

NERAL ARCHITECTURAL NOTES: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. Drawings are not to be scaled. The Contractor is responsible for checking and SITE PLAN SYMBOLS LEGEND verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work. FDC FIRE DEPARTMENT CONNECTION BUILDING ENTRANCE Upon notice in writing, the Architect will provide written/graphic clarification or CONNECTION supplementary information regarding the intent of the Contract Documents. BUILDING EXIT - FH FIRE HYDRANT Electrical Drawings. BICYCLE PARKING NEW STREET LIGHT L____ ----- PROPERTY LINE STREET LIGHT TO BE \boxtimes the Architect. REMOVED — — — — SETBACK LINE such purpose. EXISTING STREET LIGHT \square TO REMAIN O EXISTING UTILITY POLE INTERLOCKING STONE PAVERS TO REMAIN TSP EXISTING TRAFFIC SIGNAL POST UTILITY POLE TO BE REMOVED/RELOCATED R.P. RAISED PLANTER

SITE PLAN NOTES

1 ASPHALT	
2 EXISTING STRUCTURE TO BE DEMOLISHED	
3 CONCRETE SIDEWALK	
4 SOFT LANDSCAPING	
5 DEPRESSED CURB	
6 LINE OF CANOPY/BUILDING ABOVE	
7 BENCH	
8 BALCONY ABOVE	
9 CONCRETE CURB. SEE CIVIL	
10 RAISED TERRACE. SEE CIVIL	
11) BUS STOP FLAG POLE	
12) BIKE RACK. REFER TO LANDSCAPE	
(13) BUS LOADING AREA (2400mm x 1500mm)	
(14) ACCESSIBLE SEATING AREA (915mm x 1370mm)	
(15) GARBAGE BIN	
(16) CYCLE PATH	
(17) LINE OF UNDERGROUND PARKING BELOW	

