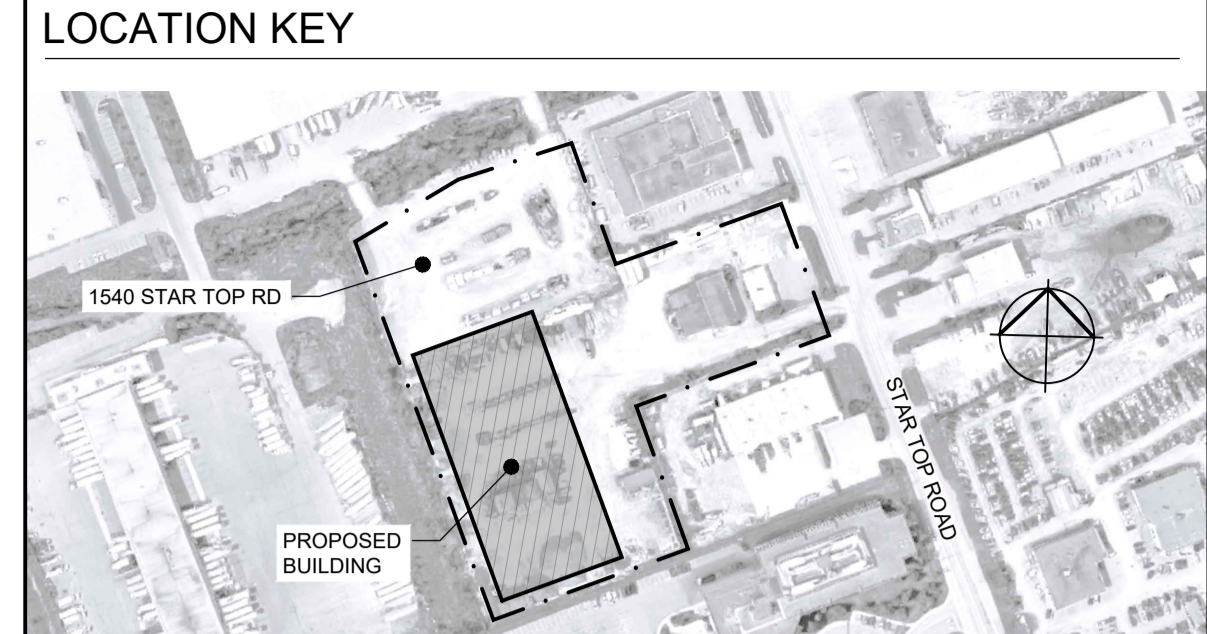


01 PROPOSED SITE PLAN
SP-A01 SCALE: 1:500

02 WASTE ENCLOSURE DETAILS
SP-A01 SCALE: AS NOTED



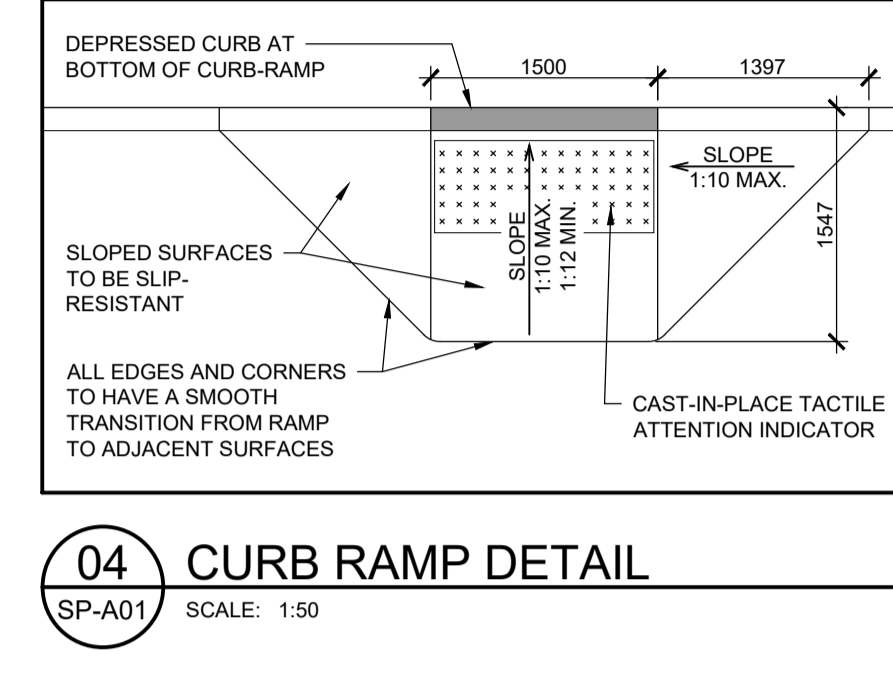
LOCATION KEY

ZONING INFORMATION

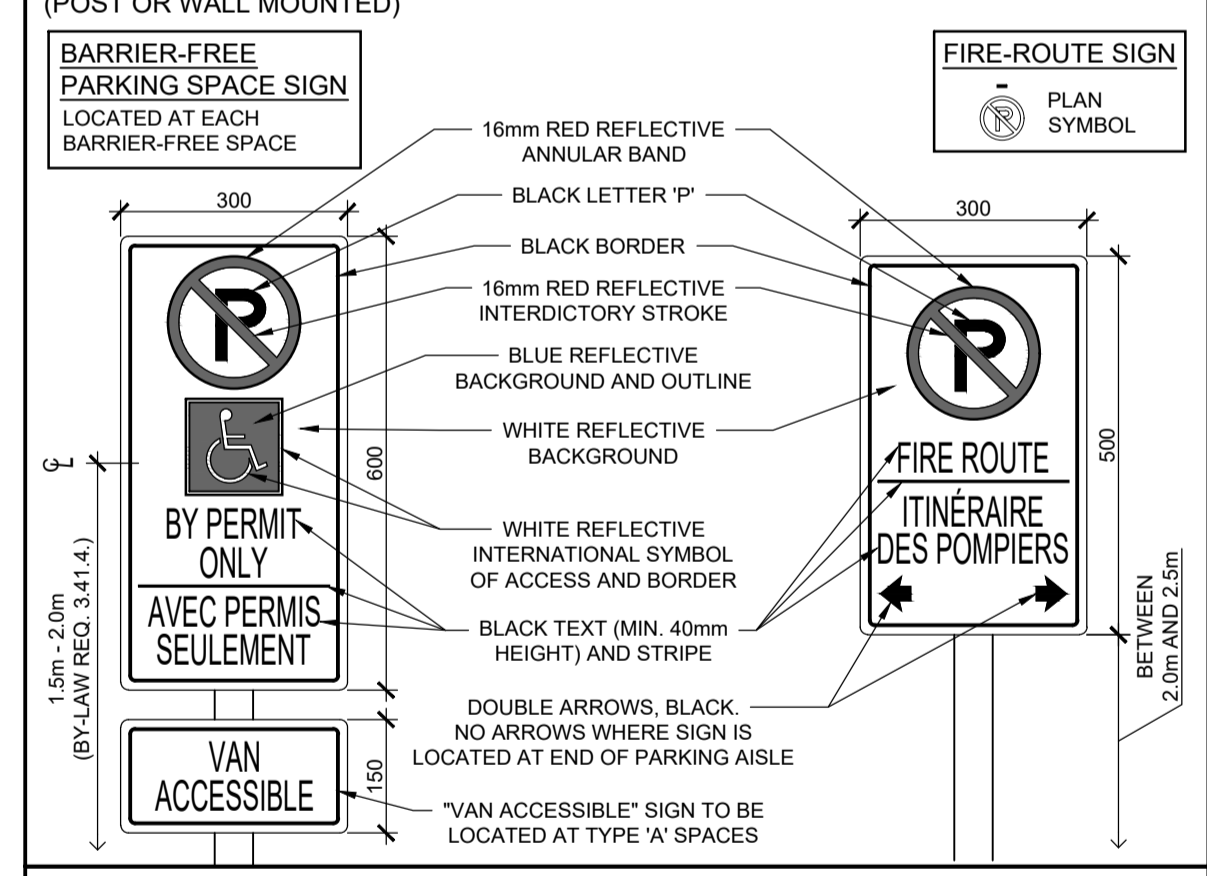
PER THE CITY OF OTTAWA ZONING BY-LAW 2008-250 CONSOLIDATION
LEGAL DESCRIPTION: PART OF LOT 25, CONCESSION 2 (OTTAWA FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA
PROPOSAL: NEW 8,369 m² (90,081 ft²) SINGLE STOREY BUILDING.
ZONING: (IL) LIGHT INDUSTRIAL
ZONING PROVISIONS (PER TABLE 203):
 • LOT AREA (MIN.) = 2,000 m²
 • ACTUAL LOT AREA = 30,051 m²
 • LOT WIDTH (MIN.) = NO MINIMUM
 • ACTUAL FRONTAGE = 73 m
 • SETBACKS (MIN.):
 - FRONT = 7.5 m
 - INT. SIDE = 7.5 m
 - REAR = 7.5 m
 • FLOOR SPACE INDEX (MAX.) = 2
 • ACTUAL INDEX = 0.3
 • LANDSCAPED MIN. WIDTHS = 3m ABUTTING STREETS
 • LOT COVERAGE = 65% MAX.
 • ACTUAL LOT COVERAGE = 29.9% (8,993 m²)
 • MAX. BUILDING HEIGHT = 18 m
 • ACTUAL HEIGHT = 11.4 m
LOADING REQUIREMENTS:
 (PER TABLE 113A UNDER PART 4)
 LOADING SPACES ARE REQUIRED TO BE PROVIDED FOR EACH USE AS FOLLOWS:
 WAREHOUSE: 1
 OFFICE: 1
GROSS FLOOR AREAS BY USE (for the purpose of parking calcs)

