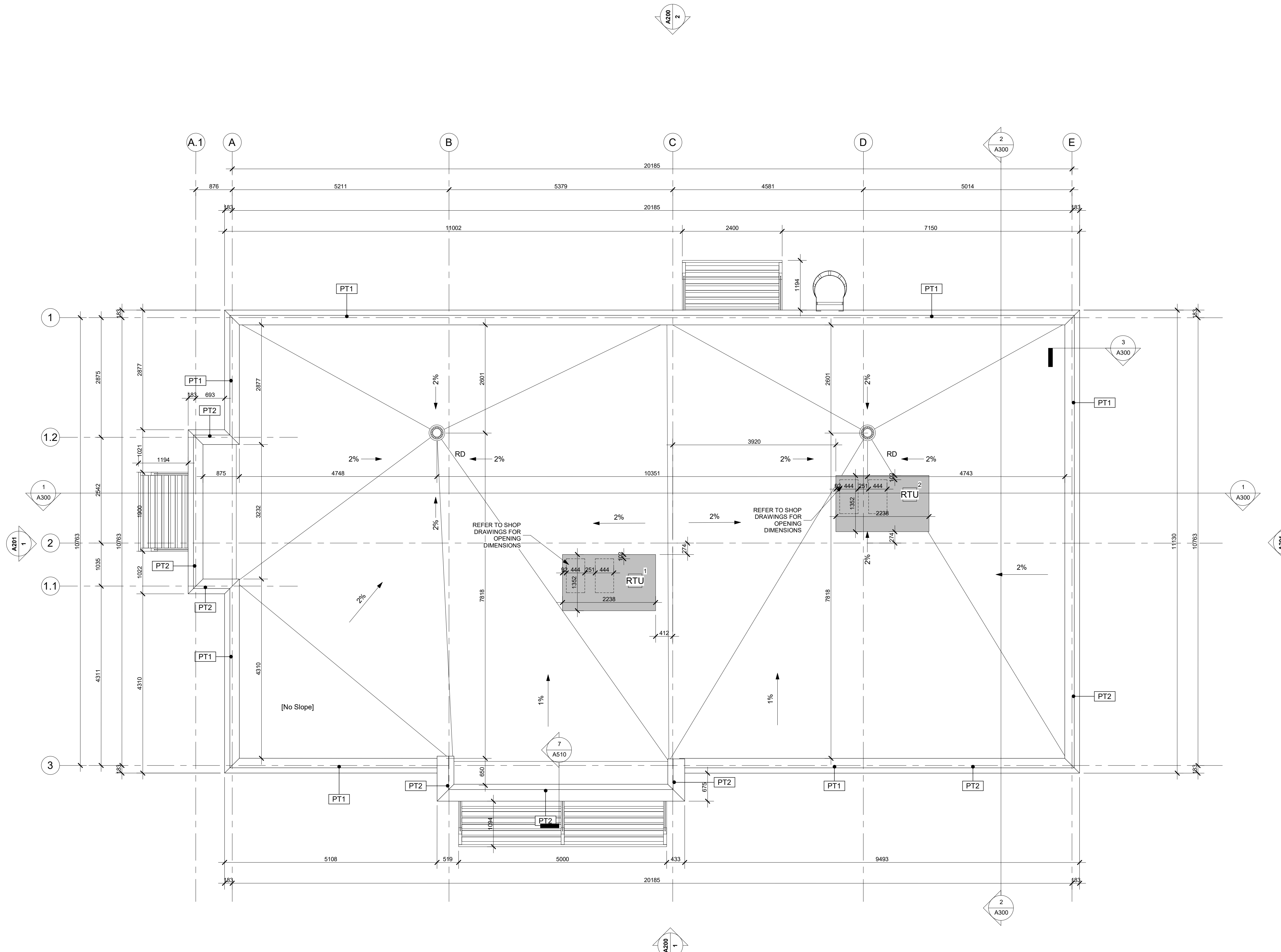
- Drain**  
New

**VENT**

- Vent**

**MECHANICAL EQUIPMENT**

- RTU**  
New
- GOOSENECK**  
New
- EVACUATOR**  
New
- CABANON SHUTTER**  
New



**1 ROOF PLAN - DRIVE-THRU**  
A110 1:50



NOT FOR CONSTRUCTION /  
PAS POUR CONSTRUCTION

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**PROJECT TEAM / ÉQUIPE DU PROJET :**