OWNER 2317916 ONT INC. 2081 MERIVALE ROAD OTTAWA, ON, K2G 1G9

ARCHITECT PROJECT1 STUDIO 260 ST. PATRICK ST, SUITE 300 OTTAWA, ON, K1N 5K5

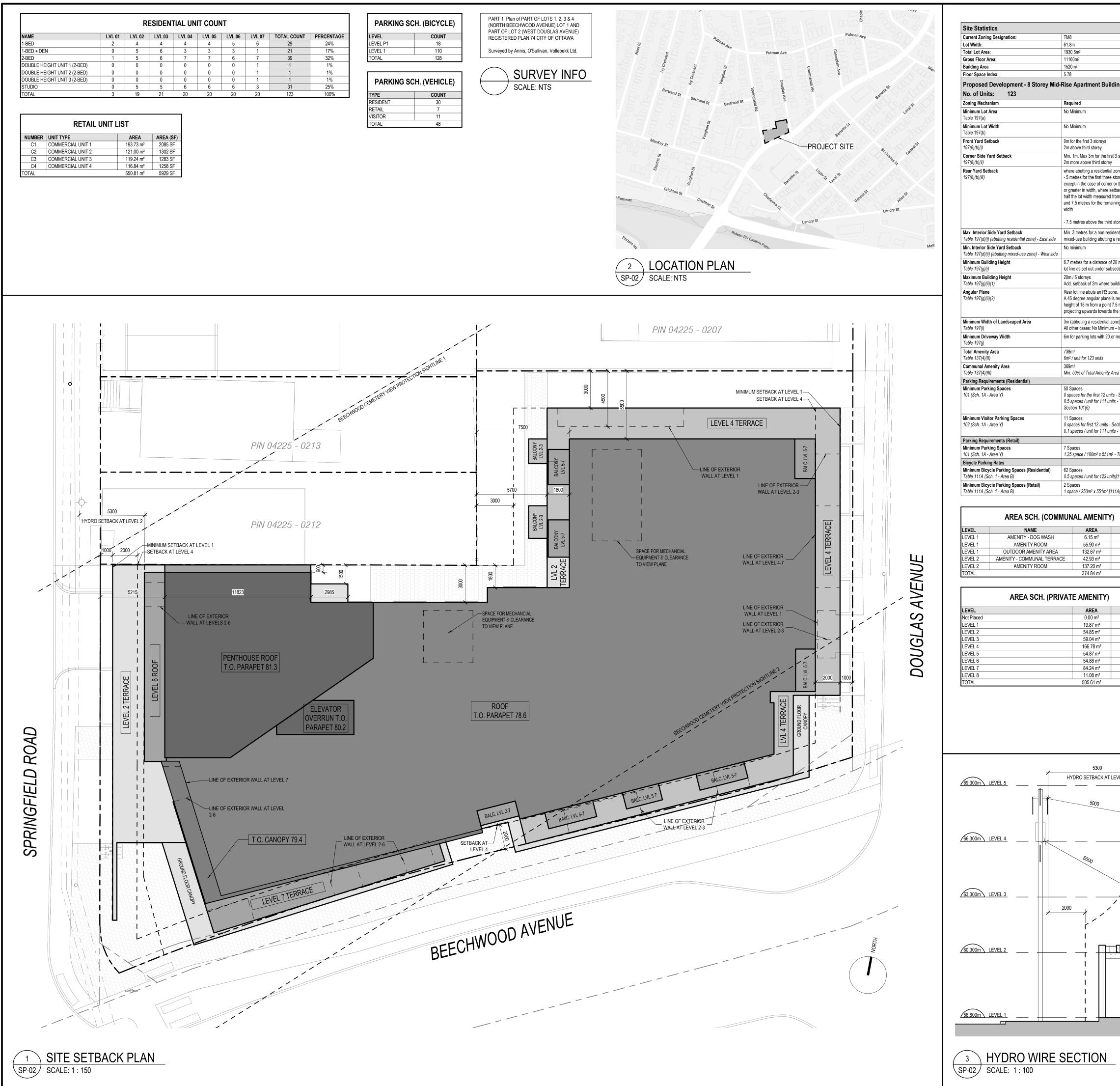
PLANNER NOVATECH 240 MICHAEL COWPLAND DRIVE, SUITE 200 OTTAWA, ON, K2M 1P6

LANDSCAPE ARCHITECT NOVATECH 240 MICHAEL COWPLAND DRIVE, SUITE 200 OTTAWA, ON, K2M 1P6

CIVIL ENGINEER STANTEC 300 - 1331 CLYDE AVENUE OTTAWA, ON, K2C 3G4

SURVEYOR ANNIS O'SULLIVAN VOLLEBEKK LTD. 14 CONCOURSE GATE, SUITE 500 OTTAWA, ON, K2E 7S6

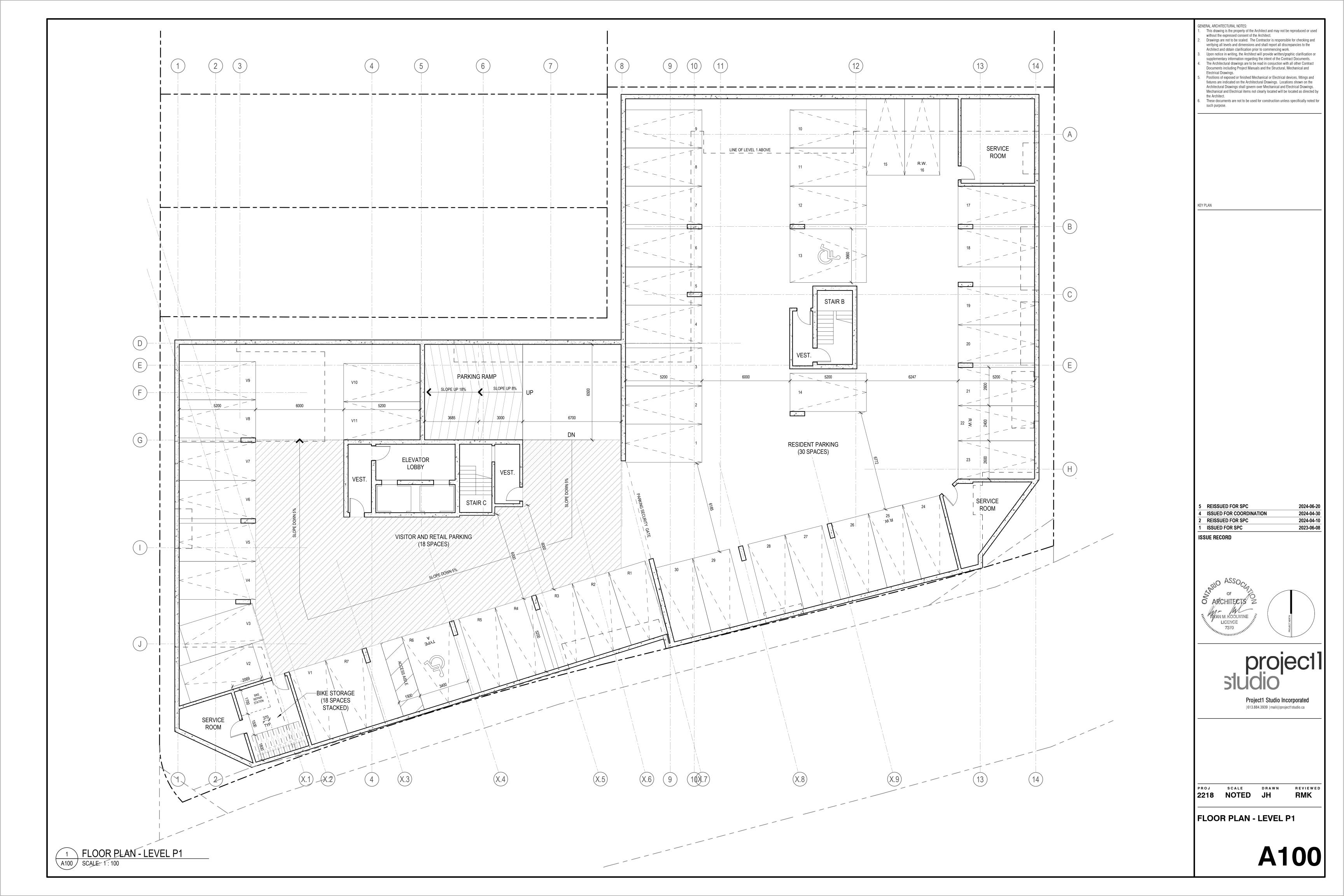
The Architectural drawings are to be read in conjuction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by These documents are not to be used for construction unless specifically noted for Y PLAN REISSUED FOR SPC 2024-06-20 ISSUED FOR COORDINATION 2024-04-30 2024-04-25 ISSUED FOR COORDINATION REISSUED FOR SPC 2024-04-10 ISSUED FOR SPC 2023-06-08 ISSUE RECORD project Project1 Studio Incorporated |613.884.3939 |mail@project1studio.ca PROJ SCALE DRAWN REVIEWED 2218 NOTED JH RMK SITE PLAN **SP-01**