GROUND FLOOR WAREHOUSE OFFICE AREA	7,861 m²
MEZZANINE OFFICE	508 m²
TOTAL	8,877 m²

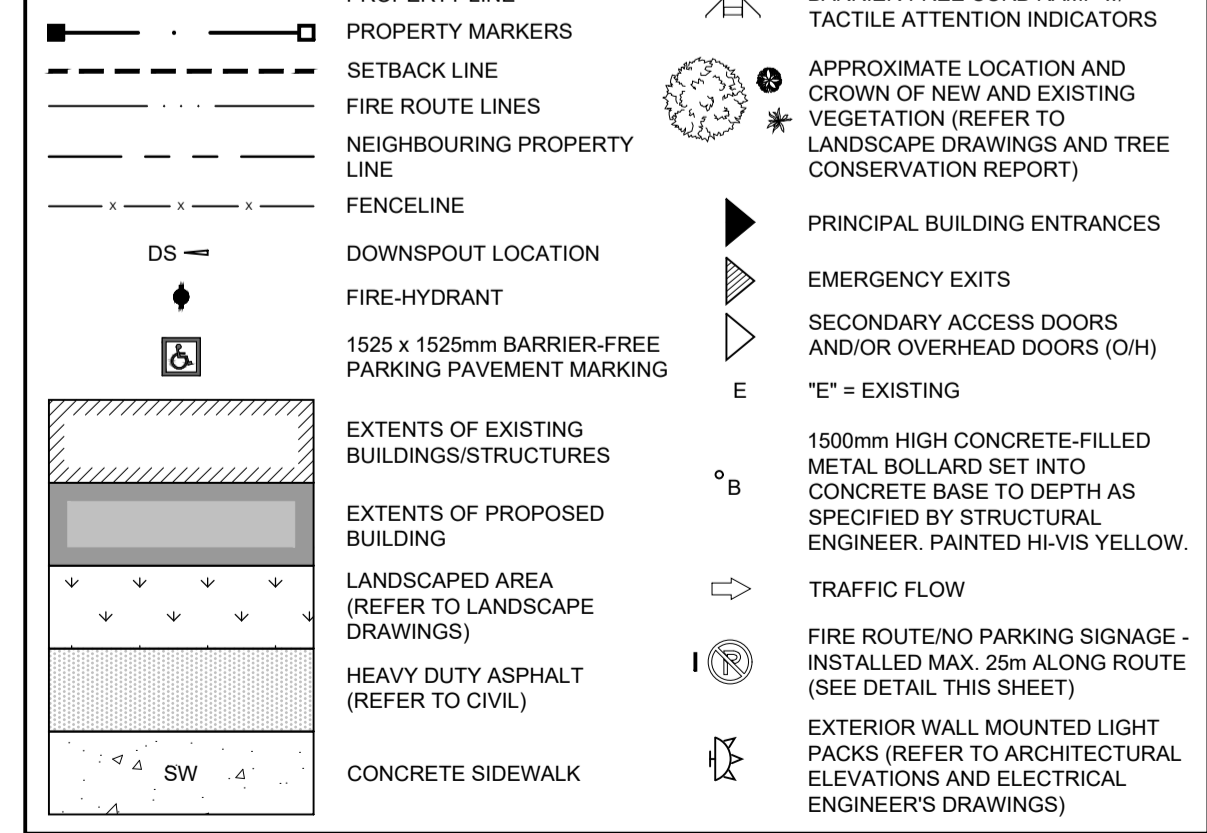
BARrier-FREE PARKING:
 (PER SECTION 111 UNDER PART C OF BY-LAW No. 2017-301)
 RESERVED BARRIER-FREE PARKING SPACES:
 REQUIRED: 2 SPACES (TYPE 'A')
 THE HIGHWAY TRAFFIC ACT OF ONTARIO REQUIRES AN ADDITIONAL 2 BARRIER-FREE PARKING SPACES, DESIGNATED AS TYPE 'B' SPACES
 OFFICE: 1 PER 250m² GFA = 5 SPACES
 WAREHOUSE: 1 PER 2000m² GFA = 4 SPACES
BICYCLE PARKING:
 (PER SECTION 111 UNDER PART C OF BY-LAW No. 2017-301)
 OFFICE: 1 PER 250m² GFA = 5 SPACES
 WAREHOUSE: 1 PER 2000m² GFA = 4 SPACES