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215 Merton Pl #104, Napanee, ON K2H 9C1  
<https://www.mcintoshperry.com/>

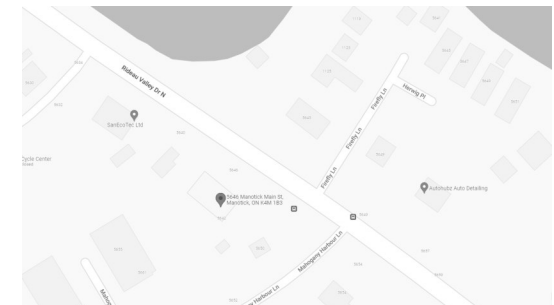
**STRUCTURAL ENGINEER**  
Leekor Engineering Inc.  
359 Kent St #501, Ottawa, ON K2P 2M8  
<https://www.leekor.com/>

**MECHANICAL ENGINEER**  
Milton Ltd.  
2000 Thurston Dr #31, Ottawa, ON K1G 4K7  
<https://milton.com/>

**ELECTRICAL ENGINEER**  
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2000 Thurston Dr #31, Ottawa, ON K1G 4K7  
<https://milton.com/>

**LANDSCAPE ARCHITECT**  
NAK Design Strategies  
1285 Wellington St. W, Ottawa, ON K1Y 3A8  
<https://www.nakdesignstrategies.com/>

**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

**HAWKINS PROPERTIES**

5646 & 5650 Manotick Main Manotick, ON K4M1B3  
Tel : (613) 859-2819

revision	description	date
1.28	ISSUED FOR CONSTRUCTION	24-08-05
1.17	ISSUED FOR BP	24-03-21
1.16	ISSUED FOR COORD.	24-03-18
1.13	ISSUED FOR COORD.	24-02-23
1.10	ISSUED FOR PERMIT	24-01-26
1.8	CO-ORDINATION	23-11-07
1.6	ISSUED FOR SPA R2	23-10-17
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08
1.0	ISSUED FOR SPA	23-05-24