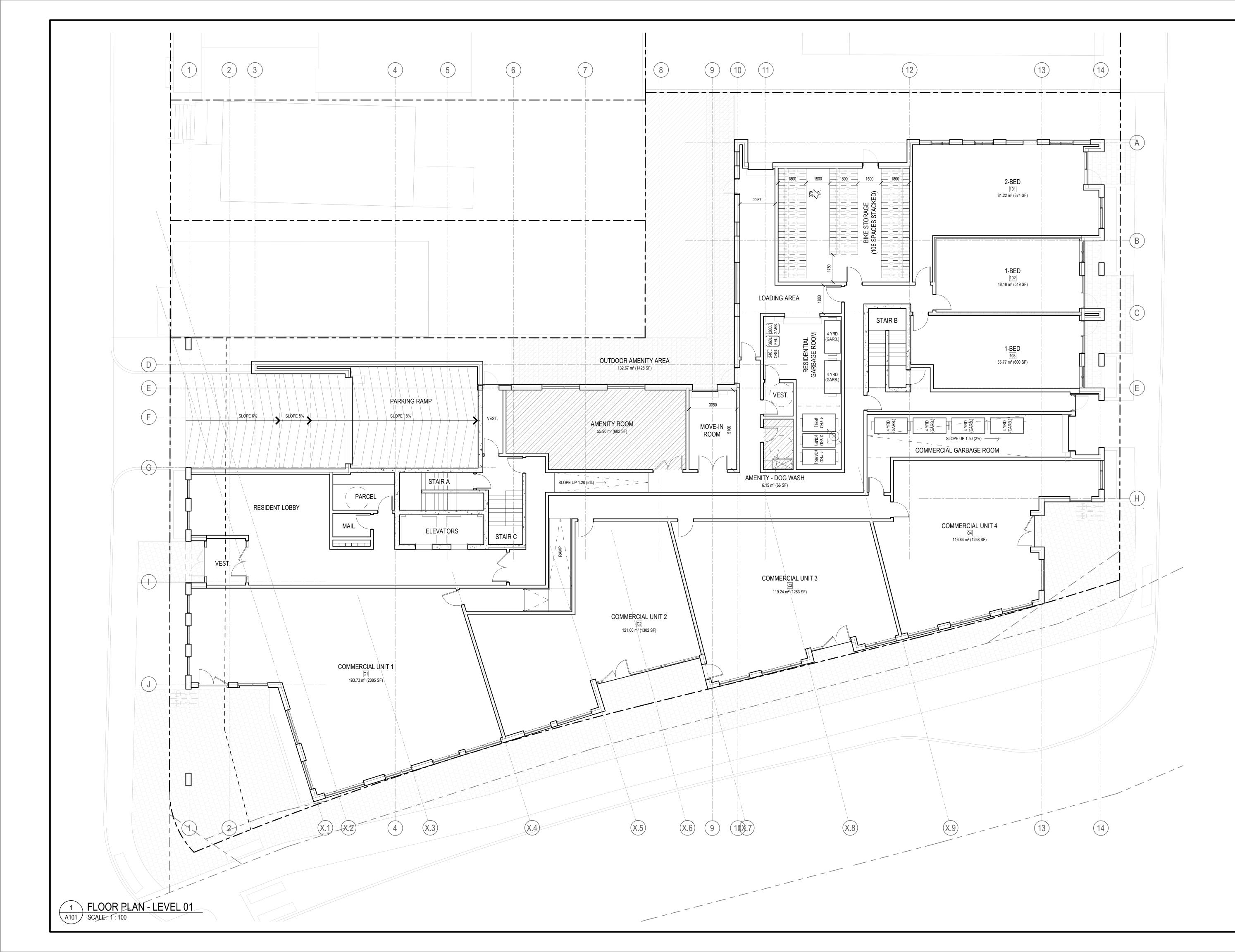


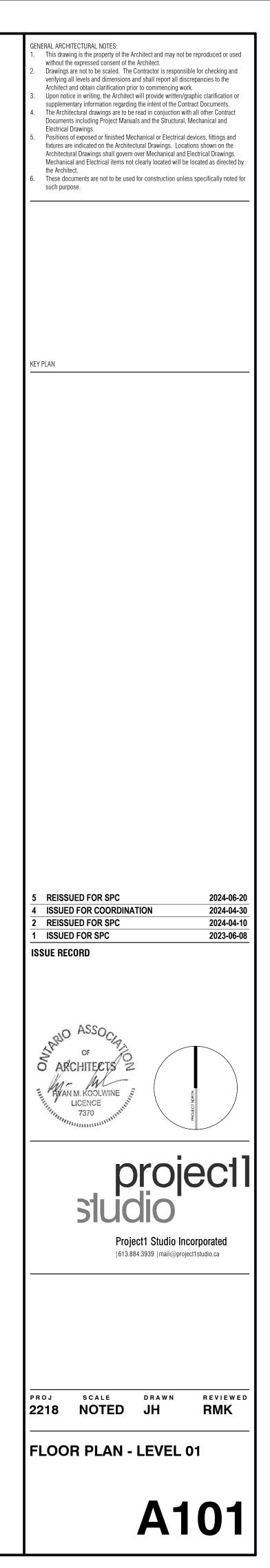
					GENERAL ARCHITECTURAL NOTES: 1. This drawing is the property of the Architect and may not be reproduced or used without the outproved expect of the Architect
	Current Zoning Designation:	TM8		GROSS AREA (OBC)	verifying all levels and dimensions and shall report all discrepancies to the
	Lot Width:	61.8m			Architect and obtain clarification prior to commencing work.Upon notice in writing, the Architect will provide written/graphic clarification or
	Gross Floor Area:	11160m ²		LEVEL 1 1423.08 m ² 15318 SF	 The Architectural drawings are to be read in conjuction with all other Contract Documents including Project Manuals and the Structural, Mechanical and
	Floor Space Index:	5.78		LEVEL 3 1409.13 m ² 15168 SF	Electrical Drawings. 5. Positions of exposed or finished Mechanical or Electrical devices, fittings and
	No. of Units: 123			LEVEL 5 1259.42 m² 13556 SF LEVEL 6 1259.44 m² 13557 SF	Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by
	Minimum Lot Area	•		LEVEL 7 1187.57 m² 12783 SF LEVEL 8 193.11 m² 2079 SF	6. These documents are not to be used for construction unless specifically noted for
	Table 197(a) Minimum Lot Width				
	Table 197(b)			RENTABLE AREA (RESIDENTIAL)	
	197(8)(b)(i)	2m above third storey	2m (above sixth storey)	LEVEL AREA AREA (SF)	
	197(8)(b)(ii)	2m more above third storey	2m greater than storeys 1-3	LEVEL 1 185.17 m² 1993 SF LEVEL 2 1106.58 m² 11911 SF	
		- 5 metres for the first three storeys		LEVEL 4 1109.98 m ² 11948 SF	
		or greater in width, where setback is 3 metres for up to half the lot width measured from the corner side lot line		LEVEL 6 1109.98 m ² 11948 SF	
				LEVEL 8 181.47 m ² 1953 SF	
				TOTAL 7085.23 m ² 76265 SF	
	Table 197(d)(i) (abutting residential zone) - East side	mixed-use building abutting a residential zone			KEY PLAN
	Table 197(d)(ii) (abutting mixed-use zone) - West side				
	Table 197(g)(i)	lot line as set out under subsection 197(5)	24.4m		
	Table 197(g)(ii)(1)	Add. setback of 2m where building greater than 4 stor.	Additional 2m setback provided above 6th storey		
	Angular Plane	Rear lot line abuts an R3 zone. A 45 degree angular plane is required measured at a	A 45 degree angular plane is provided measured at a height of 21.7 m from a point 3.6 m from the rear lot		
		height of 15 m from a point 7.5 m from the rear lot line,			
		3m (abbuting a residential zone) All other cases: No Minimum – lot abuts a TM zone			
	Minimum Driveway Width				
	Total Amenity Area		880m ²		
	Communal Amenity Area	369m ²	375m ²		
	Parking Requirements (Residential)		20.0		
		0 spaces for the first 12 units - Section 101(4)(b)	SU Spaces		
		Section 101(6)			
		0 spaces for first 12 units - Section 102(2)	11 Spaces		
		·			
	101 (Sch. 1A - Area Y)		7 Spaces		
	Minimum Bicycle Parking Spaces (Residential)		124 Spaces (interior spaces) (106 at grade)		
	Table 111A (Sch. 1 - Area B) Minimum Bicycle Parking Spaces (Retail)	0.5 spaces / unit for 123 units[111A(b)(i)] 2 Spaces			
	•	,			
	LEVEL 1 AMENITY - DOG WASH	6.15 m ² 66 SF			
	LEVEL 1 OUTDOOR AMENITY AREA	132.67 m ² 1428 SF			
	LEVEL 2 AMENITY ROOM	137.20 m ² 1477 SF			
 A RESAUD FOR BPC A RESULT FOR BPC		574.04 III ⁻ 4035 SF			
And the set of the set	AREA SCH. (PRI	VATE AMENITY)			
 Institution of the second secon					
	LEVEL 1	19.87 m ² 214 SF			
	LEVEL 3	59.04 m ² 635 SF			
	LEVEL 5	54.87 m ² 591 SF			
Image: Senter Senter Image: Senter Senter Image: Senter Image: Senter Image: Senter<	LEVEL 7	84.24 m ² 907 SF			
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2218 NOTED JH RMK	60.300m LEVEL 2				
ZONING INFORMATION	60.300m LEVEL 2				PROJ SCALE DRAWN REVIEWED
ZONING INFORMATION	60.300m LEVEL 2				
	60.300m LEVEL 2				
3 HYDRO WIRE SECTION SP-02 SCALE: 1:100 4 VIEW PROTECTION SIGHTLINES SCALE: 1:100 SP-02 SCALE: 1:100 SP-02 SCALE: 1:100	56.800m LEVEL 1				2218 NOTED JH RMK
3 HYDRO WIRE SECTION 3 JP-02 SCALE: 1:100 4 VIEW PROTECTION SIGHTLINES SCALE: 1:100 SCALE:					2218 NOTED JH RMK PROJECT STATISTICS AND
SP-02/SCALE: 1:100 SP-02/SCALE:	56.800m LEVEL 1				2218 NOTED JH RMK
	56.800m LEVEL 1			PROTECTION SIGHTLINES	2218 NOTED JH RMK