VERTICAL PARKING LOT SIGNAGE
(POST OR WALL MOUNTED)

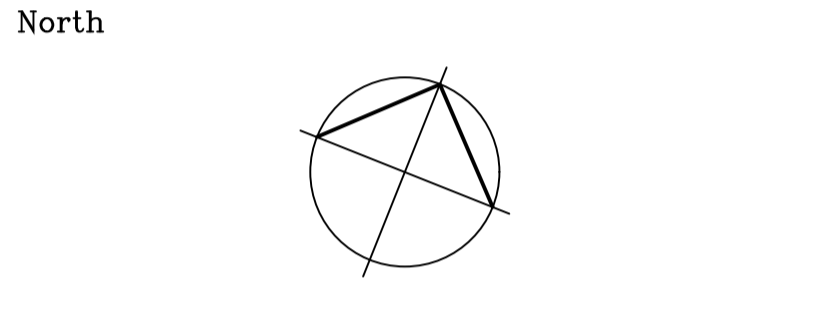


SITE PLAN LEGEND



03 GENERAL INFO
SP-A01 SCALE: 1:500

CONSULTANT TEAM:
 DESIGN BUILDER: BBS CONSTRUCTION INC. (613) 228-8830
 ARCHITECT: DEIMLING ARCHITECTURE & INTERIOR DESIGN (613) 697-6113
 TRANSPORTATION, PLANNING AND CIVIL: MINTOSH PERRY CONSULTING ENGINEERS (613) 836-2184
 LANDSCAPE ARCHITECT: GJA INC. (613) 286-5130
 GEOTECHNICAL AND ENVIRONMENTAL: PATERSON GROUP INC. (613) 228-7381
 SURVEYOR: MINTOSH PERRY SURVEYING INC. (613) 267-6524
 ENVIRONMENTAL PLANNING: MUNCASTER ENVIRONMENTAL PLANNING INC. (613) 748-3753



Revisions

No.	By	Description	Date
10	JF	ISSUED FOR FORMAL SITE PLAN CONTROL COMMENTS RESPONSE	09 AUG 2024
09	JM	ISSUED FOR FORMAL SITE PLAN CONTROL	26 MAR 2024
08	JF	PHASE 3 FEEDBACK RESPONSE SUBMISSION No. 2	12 JAN 2024
07	JF	ISSUED FOR COORDINATION	21 DEC 2023
06	JF	ISSUED FOR COORDINATION	20 DEC 2023
05	JF	ISSUED FOR SITE PLAN CONTROL RESPONSE 01	08 NOV 2023
04	JF	ISSUED FOR COORDINATION	02 NOV 2023
03	JF	ISSUED FOR SITE PLAN CONTROL	01 AUG 2023
02	JF	ISSUED FOR REVIEW AND COORDINATION	25 JUL 2023
01	JF	ISSUED FOR REVIEW AND COORDINATION	29 JUN 2023

Project

BOONE PLUMBING NEW WAREHOUSE

1540 STAR TOP ROAD, OTTAWA, ONTARIO

Drawing
PROPOSED SITE PLAN

Scale: AS NOTED
 Drawn: J.F.
 Checked: J.F. / C.D.
 Project No.: 23-128
 Date: JUNE 2023
 Drawing No.: **SP-A01**

