

CITY OF OTTAWA ZONING BY-LAW

ZONING MECHANISM (R3Z - PUD)	PROVISION	PROVIDED
MINIMUM LOT WIDTH	18.0m	96.0m
MINIMUM LOT AREA	1,400m ²	12,294.4m ²
MAXIMUM BUILDING HEIGHT	AS PER DWELLING TYPE, DWELLING TYPE NOT PERMITTED	9.16m
MINIMUM FRONT YARD SETBACK	3.0m	3.5m
MINIMUM REAR YARD SETBACK	6.0m	3.5m
MINIMUM INTERIOR YARD SETBACK	6.0m	2.6m
MINIMUM REQUIRED VEHICLE PARKING SPACES (AREA C OF SCHEDULE 1A)	RESIDENTIAL: 1.2 PER DWELLING UNIT VISITOR: 0.2 PER DWELLING UNIT	120 20
MINIMUM DRIVEWAY WIDTH	PARKING LOT: 6.0m	6.0m
MINIMUM AISLE WIDTH	PARKING LOT: 6.0m	6.0m
MINIMUM PARKING SPACE DIMENSIONS	LENGTH: 5.2m WIDTH: 2.6m	LENGTH: 5.2m WIDTH: 2.6m
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT	ABUTTING A STREET: 3.0m NOT ABUTTING A STREET: 1.5m	3.0m 2.6m
MINIMUM REQUIRED LANDSCAPED AREA WITHIN A PARKING LOT	15%	>15%
OUTDOOR REFUSE COLLECTION	MIN. SETBACK FROM A PUBLIC STREET: 9.0m MIN. SETBACK FROM ANY LOT LINE: 3.0m SCREENING MIN. HEIGHT: 2.0m	>9.0m >3.0m 2.0m
MINIMUM WIDTH OF PRIVATE WAY	6.0m	6.0m
MINIMUM SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY	NOTWITHSTANDING ANY FRONT YARD SETBACK REQUIREMENT ASSOCIATED WITH ANY ZONE OR SUBZONE, THE MINIMUM SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY IS 1.8m	3.5m
MINIMUM SEPARATION AREA BETWEEN BUILDINGS WITHIN A PLANNED UNIT DEVELOPMENT	3m	3m

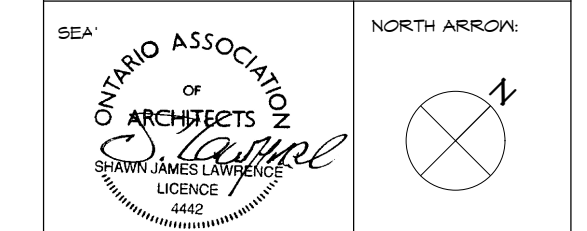


CLIENT NAME: THE BERGE HOMES

NOTES:
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UNIT COUNT
STACKED TOWNS: 100 UNITS

WASTE MANAGEMENT
GARBAGE: 0.251 YARDS PER UNIT
RECYCLING (FIBRE): 0.062 YARDS PER UNIT
RECYCLING (GMP): 0.018 YARDS PER UNIT
GARBAGE: 24 YARDS REQUIRED
RECYCLING (FIBRE): 7 YARDS REQUIRED
RECYCLING (GMP): 2 YARDS REQUIRED



NO.	DATE	REVISION
04	2023.06.13	ISSUED FOR SFC
05	2023.03.20	RE-ISSUED FOR PRE-CONSULT
07	2023.03.14	ISSUED FOR REVIEW
06	2023.02.22	RE-ISSUED FOR PRE-CONSULT
08	2023.02.14	ISSUED FOR REVIEW
04	2023.01.19	ISSUED FOR REVIEW
03	2022.11.22	ISSUED FOR PRE-CONSULT
02	2022.11.18	ISSUED FOR REVIEW
01	2022.11.09	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
19 DEAKIN STREET SUITE 209 OTTAWA, ONTARIO K2E 6B7
T: (613) 754-1100 F: (613) 754-1103 sjl@sjlarchitect.com

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PROJECT: OLD SECOND LINE DEVELOPMENT
1150 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE: SITE PLAN
DRAWN BY: D.T. CHECKED BY: S.J.L.
PLOT DATE: 2023.06.13 PROJECT DATE: DATE
JOB NUMBER: SL-1026-22 SCALE: 1:250
SHEET NUMBER: A1.0

01 PROPOSED SITE PLAN
A1.0 SCALE: 1:250

- LEGEND
- NEW OVERHEAD DOOR
 - NEW DOOR / ENTRANCE
 - PROPOSED RIVERSTONE MULCH
 - EXISTING VEGETATION REFER TO LANDSCAPE DWGS
 - BICYCLE PARKING SPACE (1.8Mx0.6M)
 - NO PARKING LINES
 - PROPOSED PRECAST CONCRETE PAVERS
 - PROPOSED SOD - REFER TO LANDSCAPE DWGS
 - NEW SAWCUT CONCRETE SIDEWALK
 - PARKING STALL COUNT PER ROW
 - NEW SIGN, REFER TO SIGN LEGEND
 - STREET LIGHT
 - HYDRO POST
 - DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS
 - V VISITOR PARKING
 - TWO WAY TRAFFIC
 - DEPRESSED CURB (DC)
 - PROPERTY LINE
 - EXISTING FENCE
 - MINIMUM SETBACKS (ZONING)
 - NEW CONSTRUCTION
 - EXISTING BUILDINGS
 - BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWGS
 - *REFER TO LANDSCAPE DWGS