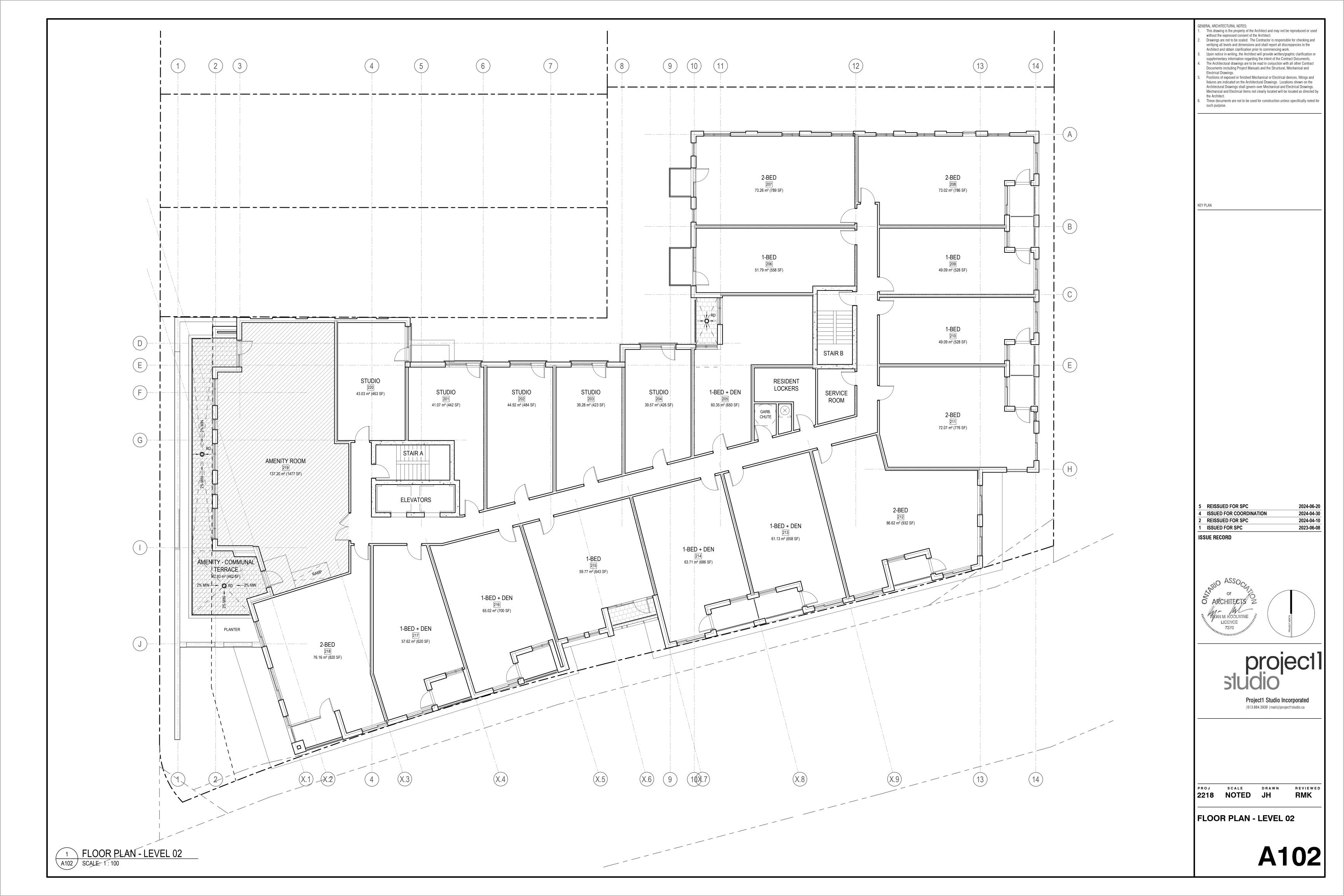
Site Statistics				 GENERAL ARCHITECTURAL NOTES: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. Drawings are not to be scaled. The Contractor is responsible for checking and
Current Zoning Designation: Lot Width:	TM8 61.8m		GROSS AREA (OBC)	verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
Total Lot Area: Gross Floor Area:	1930.5m ² 11160m ²		LEVEL P1 1759.94 m² 18944 SF LEVEL 1 1423.08 m² 15318 SF	 Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architectural drawings are to be read in conjuction with all other Contract
Building Area Floor Space Index:	1520m ² 5.78		LEVEL 2 1409.13 m ² 15168 SF LEVEL 3 1409.13 m ² 15168 SF	Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
Proposed Development - 8 Storey Mid			LEVEL 4 1259.64 m ² 13559 SF LEVEL 5 1259.42 m ² 13556 SF	 Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings.
No. of Units: 123 Zoning Mechanism	Required	Provided	LEVEL 6 1259.44 m² 13557 SF LEVEL 7 1187.57 m² 12783 SF	Mechanical and Electrical items not clearly located will be located as directed by the Architect.
Minimum Lot Area Table 197(a)	No Minimum	1930.5m ²	LEVEL 8 193.11 m² 2079 SF TOTAL 11160.46 m² 120130 SF	 These documents are not to be used for construction unless specifically noted for such purpose.
Minimum Lot Width Table 197(b)	No Minimum	32m		
Front Yard Setback 197(8)(b)(i)	Om for the first 3 storeys 2m above third storey	0m (first 3 storeys) 2m (above sixth storey)	RENTABLE AREA (RESIDENTIAL)	
Corner Side Yard Setback 197(8)(b)(ii)	Min. 1m, Max 3m for the first 3 storeys 2m more above third storey	1m (first 3 storeys) 2m greater than storeys 1-3	LEVEL AREA AREA (SF) LEVEL 1 185.17 m² 1993 SF	
Rear Yard Setback 197(8)(b)(iii)	where abutting a residential zone, - 5 metres for the first three storeys	3m (first three storeys) 5.5m (above third storey)	LEVEL 2 1106.58 m ² 11911 SF LEVEL 3 1255.51 m ² 13514 SF	
	except in the case of corner or through lots 20 metres or greater in width, where setback is 3 metres for up to		LEVEL 4 1109.98 m ² 11948 SF LEVEL 5 1109.98 m ² 11948 SF	
	half the lot width measured from the corner side lot line and 7.5 metres for the remaining portion of the lot		LEVEL 6 1109.98 m ² 11948 SF LEVEL 7 1026.56 m ² 11050 SF	
	width		LEVEL 8 181.47 m² 1953 SF TOTAL 7085.23 m² 76265 SF	
Max. Interior Side Yard Setback	- 7.5 metres above the third storey Min. 3 metres for a non-residential use building or a	3m	_	
Table 197(d)(i) (abutting residential zone) - East side Min. Interior Side Yard Setback	mixed-use building abutting a residential zone No minimum	0m on Springfield	-	KEY PLAN
Table 197(d)(ii) (abutting mixed-use zone) - West side Minimum Building Height	6.7 metres for a distance of 20 metres from the front	24.4m		
Table 197(g)(i) Maximum Building Height	lot line as set out under subsection 197(5) 20m / 6 storeys	24.4m / 8 storeys		
Table 197(g)(ii)(1) Angular Plane	Add. setback of 2m where building greater than 4 stor. Rear lot line abuts an R3 zone.	Additional 2m setback provided above 6 th storey A 45 degree angular plane is provided measured at a	-	