**PROJECT NAME / NOM DU PROJET :**

**5646 & 5650  
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON  
**K4M 1B3**

**DRAWING NAME / NOM DU DESSIN :**

**NORTH & SOUTH  
ELEVATIONS - DRIVE THRU**

**INFORMATION / INFORMATION DU DESSIN :** SPC# D07-12-23-0080  
Plan# 19143

**PROJECT NO. / NO. DE PROJET :** 22199

**DATE :** 20/11/2023

**DRAWN BY / DESSINÉ PAR :** MS/CK

**REVIEWED BY / VÉRIFIÉ PAR :** ES

**SCALE / ÉCHELLE :** As indicated

**PROJECT PHASE / PHASE DU PROJET :** 5

**DWG NO. / NO. DESSIN :** A200

**REVISION NO. / NO. DE RÉVISION :** 1.28

Plan #19143

**EXTERIOR FINISHES**

**MASONRY**

**Architectural Block 1 - CMU BLOCK**  
Colour: Grey

**Architectural Block 2 - CMU BLOCK**  
Colour: Dark Grey

**HOLLOW MORTAR JOINT**

**CLADDING**

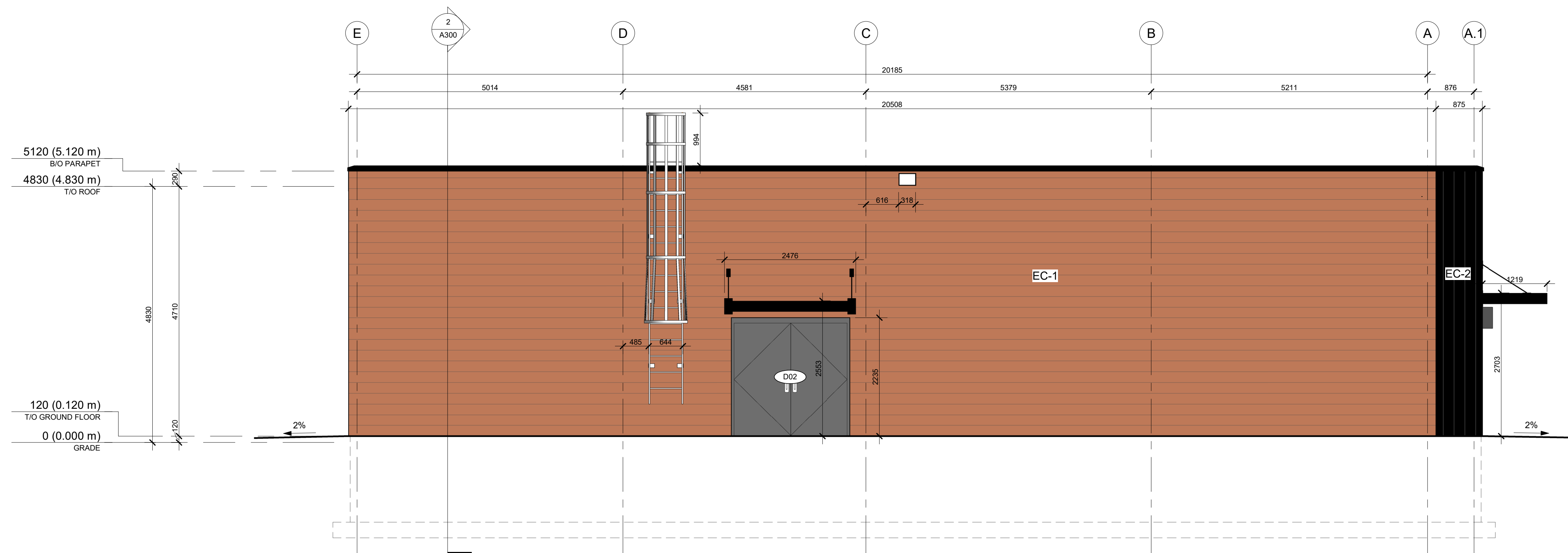
**Horizontal Metal Siding**  
Color: Brown

**Vertical Metal Siding**  
Color: Black

**NOTES**



**1 NORTH ELEVATION - DRIVE THRU**  
A200 1: 50



**2 SOUTH ELEVATION - DRIVE THRU**  
A200 1: 50



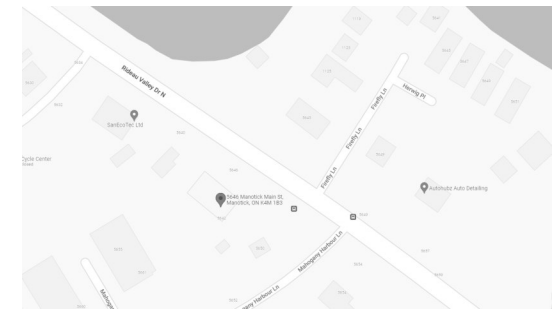
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- LANDSCAPE ARCHITECT**  
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**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

**HAWKINS PROPERTIES**

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revision	description	date
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1.6	ISSUED FOR SPA R2	23-10-17
1.5	CO-ORDINATION	23-10-10
1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08
1.0	ISSUED FOR SPA	23-05-24