CLIENT NAME:



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NOTES:

1. DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWING 5000 BY OTHER CONSULTANT.
2. REFER TO DMS, ADD'L & 5000 FOR CONSTRUCTION NOTES.
3. FRAMER TO VERIFY ALL BEAM LENGTHS ON-SITE AGAINST AS-BUILT CONDITIONS PRIOR TO FABRICATION.
4. PROVIDE SOUND ATTENUATION BATT INSULATION IN STUD CAVITY FOR SOUNDPROOFING AROUND WALLS IN ALL MECHANICAL, UTILITY, BATHROOMS, AND STAMP ROOM.
5. PROVIDE ACQUISITORY SEALANT @ TOP & BOTTOM OF HOOD PLATES.
6. FOR CONCRETE FOOTINGS SEE PLAN/SCHEDULE.
7. FOUNDATION WALLS TO BE MIN. 10" C/N 10M @ 16" VERT + DVLS. 10M @ 24" HET + HIGH HET ADD'L AT TOP. HOOK HORIZONTAL AT CORNERS C/N 4-18M VERTS ADD'L. PROVIDE CLASS 'B' LAPS. FC 28MPG CLASS F.2 - TYP.

LEGEND:

- ✕ POINT LOAD (REFER TO ROOF TRUSS LAYOUT)
- GIRDER TRUSS (REFER TO ROOF TRUSS LAYOUT)
- ** ALL GIRDERS TO HAVE PS UNLESS NOTED OTHERWISE

CONCRETE HALL PAD FOOTINGS

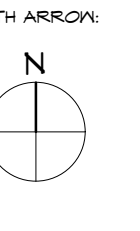
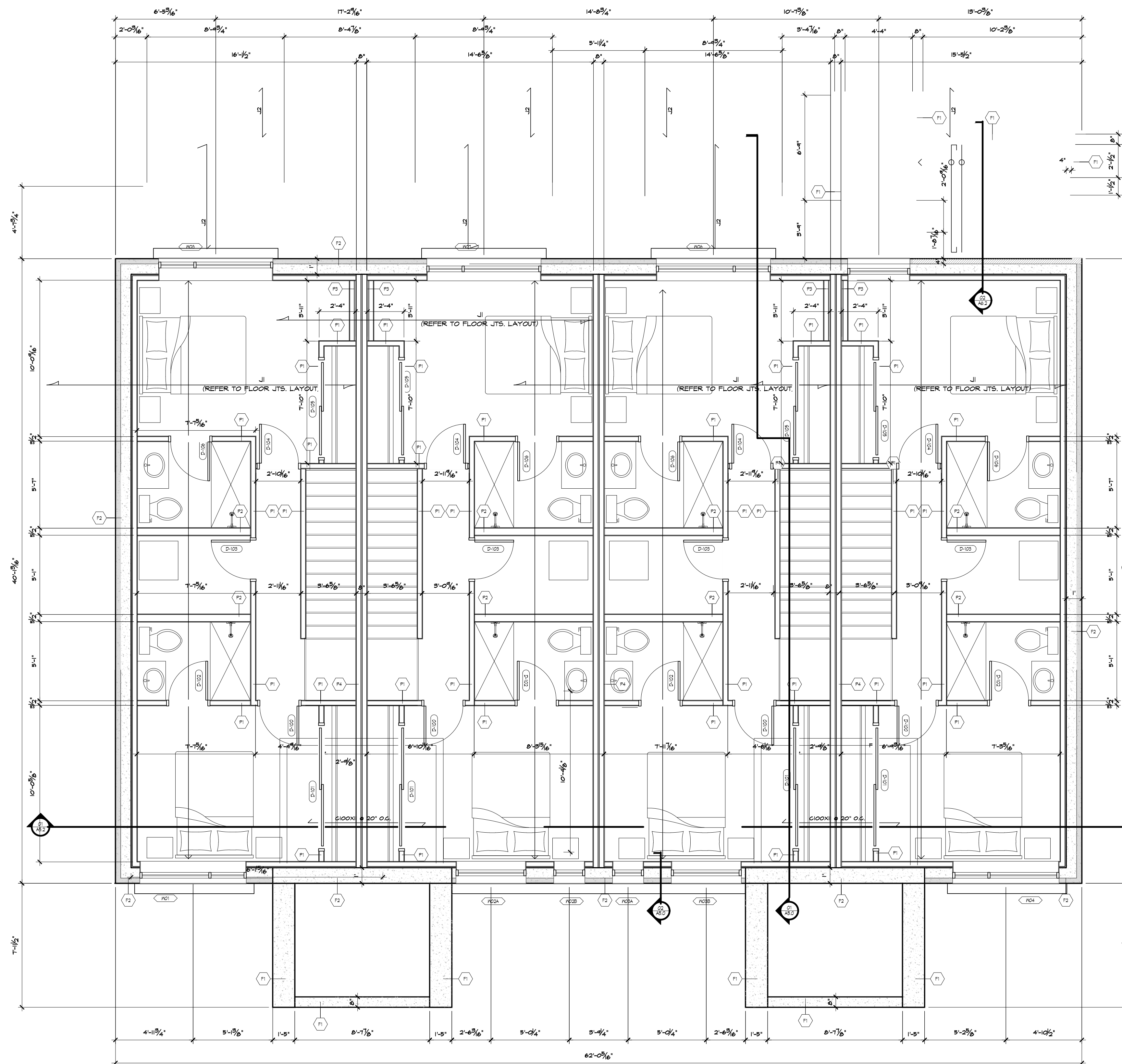
- F1. PAD FOOTING, 4.5' X 4.5' X 12" C/N 5-18M BEH + HOOK TO TOP
- F2. STRIP FOOTING, 5' WIDE X 12" DEEP C/N 5-18M BOT CONT
- F3. STRIP FOOTING, 4' WIDE X 12" DEEP C/N 5-18M BOT CONT
- F4. 5'-3" X 1' RETAINING WALL FOOTING C/N 5-18M BOT CONT + 18M @ 8" TIE SHORT (HOOK TOP BARS TO BOT)