Table $197(g)(ii)(2)$	A 45 degree angular plane is required measured at a height of 15 m from a point 7.5 m from the rear lot line,	height of 21.7 m from a point 3.6 m from the rear lot		
Minimum Width of Landscaped Area	projecting upwards towards the front lot line.			
Table 197(i)	3m (abbuting a residential zone) All other cases: No Minimum – lot abuts a TM zone	0m (rear lot line) 1.5m abutting Interior Side Yard lot lines	1	
Minimum Driveway Width Table 197(j)	6m for parking lots with 20 or more parking spaces	6m	-	
Total Amenity Area Table 137(4)(II)	738m ² 6m ² / unit for 123 units	880m ²	-	
Communal Amenity Area Table 137(4)(III)	369m ² Min. 50% of Total Amenity Area	375m ²		
Parking Requirements (Residential) Minimum Parking Spaces	50 Spaces	30 Spaces		
101 (Sch. 1A - Area Y)	0 spaces for the first 12 units - Section 101(4)(b) 0.5 spaces / unit for 111 units - Table 101(R15) - 10% Section 101(6)			
Minimum Visitor Parking Spaces	Section 101(6) 11 Spaces	11 Spaces	-	
102 (Sch. 1A - Area Y)	0 spaces for first 12 units - Section 102(2) 0.1 spaces / unit for 111 units - Table 102			
Parking Requirements (Retail) Minimum Parking Spaces	7 Spaces	7 Spaces		
101 (Sch. 1A - Area Y) Bicycle Parking Rates	1.25 space / 100m ² x 551m ² - Table 101(N79)			
Minimum Bicycle Parking Spaces (Residential) Table 111A (Sch. 1 - Area B)	62 Spaces 0.5 spaces / unit for 123 units[111A(b)(i)]	124 Spaces (interior spaces) (106 at grade)		
Minimum Bicycle Parking Spaces (Retail) Table 111A (Sch. 1 - Area B)	2 Spaces 1 space / 250m ² x 551m ² [111A(e)]	4 Spaces (exterior spaces)		
	1		-	
AREA SCH. (COM	MUNAL AMENITY)			
LEVEL NAME LEVEL 1 AMENITY - DOG WASH	AREA AREA (SF) 6.15 m² 66 SF			
LEVEL 1 AMENITY POOS WASH	0.13 m 00 Si 55.90 m² 602 SF 132.67 m² 1428 SF			
	132.07 111 1420 31			
LEVEL 2 AMENITY - COMMUNAL TERRA	CE 42.93 m ² 462 SF			
LEVEL 2 AMENITY - COMMUNAL TERRA LEVEL 2 AMENITY ROOM TOTAL	CE 42.93 m² 462 SF 137.20 m² 1477 SF 374.84 m² 4035 SF			
LEVEL 2 AMENITY - COMMUNAL TERRA LEVEL 2 AMENITY ROOM TOTAL AREA SCH. (PRI	CE 42.93 m² 462 SF 137.20 m² 1477 SF 374.84 m² 4035 SF			
LEVEL 2 AMENITY - COMMUNAL TERRA LEVEL 2 AMENITY ROOM TOTAL AREA SCH. (PRI LEVEL Not Placed	CE 42.93 m² 462 SF 137.20 m² 1477 SF 374.84 m² 4035 SF			5 REISSUED FOR SPC 2024-06-20
LEVEL 2 AMENITY - COMMUNAL TERRA LEVEL 2 AMENITY ROOM TOTAL AREA SCH. (PRI LEVEL Not Placed LEVEL 1 LEVEL 2	CE 42.93 m² 462 SF 137.20 m² 1477 SF 374.84 m² 4035 SF VATE AMENITY) AREA AREA (SF) 0.00 m² 0 SF 19.87 m² 214 SF 54.85 m² 590 SF			5 REISSUED FOR SPC 2024-06-20 4 ISSUED FOR COORDINATION 2024-04-30 2 REISSUED FOR SPC 2024-04-10
LEVEL 2 AMENITY - COMMUNAL TERRA LEVEL 2 AMENITY ROOM TOTAL AREA SCH. (PRI LEVEL Not Placed LEVEL 1 LEVEL 2 LEVEL 2 LEVEL 3 LEVEL 4	AREA AREA (SF) 0.00 m² 0 SF 19.87 m² 214 SF 54.85 m² 590 SF 59.04 m² 635 SF			4 ISSUED FOR COORDINATION 2024-04-30
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Site Statistics			GROSS AREA (OBC)	 This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. Drawings are not to be scaled. The Contractor is responsible for checking and 	