**PROJECT NAME / NOM DU PROJET :**

**5646 & 5650 Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON K4M 1B3

**DRAWING NAME / NOM DU DESSIN :**

**EAST & WEST ELEVATIONS - DRIVE THRU**

**DRAWING INFORMATION / INFORMATION DU DESSIN :** SPC# D07-12-23-0080 Plan# 19143

**PROJECT NO. / NO. DE PROJET :** 22199

**DATE :** 20/11/2023

**DRAWN BY / DESSINÉ PAR :** MS/CK

**REVIEWED BY / VÉRIFIÉ PAR :** ES

**SCALE / ÉCHELLE :** As indicated

**PROJECT PHASE / PHASE DU PROJET :** 5

**DWG NO. / NO. DESSIN :** A201

**REVISION NO. / NO. DE RÉVISION :** 1.28

Plan #19143

**EXTERIOR FINISHES**

**MASONRY**

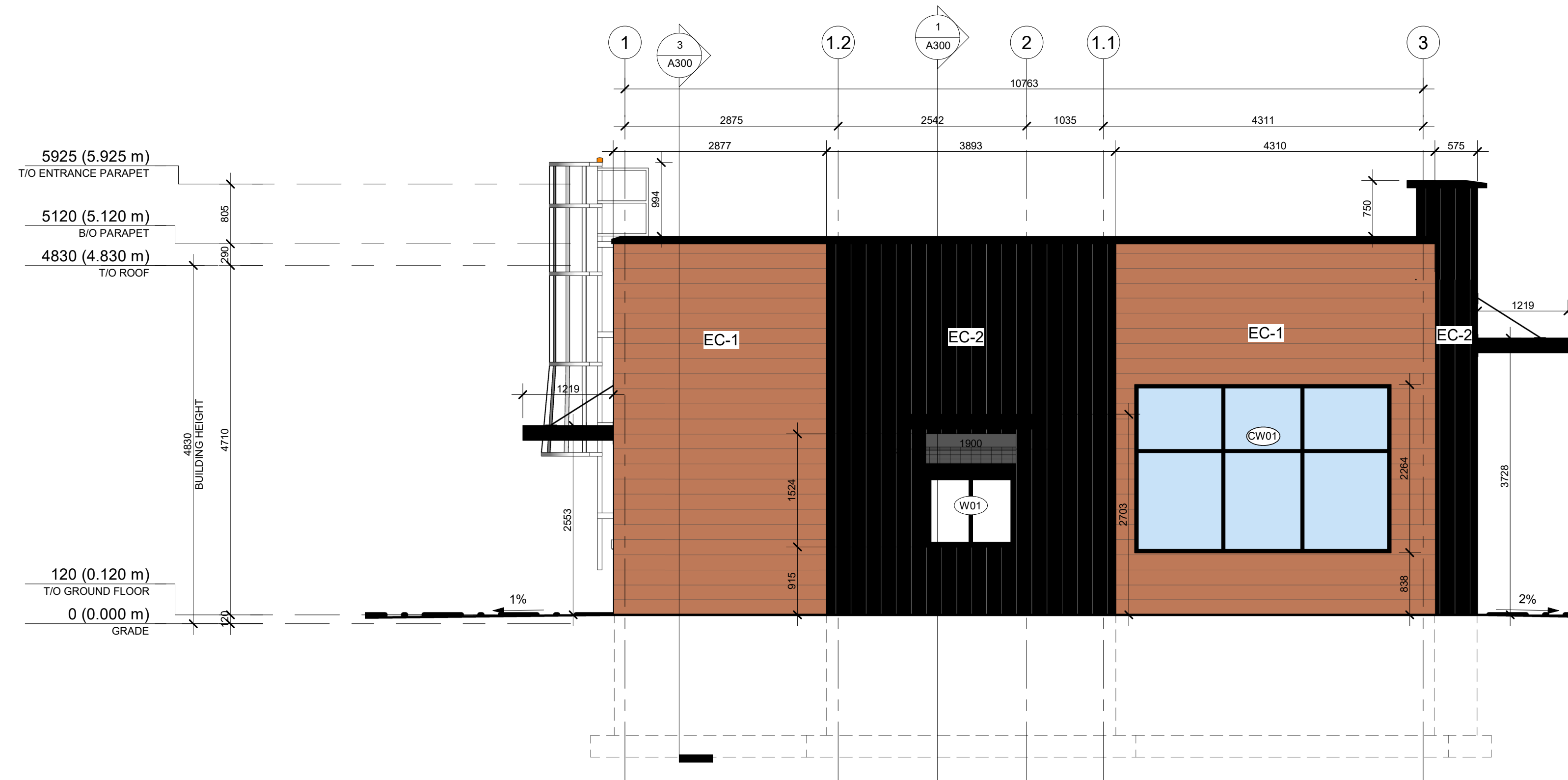
- MB-1** Architectural Block 1 - CMU BLOCK  
Colour: Grey
- MB-2** Architectural Block 2 - CMU BLOCK  
Colour: Dark Grey