DESIGN BEARING CAPACITIES:

-75 kPa @ SLS

-100 kPa @ ULS

PROVIDE MIN SOIL COVER AT ALL FOUNDATIONS OR EQUIVALENT COVER FROM RIGID INSULATION



No.	DATE	REVISION
03	2023.06.13	ISSUED FOR SPG
02	2023.06.09	ISSUED FOR REVIEW
01	2023.05.30	ISSUED FOR REVIEW

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 10 DEAKIN STREET
 SUITE 209
 OTTAWA, ONTARIO
 K2E 8B7
 T: (613) 734-1110
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 sjl@sjlarchitect.com



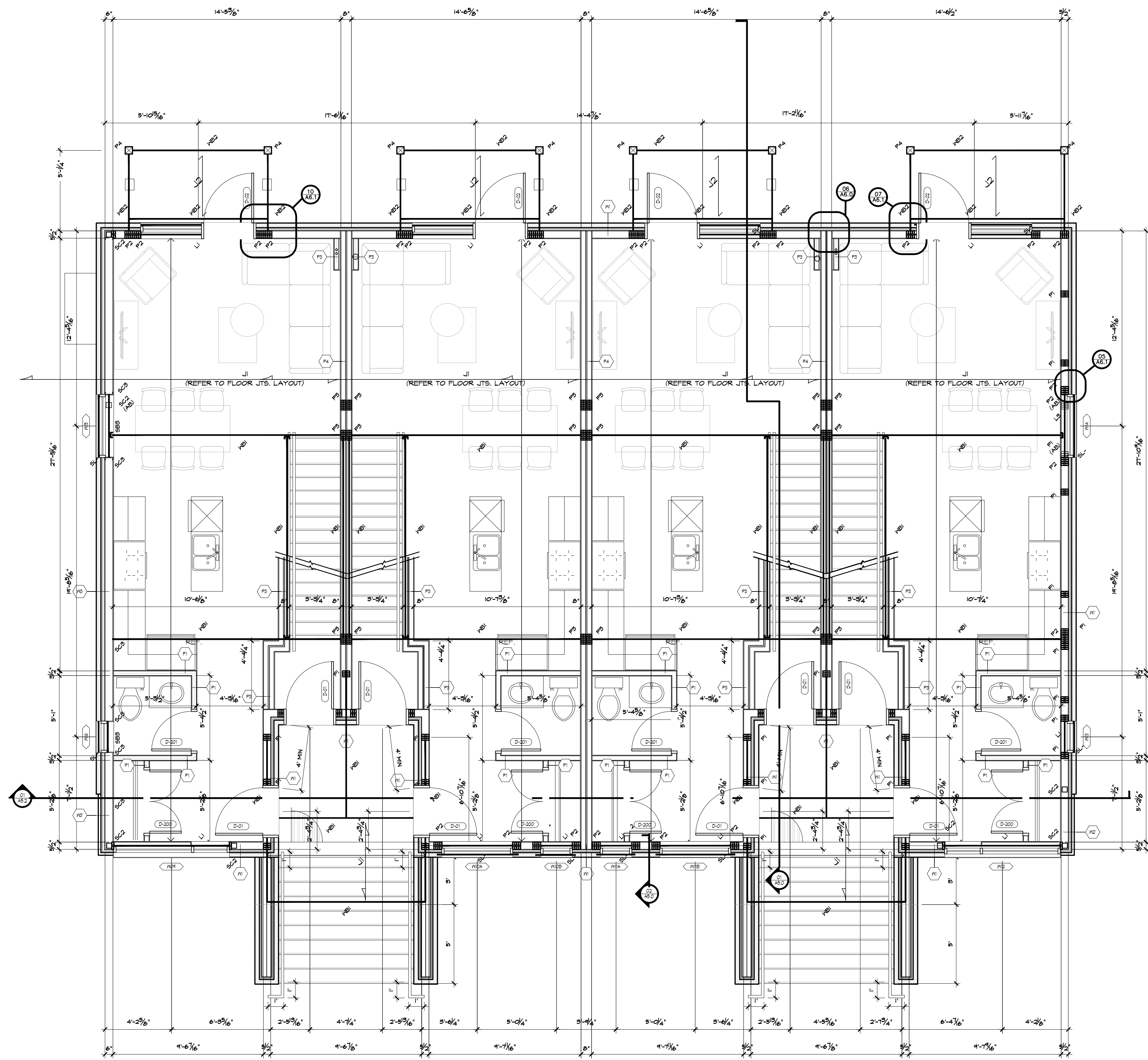
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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1190 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
BASEMENT FLOOR PLAN

DRAWN BY:	CHECKED BY:
B.L.	S.J.L.
PLOT DATE: 2023.06.12	PROJECT DATE: 2022.09.19
JOB NUMBER: SL-1026-22	SCALE: AS SHOWN
SHEET NUMBER:	