Current Zoning Designation: Lot Width:	TM8 61.8m		LEVEL AREA (SF)	verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.3. Upon notice in writing, the Architect will provide written/graphic clarification or	
Total Lot Area: Gross Floor Area:	1930.5m ² 11160m ²		LEVEL P1 1759.94 m² 18944 SF LEVEL 1 1423.08 m² 15318 SF	supplementary information regarding the intent of the Contract Documents.The Architectural drawings are to be read in conjuction with all other Contract	
Building Area Floor Space Index:	1520m ² 5.78		LEVEL 2 1409.13 m² 15168 SF LEVEL 3 1409.13 m² 15168 SF	Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.5. Positions of exposed or finished Mechanical or Electrical devices, fittings and	
Proposed Development - 8 Storey Mid- No. of Units: 123	Rise Apartment Building		LEVEL 4 1259.64 m² 13559 SF LEVEL 5 1259.42 m² 13556 SF LEVEL 6 1259.44 m² 13557 SE	fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings.	
Zoning Mechanism	Required	Provided	LEVEL 6 1259.44 m² 13557 SF LEVEL 7 1187.57 m² 12783 SF LEVEL 8 193.11 m² 2079 SF	Mechanical and Electrical items not clearly located will be located as directed by the Architect.6. These documents are not to be used for construction unless specifically noted for	
Minimum Lot Area Table 197(a)	No Minimum	1930.5m ²	LEVEL 8 193.11 m² 2079 SF TOTAL 11160.46 m² 120130 SF	such purpose.	
Minimum Lot Width Table 197(b)	No Minimum	32m			
Front Yard Setback 197(8)(b)(i)	Om for the first 3 storeys 2m above third storey	0m (first 3 storeys) 2m (above sixth storey)			
Corner Side Yard Setback 197(8)(b)(ii)	Min. 1m, Max 3m for the first 3 storeys 2m more above third storey	1m (first 3 storeys) 2m greater than storeys 1-3	LEVEL AREA AREA (SF) LEVEL 1 185.17 m² 1993 SF LEVEL 2 1106.58 m² 11911 SF		
Rear Yard Setback 197(8)(b)(iii)	where abutting a residential zone, - 5 metres for the first three storeys	3m (first three storeys) 5.5m (above third storey)	LEVEL 3 1255.51 m ² 13514 SF		
	except in the case of corner or through lots 20 metres or greater in width, where setback is 3 metres for up to		LEVEL 4 1109.98 m² 11948 SF LEVEL 5 1109.98 m² 11948 SF		
	half the lot width measured from the corner side lot line and 7.5 metres for the remaining portion of the lot width		LEVEL 6 1109.98 m² 11948 SF LEVEL 7 1026.56 m² 11050 SF		
	- 7.5 metres above the third storey		LEVEL 8 181.47 m² 1953 SF TOTAL 7085.23 m² 76265 SF		
Max. Interior Side Yard Setback Table 197(d)(i) (abutting residential zone) - East side	Min. 3 metres for a non-residential use building or a mixed-use building abutting a residential zone	3m		KEY PLAN	
Min. Interior Side Yard Setback Table 197(d)(ii) (abutting mixed-use zone) - West side	No minimum	0m on Springfield			
Minimum Building Height		24.4m			
Table 197(g)(i) Maximum Building Height Table 107(g)(ii)(1)	lot line as set out under subsection 197(5) 20m / 6 storeys	24.4m / 8 storeys			
Table 197(g)(ii)(1) Angular Plane Table 107(c)(ii)(0)	Add. setback of 2m where building greater than 4 stor. Rear lot line abuts an R3 zone.	Additional 2m setback provided above 6 th storey A 45 degree angular plane is provided measured at a			