**HOLLOW MORTAR JOINT**

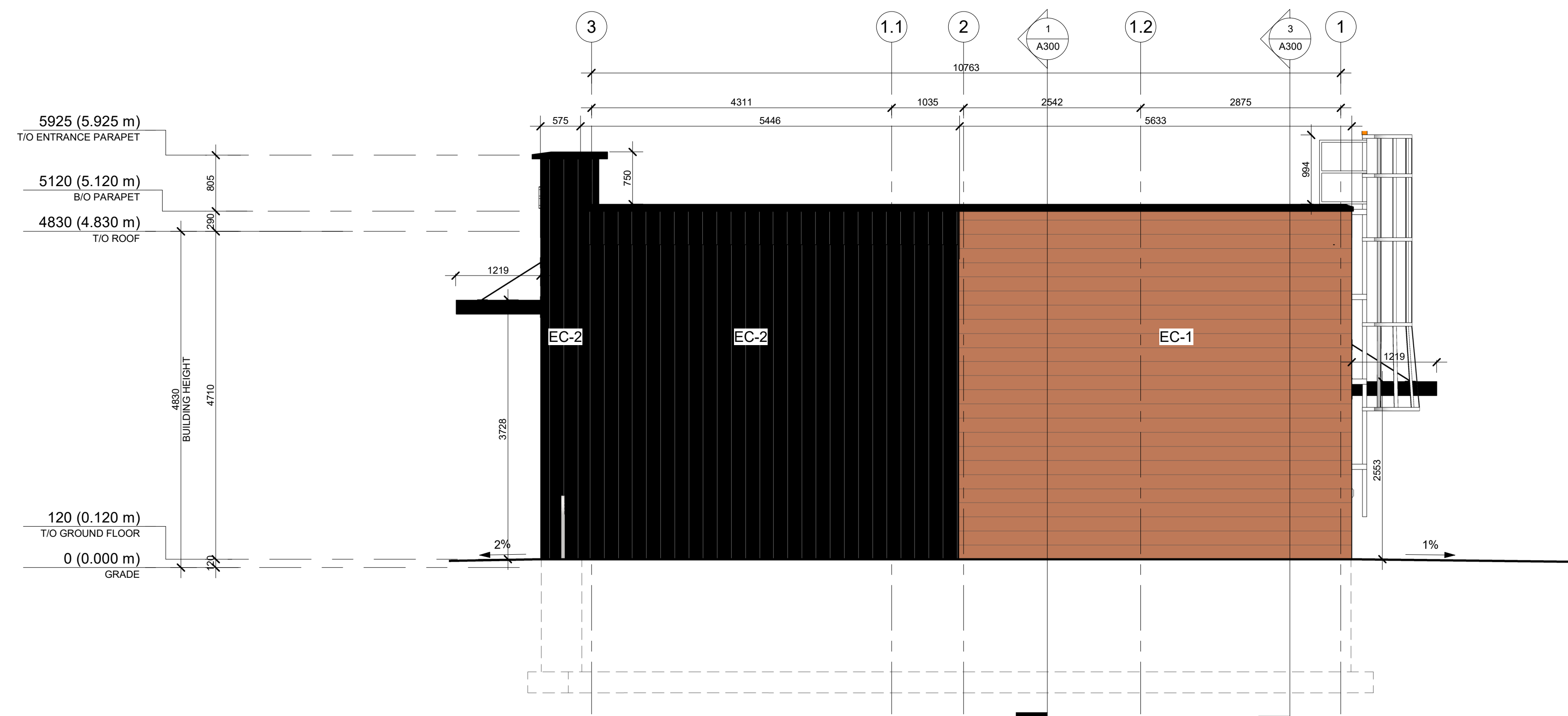
**CLADDING**

- EC-1** Horizontal Metal Siding  
Color: Brown
- EC-2** Vertical Metal Siding  
Color: Black

**NOTES**



**1 EAST ELEVATION - DRIVE THRU**  
A201 1: 50



**2 WEST ELEVATION - DRIVE THRU**  
A201 1: 50





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**MECHANICAL ENGINEER**

Mirton Ltd  
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<https://mirton.com/>

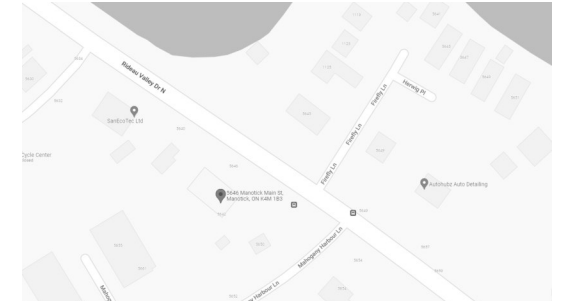
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<https://mirton.com/>