- NOTES:
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S.J. LAWRENCE ARCHITECT INCORPORATED
 10 DEAKIN STREET SUITE 209 OTTAWA, ONTARIO K2E 8B1
 T: (613) 734-1110 F: (613) 734-1105 sjl@sjlarchitect.com

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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1190 OLD SECOND LINE ROAD, OTTAWA, ON

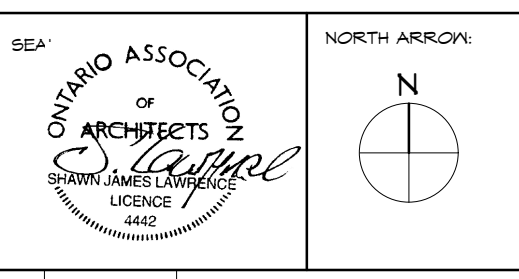
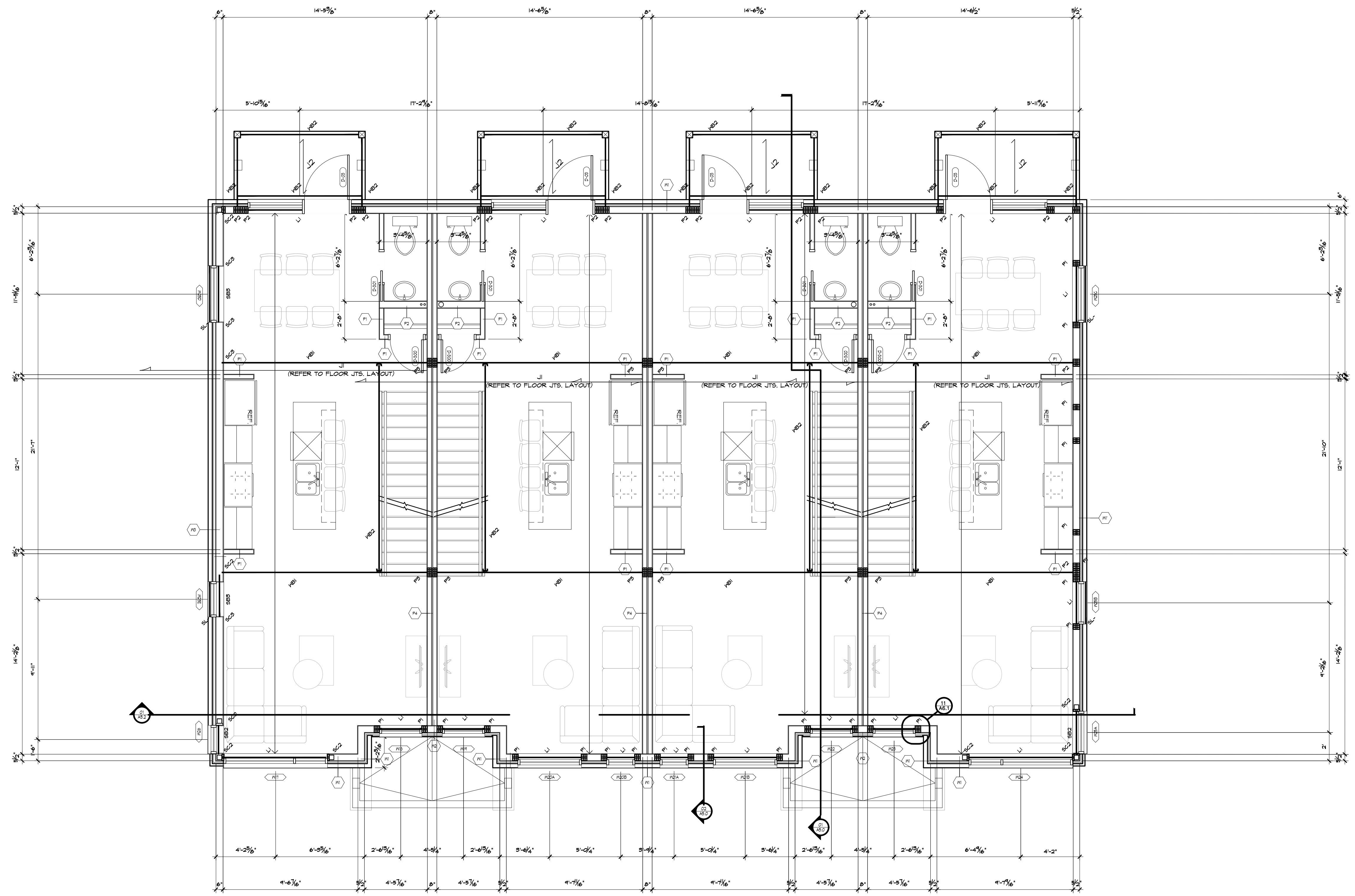
SHEET TITLE:
GROUND FLOOR PLAN

DRAWN BY: B.L.	CHECKED BY: S.J.L.
PLOT DATE: 2023.06.12	PROJECT DATE: 2022.09.14
JOB NUMBER: SL-1026-22	SCALE: AS SHOWN
SHEET NUMBER:	

CLIENT NAME: **THE HERGE HOMES**

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 10 DEAKIN STREET
 SUITE 209
 OTTAWA, ONTARIO
 K2E 8B1
 T: (613) 734-1110
 s.j.l@sjlarchitect.com

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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1190 OLD SECOND LINE ROAD, OTTAWA, ON

