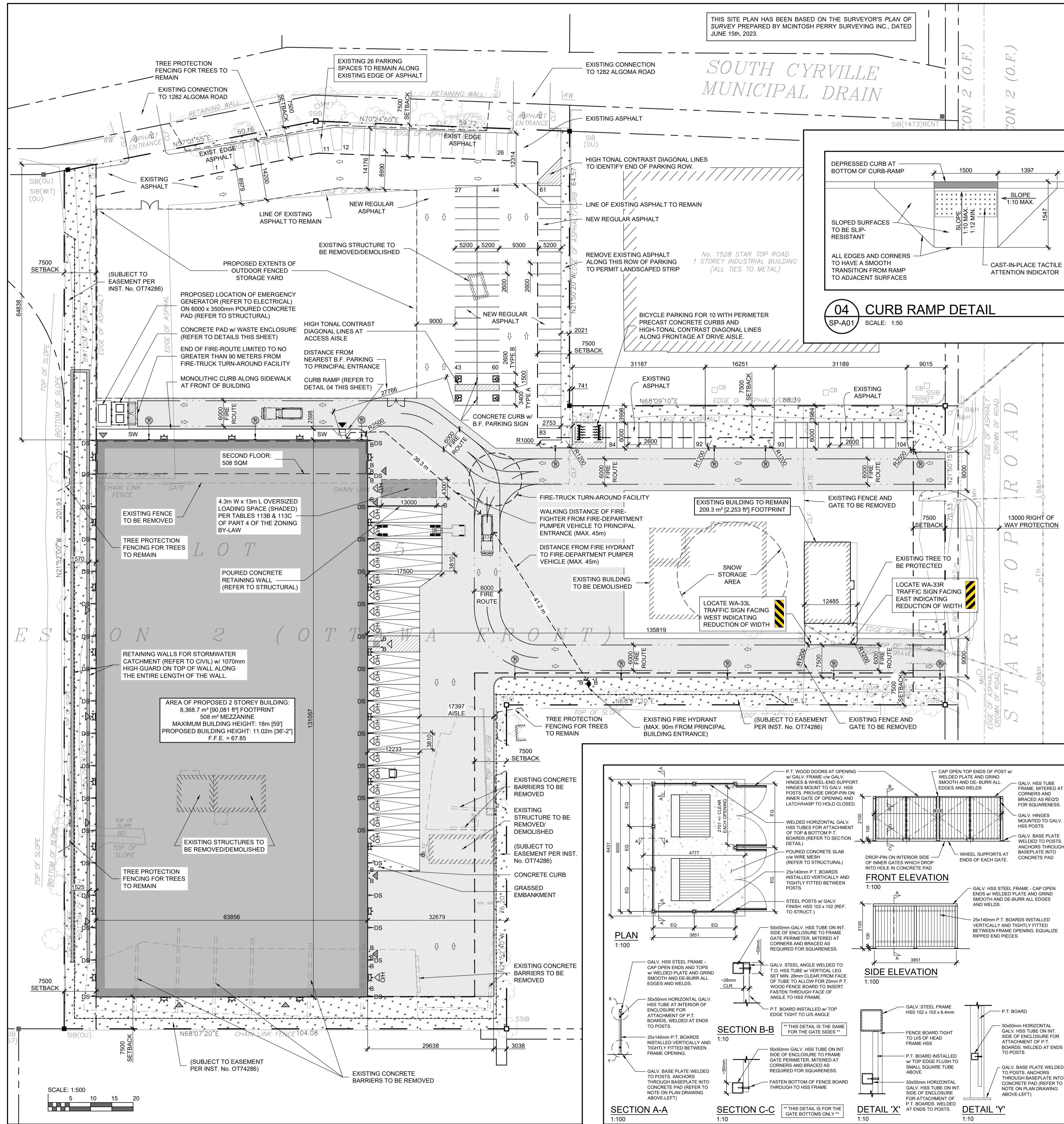


THIS SITE PLAN HAS BEEN BASED ON THE SURVEYOR'S PLAN OF SURVEY PREPARED BY MINTOSH PERRY SURVEYING INC., DATED JUNE 15th, 2023.