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**KEY PLAN / PLAN CLÉ :**



**CLIENT :**



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Tel : (613) 859-2819

revision	description	date
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1.3	CO-ORDINATION	23-08-28
1.1	CO-ORDINATION	23-08-08

**PROJECT NAME / NOM DU PROJET :**

**5646 & 5650  
Manotick Main**

5646 & 5650 Manotick Main St, Manotick, ON K4M 1B3

**DRAWING NAME / NOM DU DESSIN :**

**GENERAL & WALL  
SECTIONS - DRIVE THRU**

**DRAWING INFORMATION / INFORMATION DU DESSIN :** SPC# D07-12-23-0080  
Plan# 19143

PROJECT NO. / NO. DE PROJET : **22199**

DATE : **2023-08-07**

DRAWN BY / DESSINÉ PAR : **MS/CK**

REVIEWED BY / VÉRIFIÉ PAR : **ES**

SCALE / ÉCHELLE : **As indicated**

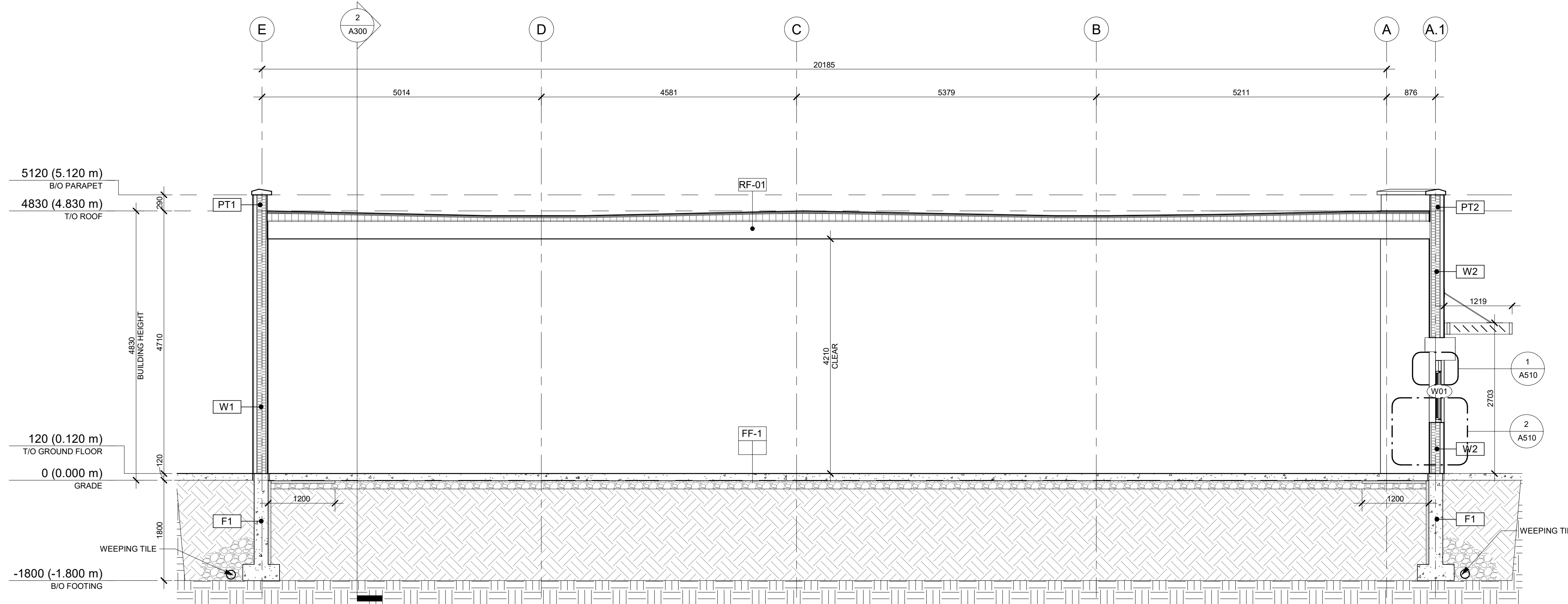
PROJECT PHASE / PHASE DU PROJET : **5**

DWG NO. / NO. DESSIN : **A300**

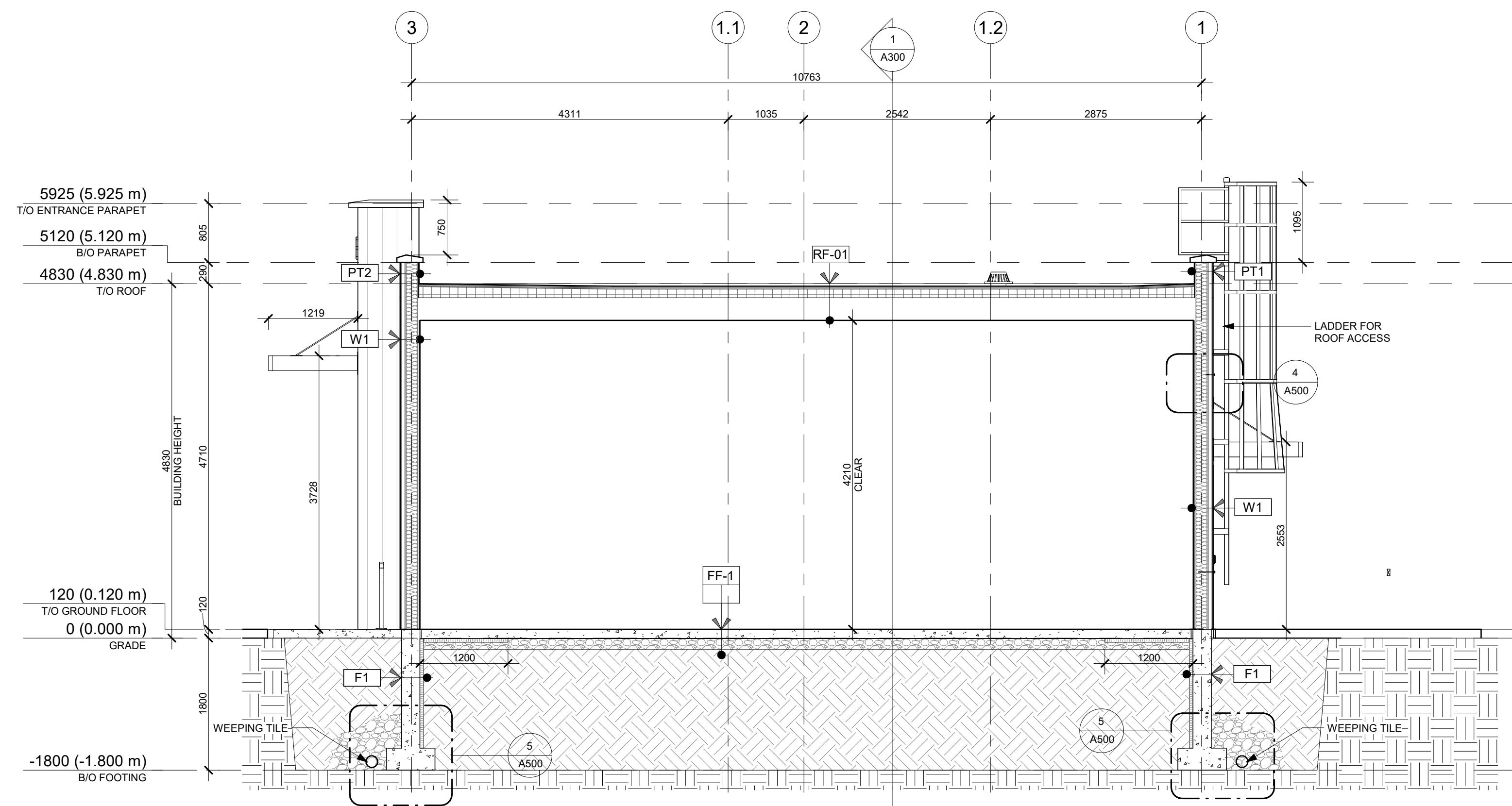
REVISION NO. / NO. DE RÉVISION : **1.28**