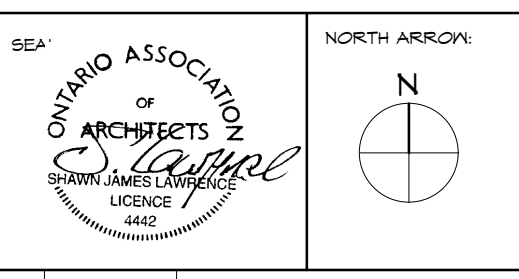
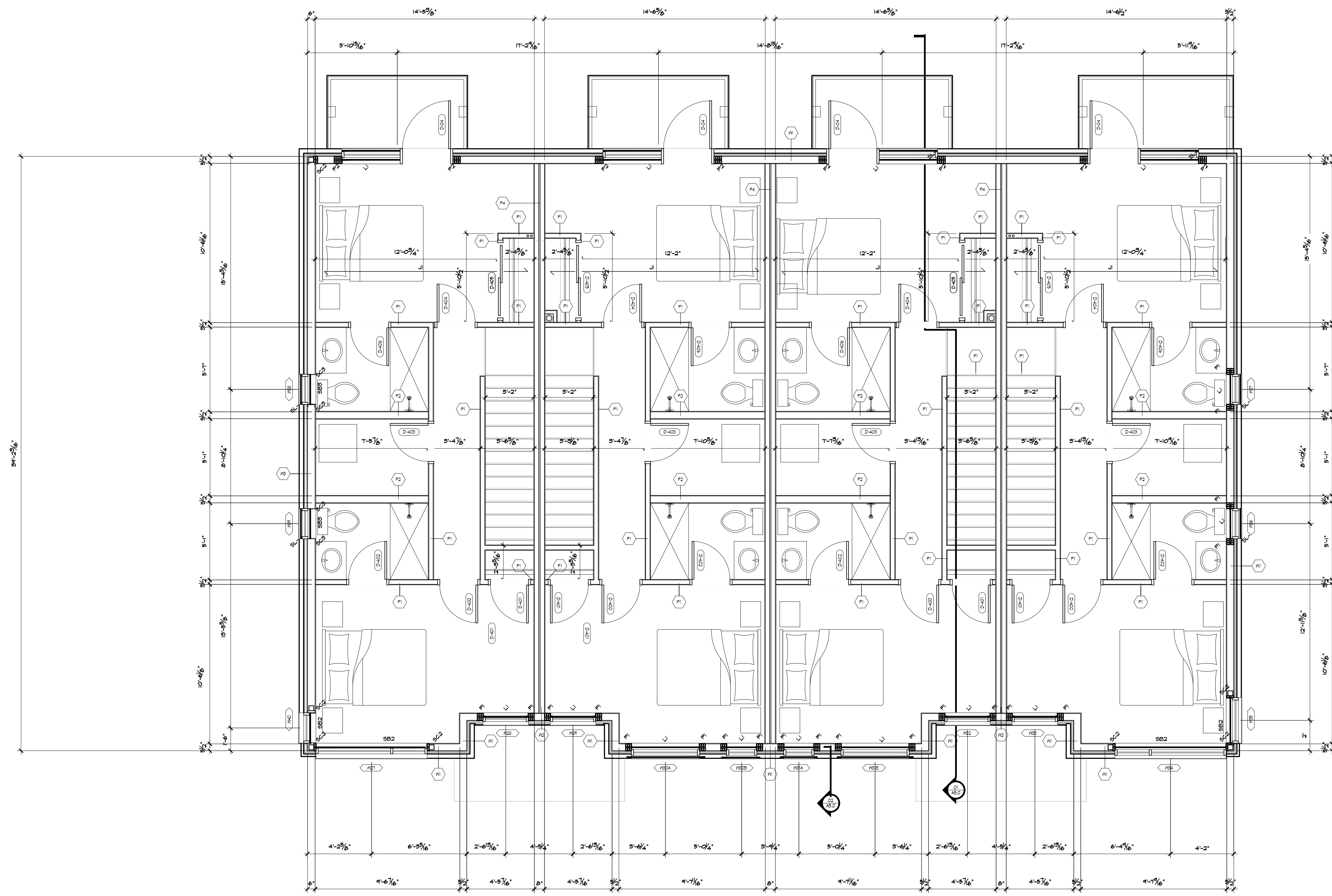
SHEET TITLE:
SECOND FLOOR PLAN

DRAWN BY: B.L.	CHECKED BY: S.J.L.
PLOT DATE: 2023.06.12	PROJECT DATE: 2022.09.19
JOB NUMBER: SL-1026-22	SCALE: AS SHOWN
SHEET NUMBER:	

CLIENT NAME: **THE HERGE HOMES**

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 SUITE 209
 OTTAWA, ONTARIO
 K2E 9B1
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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1190 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
THIRD FLOOR PLAN

DRAWN BY: B.L.	CHECKED BY: S.J.L.
PLOT DATE: 2023.06.12	PROJECT DATE: 2022.09.19
JOB NUMBER: SL-1026-22	SCALE: AS SHOWN
SHEET NUMBER:	