Table 197(g)(ii)(2)	A 45 degree angular plane is required measured at a height of 15 m from a point 7.5 m from the rear lot line, projecting upwards towards the front lot line	height of 21.7 m from a point 3.6 m from the rear lot line.			
Minimum Width of Landscaped Area	projecting upwards towards the front lot line. 3m (abbuting a residential zone)	0m (rear lot line)	-		
Table 197(i) Minimum Driveway Width	All other cases: No Minimum – lot abuts a TM zone 6m for parking lots with 20 or more parking spaces	1.5m abutting Interior Side Yard lot lines 6m	-		
Table 197(j) Total Amenity Area	738m ²	880m ²	-		
Table 137(4)(II) Communal Amenity Area	6m ² / unit for 123 units 369m ²	375m ²	-		
Table 137(4)(III) Parking Requirements (Residential)	Min. 50% of Total Amenity Area				
Minimum Parking Spaces 101 (Sch. 1A - Area Y)	50 Spaces 0 spaces for the first 12 units - Section 101(4)(b) 0.5 spaces / unit for 111 units - Table 101(R15) - 10% Section 101(6)	30 Spaces			
Minimum Visitor Parking Spaces 102 (Sch. 1A - Area Y)	11 Spaces 0 spaces for first 12 units - Section 102(2) 0.1 spaces / unit for 111 units - Table 102	11 Spaces			
Parking Requirements (Retail) Minimum Parking Spaces 101 (Sch. 1A - Area Y)	7 Spaces 1.25 space / 100m ² x 551m ² - Table 101(N79)	7 Spaces			
Bicycle Parking Rates Minimum Bicycle Parking Spaces (Residential)	62 Spaces	124 Spaces (interior spaces) (106 at grade)			
Table 111A (Sch. 1 - Area B) Minimum Bicycle Parking Spaces (Retail) Table 111A (Sch. 1 - Area B)	0.5 spaces / unit for 123 units[111A(b)(i)] 2 Spaces 1 space / 250m ² x 551m ² [111A(e)]	4 Spaces (exterior spaces)			
AREA SCH. (COM	MUNAL AMENITY)				
LEVEL NAME	AREA AREA (SF)				
LEVEL 1 AMENITY - DOG WASH LEVEL 1 AMENITY ROOM	6.15 m² 66 SF 55.90 m² 602 SF 420 67 m² 4400 05				
LEVEL 1 OUTDOOR AMENITY AREA LEVEL 2 AMENITY - COMMUNAL TERRAC	132.67 m² 1428 SF CE 42.93 m² 462 SF				
LEVEL 2 AMENITY - COMMONAL TERRAC LEVEL 2 AMENITY ROOM TOTAL	137.20 m² 1477 SF 374.84 m² 4035 SF				
LEVEL 2 AMENITY ROOM TOTAL	374.84 m ² 4035 SF				
AMENITY ROOM	374.84 m ² 4035 SF				
LEVEL 2 AMENITY ROOM TOTAL AREA SCH. (PRIV LEVEL Not Placed	374.84 m² 4035 SF VATE AMENITY) AREA AREA (SF) 0.00 m² 0 SF			5 REISSUED FOR SPC 2024-06-20	
LEVEL 2 AMENITY ROOM TOTAL AREA SCH. (PRIV LEVEL Not Placed LEVEL 1 LEVEL 2	374.84 m² 4035 SF VATE AMENITY) AREA AREA (SF) 0.00 m² 0 SF 19.87 m² 214 SF 54.85 m² 590 SF 590 SF			4 ISSUED FOR COORDINATION 2024-04-30	
LEVEL 2 AMENITY ROOM TOTAL AREA SCH. (PRIV LEVEL Not Placed LEVEL 1 LEVEL 2 LEVEL 3 LEVEL 4	374.84 m² 4035 SF VATE AMENITY) AREA AREA (SF) 0.00 m² 0 SF 19.87 m² 214 SF 54.85 m² 590 SF 59.04 m² 635 SF 166.78 m² 1795 SF				
LEVEL 2 AMENITY ROOM TOTAL TOTAL AREA SCH. (PRIV LEVEL Not Placed LEVEL 1 LEVEL 2 LEVEL 3 LEVEL 3 LEVEL 4 LEVEL 5 LEVEL 6	374.84 m² 4035 SF VATE AMENITY) AREA AREA (SF) 0.00 m² 0 SF 19.87 m² 214 SF 54.85 m² 590 SF 59.04 m² 635 SF 166.78 m² 1795 SF 54.87 m² 591 SF 54.88 m² 591 SF			4ISSUED FOR COORDINATION2024-04-302REISSUED FOR SPC2024-04-10	
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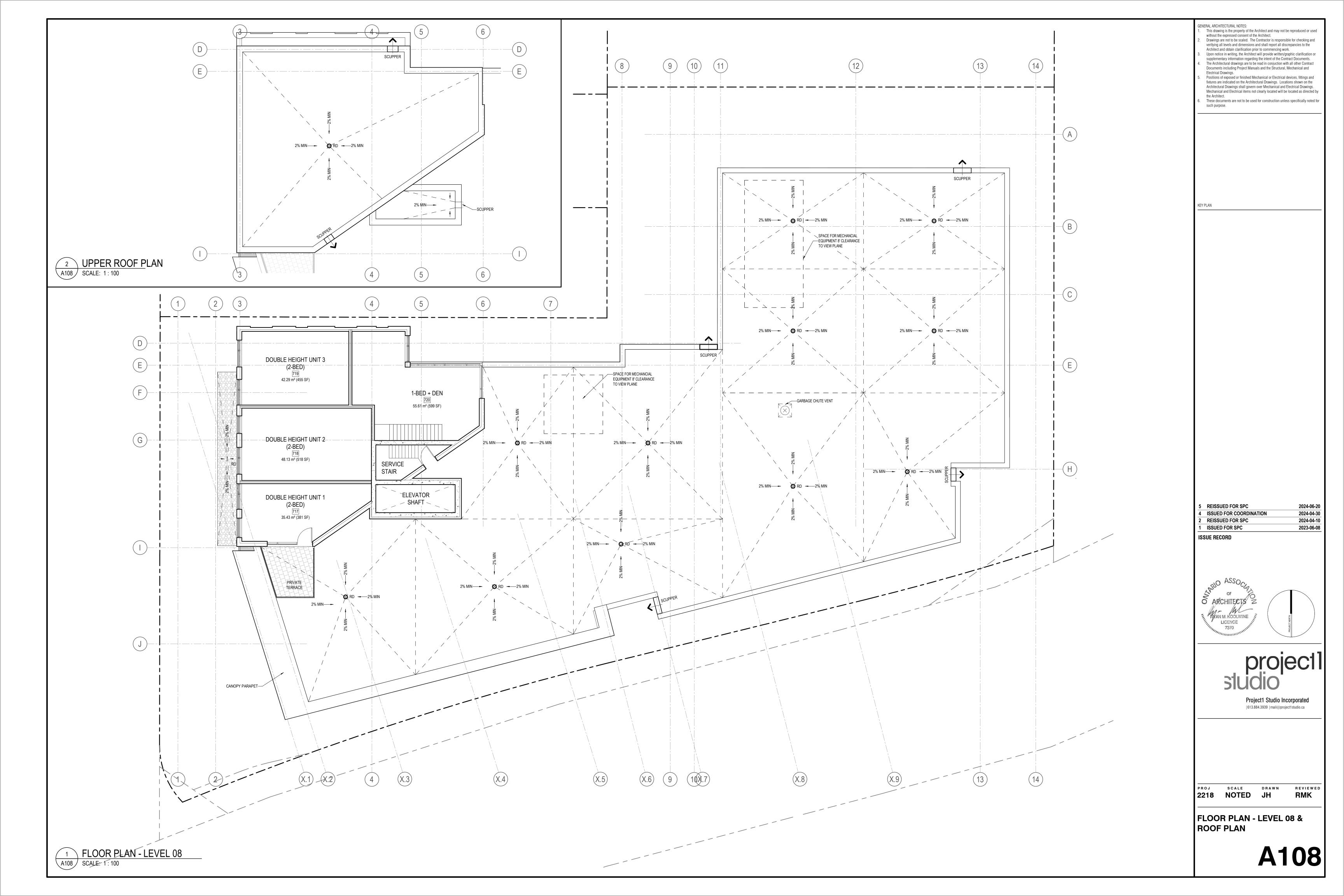