**SOUTH CYRVILLE MUNICIPAL DRAIN**



**01 PROPOSED SITE PLAN**  
SP-A01 SCALE: 1:500

**02 WASTE ENCLOSURE DETAILS**  
SP-A01 SCALE: AS NOTED

### LOCATION KEY

### ZONING INFORMATION

PER THE CITY OF OTTAWA ZONING BY-LAW 2008-250 CONSOLIDATION

**LEGAL DESCRIPTION:** PART OF LOT 25, CONCESSION 2 (OTTAWA FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA

**PROPOSAL:** NEW 8,369 m<sup>2</sup> [90,081 ft<sup>2</sup>] SINGLE STOREY BUILDING.

**ZONING:** DESIGNATION: (IL) LIGHT INDUSTRIAL

**ZONING PROVISIONS (PER TABLE 203):**

- LOT AREA (MIN.) = 2,000 m<sup>2</sup>
- ACTUAL LOT AREA = 30,051 m<sup>2</sup>
- LOT WIDTH (MIN.) = NO MINIMUM
- ACTUAL FRONTAGE = 73 m
- SETBACKS (MIN.):
  - FRONT = 7.5 m
  - INT. SIDE = 7.5 m
  - REAR = 7.5 m
- FLOOR SPACE INDEX (MAX.) = 2
- ACTUAL INDEX = 0.3
- LANDSCAPED MIN. WIDTHS = 3m ABUTTING STREETS
- LOT COVERAGE = 65% MAX
- ACTUAL LOT COVERAGE = 29.9 % (8,993 m<sup>2</sup>)
- MAX. BUILDING HEIGHT = 18 m
- ACTUAL HEIGHT = 11.4 m

**LOADING REQUIREMENTS:** (PER TABLE 113A UNDER PART 4)

LOADING SPACES ARE REQUIRED TO BE PROVIDED FOR EACH USE AS FOLLOWS:

WAREHOUSE: 1  
OFFICE: 1

**OVERSIZE LOADING REQUIREMENTS:** (PER TABLES 113B & 113C)

OVERSIZE SPACES IS REQUIRED: 1  
DIMENSIONS: 4.3m W x 13m L

**GROSS FLOOR AREAS BY USE (for the purpose of parking calcs)**

GROUND FLOOR	WAREHOUSE	OFFICE AREA	MEZZANINE	OFFICE	TOTAL
	7,861 m <sup>2</sup>	508 m <sup>2</sup>		508 m <sup>2</sup>	8,877 m <sup>2</sup>

**LOADING REQUIREMENTS:** (PER TABLE 113A UNDER PART 4)

WAREHOUSE: 1  
OFFICE: 1

**OVERSIZE LOADING REQUIREMENTS:** (PER TABLES 113B & 113C)

OVERSIZE SPACES IS REQUIRED: 1  
DIMENSIONS: 4.3m W x 13m L

**GROSS FLOOR AREAS BY USE (for the purpose of parking calcs)**

GROUND FLOOR	WAREHOUSE	OFFICE AREA	MEZZANINE	OFFICE	TOTAL
	7,861 m <sup>2</sup>	508 m <sup>2</sup>		508 m <sup>2</sup>	8,877 m <sup>2</sup>