**A300**

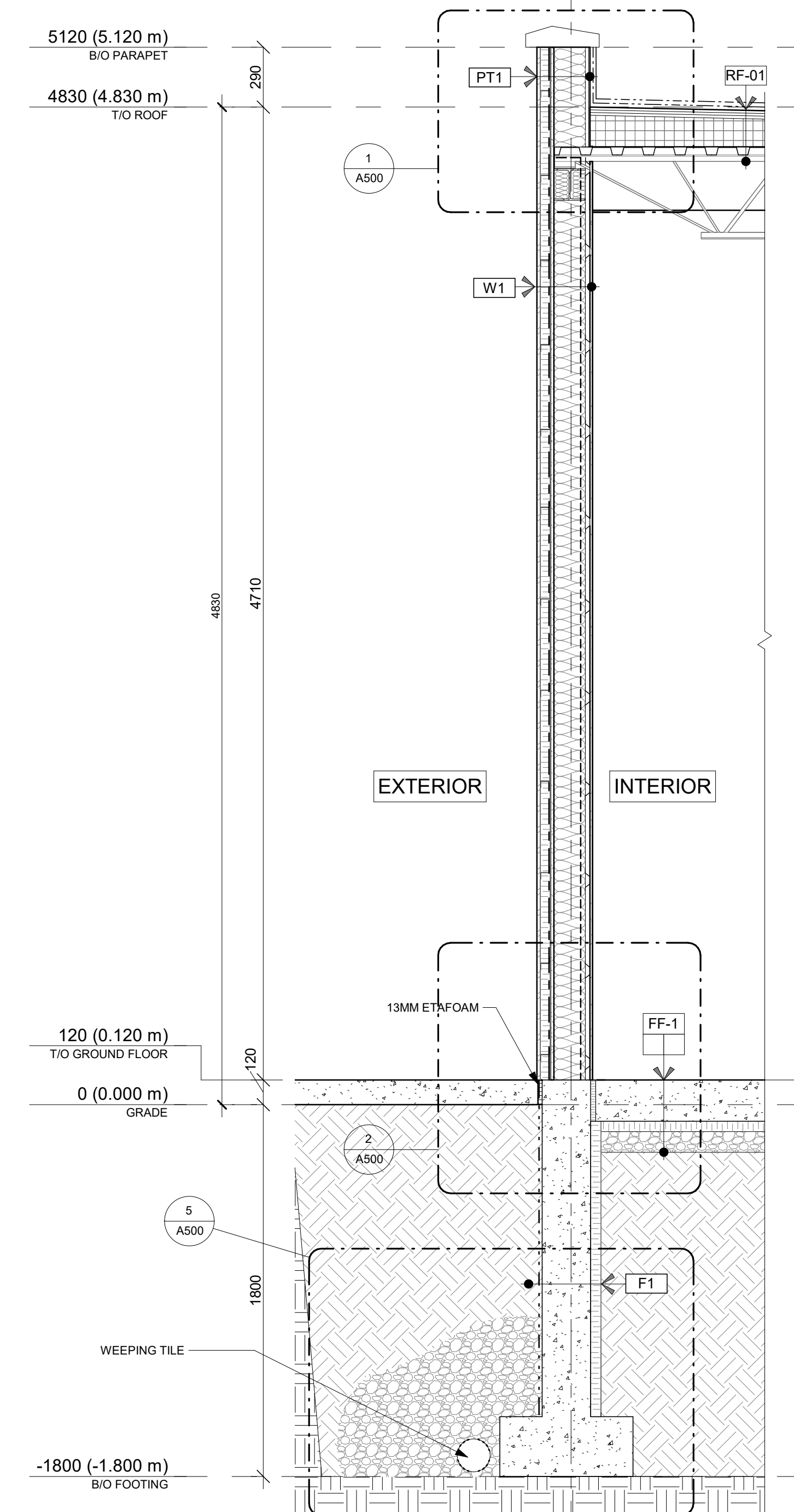
Plan #19143



**1 DRIVE-THRU - BUILDING SECTION 1**  
A300 1:50



**2 DRIVE-THRU - BUILDING SECTION 2**  
A300 1:50



**3 TYPICAL WALL SECTION**  
A300 1:20