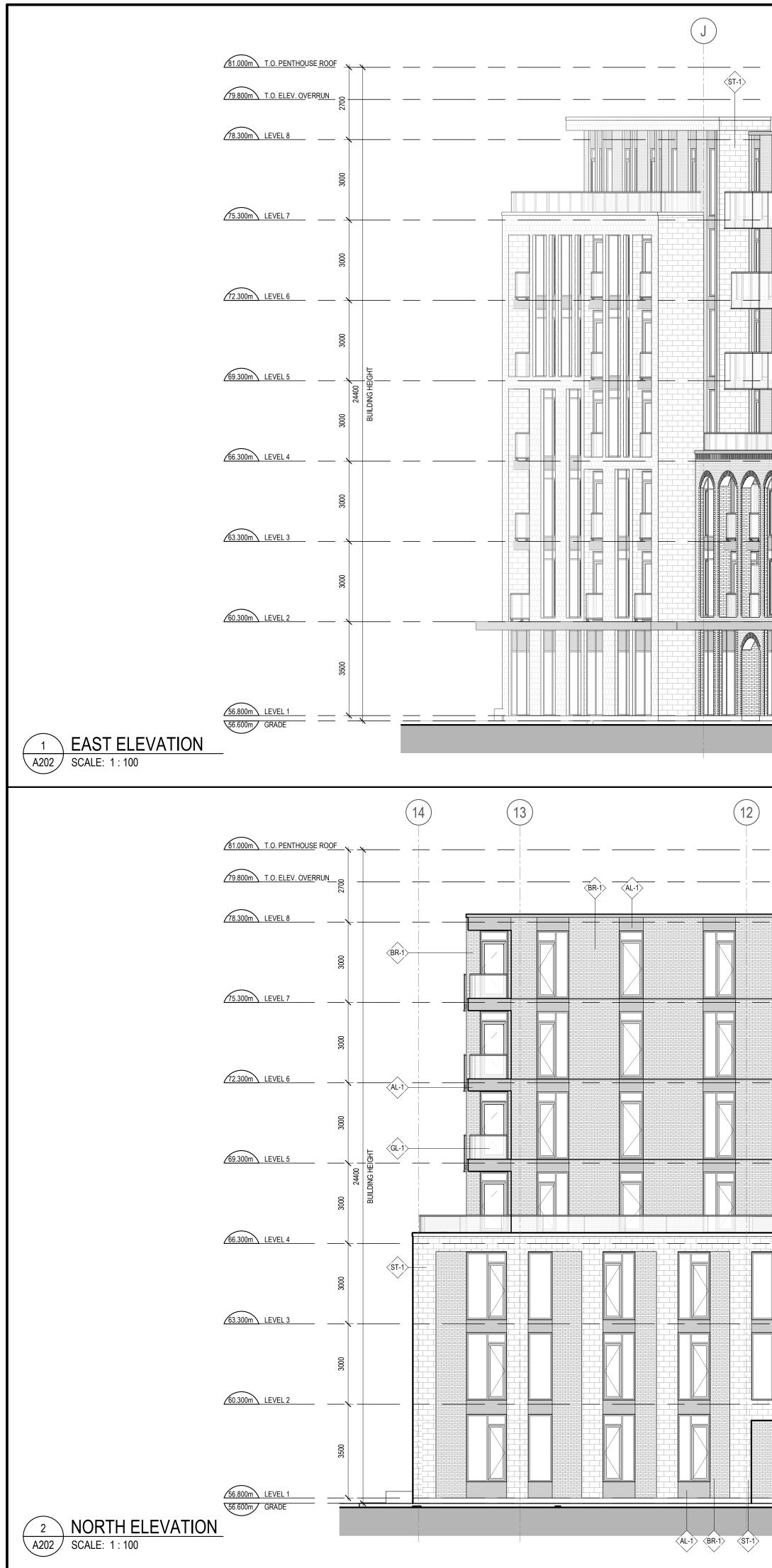












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