**VERTICAL PARKING LOT SIGNAGE (POST OR WALL MOUNTED)**

**BARRIER-FREE PARKING SPACE SIGN**  
LOCATED AT EACH BARRIER-FREE SPACE

**FIRE-ROUTE SIGN**  
PLAN SYMBOL

**SITE PLAN LEGEND**

- PROPERTY LINE
- PROPERTY MARKERS
- SETBACK LINE
- FIRE ROUTE LINES
- NEIGHBOURING PROPERTY LINE
- FENCELINE
- DS - DOWNSPOUT LOCATION
- FIRE-HYDRANT
- 1525 x 1525mm BARRIER-FREE PARKING PAVEMENT MARKING
- EXTENTS OF EXISTING BUILDINGS/STRUCTURES
- EXTENTS OF PROPOSED BUILDING
- LANDSCAPED AREA (REFER TO LANDSCAPE DRAWINGS)
- HEAVY DUTY ASPHALT (REFER TO CIVIL)
- CONCRETE SIDEWALK
- BARRIER-FREE CURB RAMP w/ TACTILE ATTENTION INDICATORS
- APPROXIMATE LOCATION AND CROWN OF NEW AND EXISTING VEGETATION (REFER TO LANDSCAPE DRAWINGS AND TREE CONSERVATION REPORT)
- PRINCIPAL BUILDING ENTRANCES
- EMERGENCY EXITS
- SECONDARY ACCESS DOORS AND/OR OVERHEAD DOORS (OH)
- "E" = EXISTING
- 1500mm HIGH CONCRETE-FILLED METAL BOLLARD SET INTO CONCRETE BASE TO DEPTH AS SPECIFIED BY STRUCTURAL ENGINEER. PAINTED HI-VIS YELLOW.
- TRAFFIC FLOW
- FIRE ROUTE/NO PARKING SIGNAGE - INSTALLED MAX. 25m ALONG ROUTE (SEE DETAIL THIS SHEET)
- EXTERIOR WALL MOUNTED LIGHT PACKS (REFER TO ARCHITECTURAL ELEVATIONS AND ELECTRICAL ENGINEER'S DRAWINGS)

### 03 GENERAL INFO

SP-A01 SCALE: 1:500

# DEIMLING

ARCHITECTURE & INTERIOR DESIGN

## BBS

BBS CONSTRUCTION (Ontario) LTD.

**CONSULTANT TEAM:**  
**DESIGN BUILDER:** BBS CONSTRUCTION INC. (613) 228-8830  
**ARCHITECT:** DEIMLING ARCHITECTURE & INTERIOR DESIGN (613) 697-6113  
**TRANSPORTATION, PLANNING AND CIVIL:** MINTOSH PERRY CONSULTING ENGINEERS (613) 836-2184  
**LANDSCAPE ARCHITECT:** GJA INC. (613) 286-5130  
**GEOTECHNICAL AND ENVIRONMENTAL:** PATERSON GROUP INC. (613) 228-7381  
**SURVEYOR:** MINTOSH PERRY SURVEYING INC. (613) 267-6524  
**ENVIRONMENTAL PLANNING:** MUNCASTER ENVIRONMENTAL PLANNING INC. (613) 748-3753

## BOONE

North

### Revisions

No.	By	Description	Date
11	JF	ISSUED FOR FORMAL SITE PLAN CONTROL COMMENTS RESPONSE	30 SEPT 2024
10	JF	ISSUED FOR FORMAL SITE PLAN CONTROL COMMENTS RESPONSE	09 AUG 2024
09	JM	ISSUED FOR FORMAL SITE PLAN CONTROL	26 MAR 2024
08	JF	PHASE 3 FEEDBACK RESPONSE SUBMISSION No. 2	12 JAN 2024
07	JF	ISSUED FOR COORDINATION	21 DEC 2023
06	JF	ISSUED FOR COORDINATION	20 DEC 2023
05	JF	ISSUED FOR SITE PLAN CONTROL RESPONSE 01	08 NOV 2023
04	JF	ISSUED FOR COORDINATION	02 NOV 2023
03	JF	ISSUED FOR SITE PLAN CONTROL	01 AUG 2023
02	JF	ISSUED FOR REVIEW AND COORDINATION	25 JUL 2023
01	JF	ISSUED FOR REVIEW AND COORDINATION	29 JUN 2023

Project  
**BOONE PLUMBING NEW WAREHOUSE**

1540 STAR TOP ROAD, OTTAWA, ONTARIO

Drawing  
**PROPOSED SITE PLAN**

Scale AS NOTED  
 Drawn J.F.  
 Checked J.F. / C.D.

Project No. 23-128  
 Date JUNE 2023

Stamp  
 ONTARIO ASSOCIATION OF ARCHITECTS  
 CHRISTOPHER LEE DEIMLING LICENCE 6238

Project No. Drawing No.  
 23-128 SP-A01

Plan No.: 19125  
File No.: D07-12-23-0107