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EXTERIOR FINISH LEGEND

- 1 CEMENT FINISH ON ALL EXPOSED FOUNDATION TO 6" BELOW GRADE
- 2 CONTEMPORARY BRICK VENEER - TBD
- 3 STONE VENEER - PERMACON LEXA B
- 4 PRECAST CONCRETE SILL
- 5 FIBER-CEMENT LAP SIDING (SMOOTH)
- 6 FIBER-CEMENT PANELS - KOL, TBD
- 7 WALL SCOTCH
- 8 PRE-FINISHED METAL FASCIA & VENTED SOFFIT - BLACK
- 9 PRE-FINISHED METAL FLASHING - BLACK
- 10 MIN. 40 YEAR ASPHALT SHINGLES - TBD
- 11 RIDGE VENT C/A BUS & BIRD SCREEN - COLOUR TO MATCH SHINGLES
- 12 MAIN VENTS C/A BUS & BIRD SCREEN - COLOUR TO MATCH SHINGLES

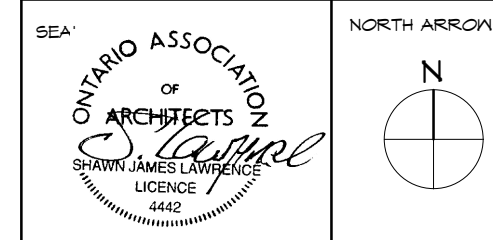
NOTE:
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01 EAST (FRONT) ELEVATION - BLOCK 2
 A3.0 SCALE: 3/16" = 1'-0"



02 EAST (FRONT) ELEVATION - MASSING
 A3.0 SCALE: 3/16" = 1'-0"



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05	2023.06.13	ISSUED FOR SPG
02	2023.06.09	ISSUED FOR REVIEW
01	2023.05.30	ISSUED FOR REVIEW

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 10 DEAKIN STREET
 SUITE 209
 OTTAWA, ONTARIO
 K2E 8B7
 T: (613) 734-1110
 F: (613) 734-1103
 s.j.law@scor1963.com



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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1150 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY: B.L. CHECKED BY: S.J.L.

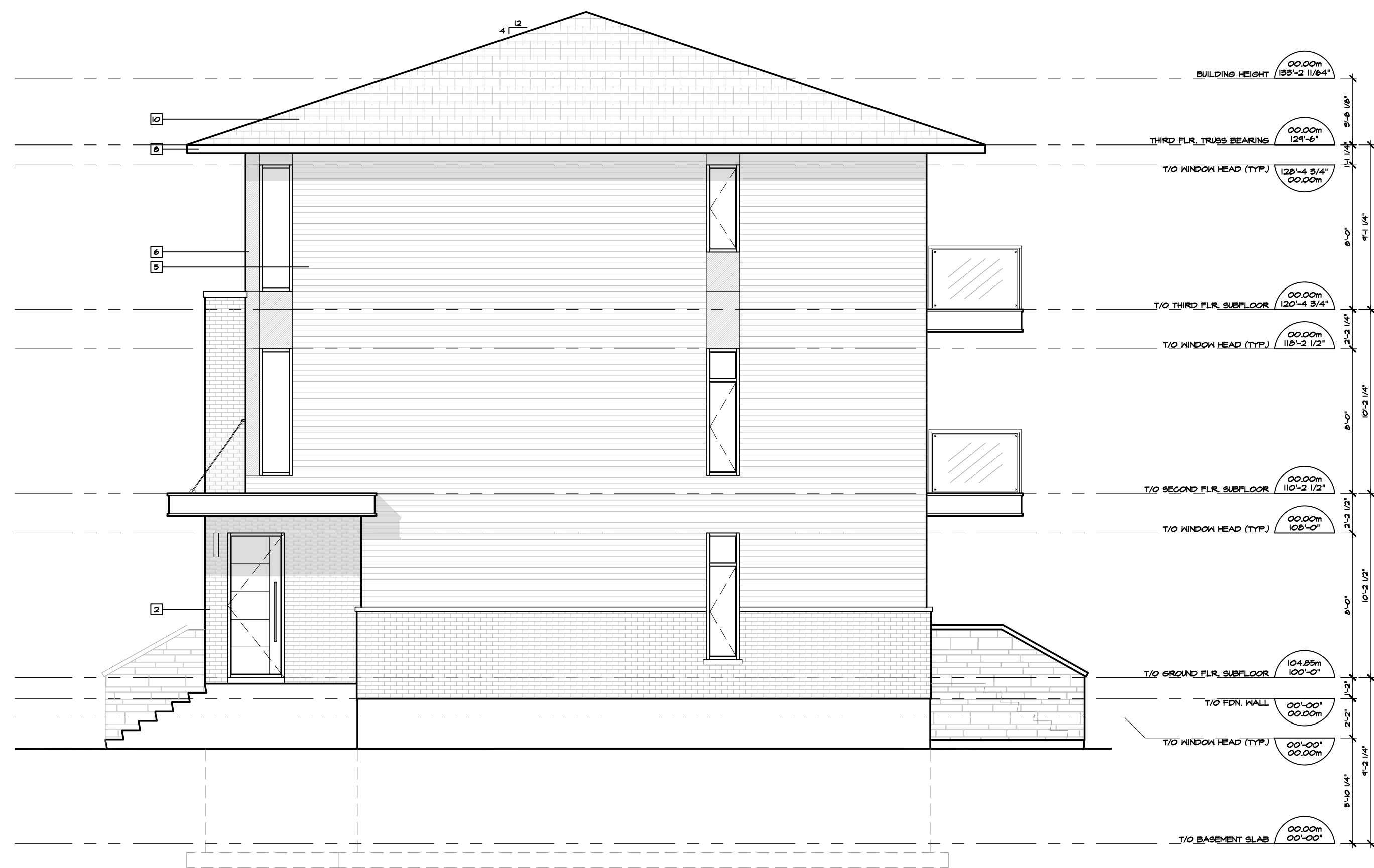
PLOT DATE: 2023.06.12 PROJECT DATE: 2022.04.19

JOB NUMBER: SL-10266-22 SCALE: AS SHOWN

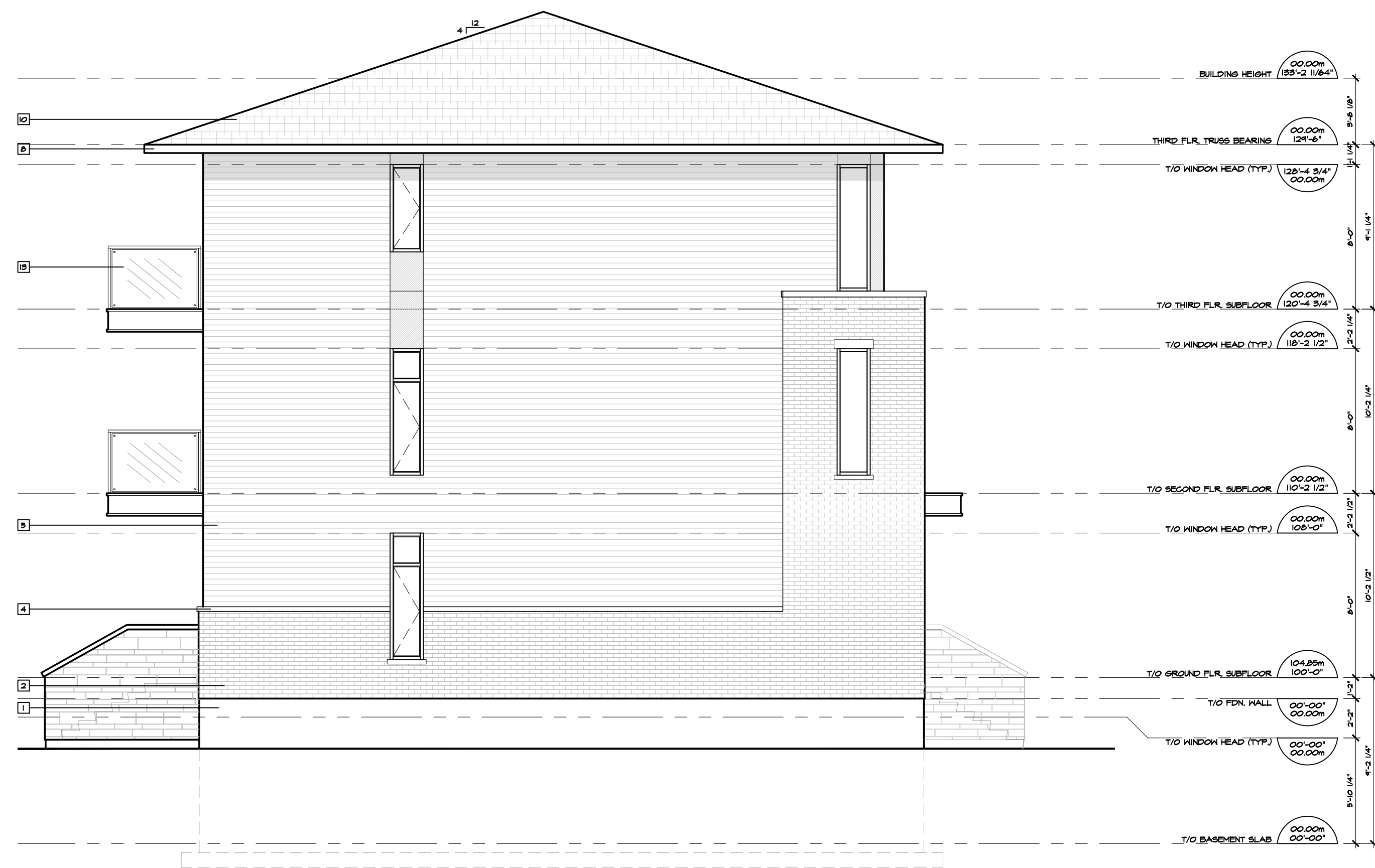
SHEET NUMBER:



01 WEST (REAR) ELEVATION - BLOCK 2
A3.1 SCALE: 3/16" = 1'-0"



02 NORTH (SIDE) ELEVATION
A3.1 SCALE: 3/16" = 1'-0"



03 SOUTH (SIDE) ELEVATION
A3.1 SCALE: 3/16" = 1'-0"

CLIENT NAME: **THE BERGE HOMES**

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- EXTERIOR FINISH LEGEND**
- 1 GEMENT FINISH ON ALL EXPOSED FOUNDATION TO 6" BELOW GRADE
 - 2 CONTEMPORARY BRICK VENEER - TBD
 - 3 STONE VENEER - PERMACON LEXA B
 - 4 PRECAST CONCRETE SILL
 - 5 FIBER-CEMENT LAP SIDING (SMOOTH)
 - 6 FIBER-CEMENT PANELS - KOL, TBD
 - 7 WALL SCOEING
 - 8 PRE-FINISHED METAL FASCIA & VENTED SOFFIT - BLACK
 - 9 PRE-FINISHED METAL FLASHING - BLACK
 - 10 MIN. 40 YEAR ASPHALT SHINGLES - TBD
 - 11 RIDGE VENT C/A BUS & BIRD SCREEN - COLOUR TO MATCH SHINGLES
 - 12 MAIN VENTS C/A BUS & BIRD SCREEN - COLOUR TO MATCH SHINGLES
 - 13 42" GLASS GUARDRAIL

NOTE:
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03	2023.06.15	ISSUED FOR SPC
02	2023.06.09	ISSUED FOR REVIEW
01	2023.05.30	ISSUED FOR REVIEW

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 10 DEAKIN STREET SUITE 209 OTTAWA, ONTARIO K2E 8B7
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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1150 OLD SECOND LINE ROAD, OTTAWA, ON

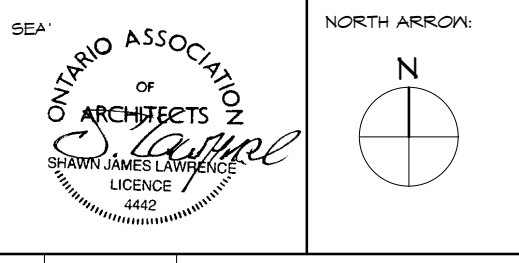
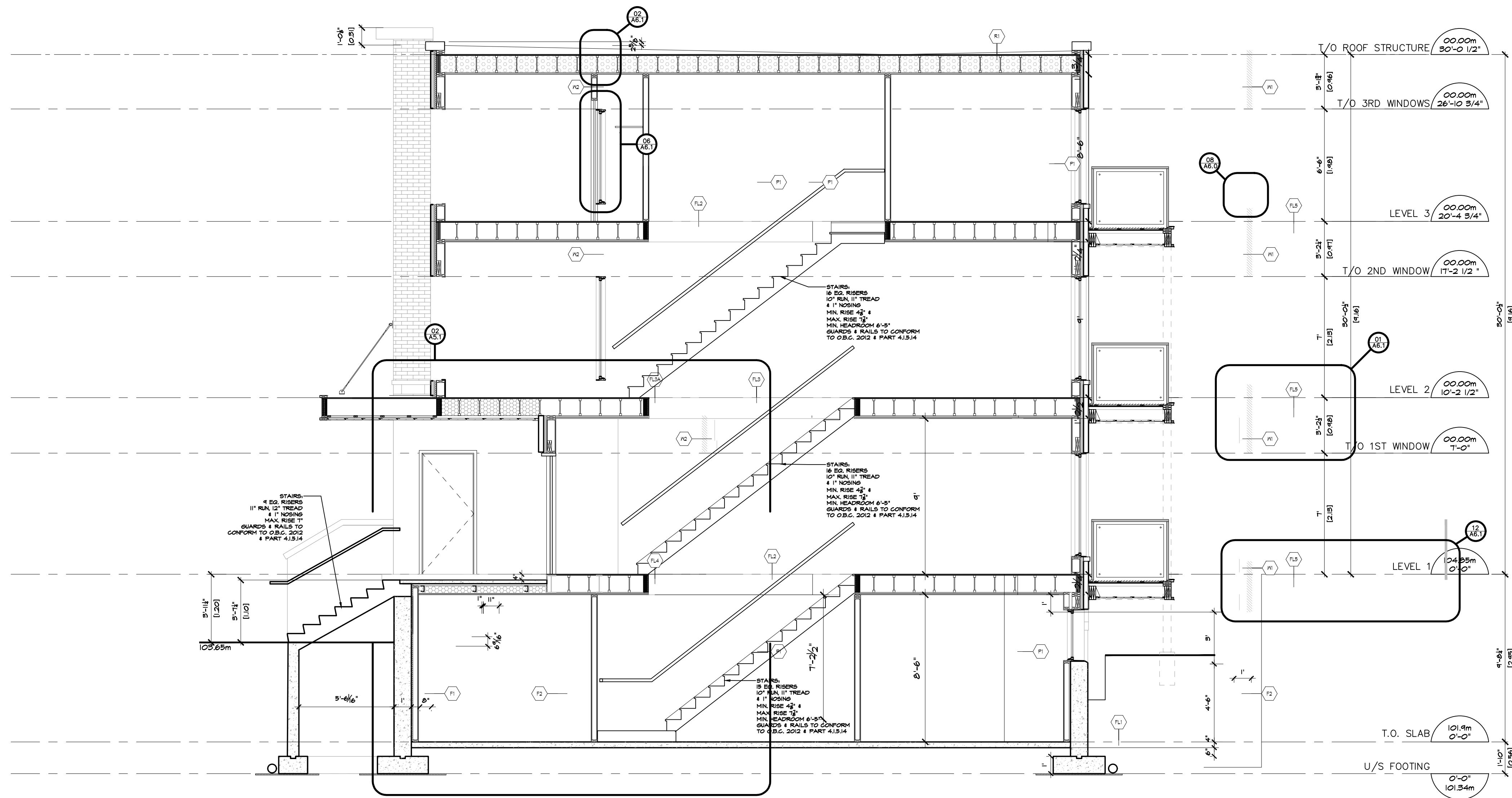
SHEET TITLE:
ELEVATIONS

DRAWN BY: B.L. CHECKED BY: S.J.L.
 PLOT DATE: 2023.06.12 PROJECT DATE: 2022.04.19
 JOB NUMBER: SL-1026-22 SCALE: AS SHOWN
 SHEET NUMBER:

CLIENT NAME: **THE BERGE HOMES**

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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1190 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
BUILDING SECTION

DRAWN BY: B.L.	CHECKED BY: S.J.L.
PLOT DATE: 2023.06.12	PROJECT DATE: 2022.04.14
JOB NUMBER: SL-1026-22	SCALE: AS SHOWN
SHEET NUMBER:	