

### ZONING INFORMATION

PER THE CITY OF OTTAWA ZONING BY-LAW 2008-250 CONSOLIDATION

PART OF LOT 25, CONCESSION 2 (OTTAWA FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA

NEW <u>8,369</u> m² [90,081 ft²] SINGLE STOREY BUILDING. WITHIN THE PROPERTY BOUNDARY.

ZONING PROVISIONS (PER TABLE 203): • LOT AREA (MIN.) = 2.000 m<sup>2</sup> ACTUAL LOT AREA = 30,051 m<sup>2</sup> LOT WIDTH (MIN.) = NO MINIMUM ACTUAL FRONTAGE = 73 m • SETBACKS (MIN.): - FRONT = 7.5 m

- INT. SIDE = 7.5 m  $-REAR = 7.5 \, \text{m}$ FLOOR SPACE INDEX (MAX.) = 2 ACTUAL INDEX = 0.3 LANDSCAPED MIN. WIDTHS = 3m ABUTTING STREETS

= NO MIN. ELSEWHERE LOT COVERAGE = 65% MAX. ACTUAL LOT COVERAGE = 29.9 % (8,993 m²) • MAX. BUILDING HEIGHT = 18 m ACTUAL HEIGHT = 11.4 m

#### LOADING REQUIREMENTS: (PER TABLE 113A UNDER PART 4)

LOADING SPACES ARE REQUIRED TO BE PROVIDED FOR EACH USE AS FOLLOWS: WAREHOUSE: 1

#### **GROSS FLOOR AREAS BY USE** (for the purpose of parking calcs)

OFFICE AREA 508 m<sup>2</sup> 508 m<sup>2</sup>

8,877 m²

(PER TABLE 101 UNDER PART 4)

ROW N95 - WAREHOUSE REQUIRES 0.8 PARKING SPACES PER 100m<sup>2</sup> OF GROSS FLOOR AREA FOR THE FIRST 5,000 m<sup>2</sup>, AFTER-WHICH 0.4 PARKING SPACES ARE REQUIRED PER 100m<sup>2</sup> BEYOND 5,000m<sup>2</sup> OF GROSS FLOOR AREA. PARKING SPACES UNDER THIS

REQUIRED: 52 SPACES **DESIGNATION: (IL) LIGHT INDUSTRIAL** ROW N59 - OFFICE USE REQUIRES 2.4 PARKING SPACES PER 100m<sup>2</sup> OF GROSS FLOOR AREA. PARKING

> THOSE WHICH ARE WITHIN THE PROPERTY BOUNDARY. REQUIRED: 25 SPACES TOTAL REQUIRED: 77 SPACES

SECTION RECOGNIZE ONLY THOSE WHICH ARE

SPACES UNDER THIS SECTION RECOGNIZE ONLY

EXISTING SPACES: 26 NEW SPACES: 78 TOTAL PROVIDED: 104 SPACES

**BARRIER-FREE PARKING:** (PER SECTION 111 UNDER PART C OF BY-LAW No.

RESERVED BARRIER-FREE PARKING SPACES: REQUIRED: 2 SPACES (TYPE 'A' \*) THE HIGHWAY TRAFFIC ACT OF ONTARIO REQUIRES

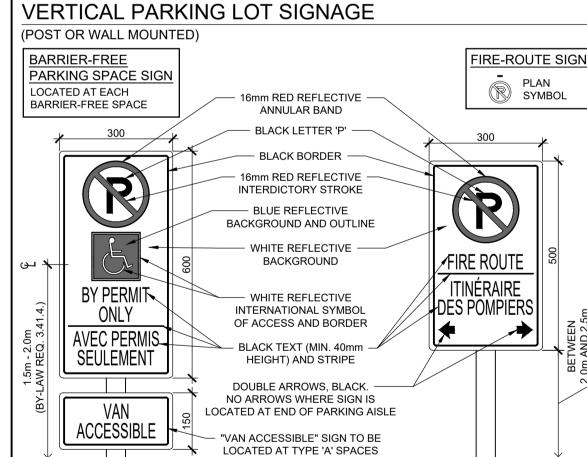
AN ADDITIONAL 2 BARRIER-FREE PARKING SPACES, DESIGNATED AS TYPE 'B' \*\* SPACES

\* TYPE 'A' WIDTH: 3.6m MIN. \*\* TYPE 'B' WIDTH: 2.4m MIN.

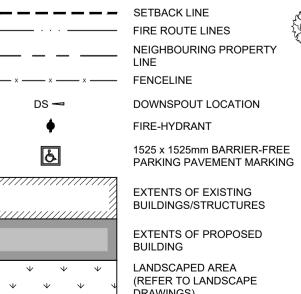
SIGNAGE FOR BARRIER-FREE PARKING SHALL COMPLY WITH SECTION 113 UNDER PART C OF BY-LAW No. 2017-301.

**BICYCLE PARKING**:

(PER SECTION 111 UNDER PART C OF BY-LAW No.  $1 \text{ PER } 250 \text{m}^2 \text{ GFA} = \underline{5} \text{ SPACES}$ WAREHOUSE: 1 PER 2000m<sup>2</sup> GFA = 4 SPACES



### SITE PLAN LEGEND



→ PROPERTY MARKERS CROWN OF NEW AND EXISTING ★ VEGETATION (REFER TO)

DRAWINGS) HEAVY DUTY ASPHALT (REFER TO CIVIL) CONCRETE SIDEWALK

**GENERAL INFO** 

EXTERIOR WALL MOUNTED LIGHT PACKS (REFER TO ARCHITECTURAL ELEVATIONS AND ELECTRICAL **ENGINEER'S DRAWINGS)** 

BARRIER-FREE CURB RAMP w/

TACTILE ATTENTION INDICATORS

APPROXIMATE LOCATION AND

CONSERVATION REPORT)

**EMERGENCY EXITS** 

"E" = EXISTING

TRAFFIC FLOW

LANDSCAPE DRAWINGS AND TREE

PRINCIPAL BUILDING ENTRANCES

SECONDARY ACCESS DOORS

AND/OR OVERHEAD DOORS (O/H)

1500mm HIGH CONCRETE-FILLED

ENGINEER. PAINTED HI-VIS YELLOW

FIRE ROUTE/NO PARKING SIGNAGE

INSTALLED MAX. 25m ALONG ROUTE

METAL BOLLARD SET INTO

SPECIFIED BY STRUCTURAL

(SEE DETAIL THIS SHEET)

CONCRETE BASE TO DEPTH AS





(613) 226-8830

(613) 697-6113

(613) 836-2184

(613) 286-5130

(613) 226-7381

(613) 267-6524

CONSULTANT TEAM: **DESIGN BUILDER:** 

**BBS CONSTRUCTION INC** ARCHITECT **DEIMLING ARCHITECTURE & INTERIOR DESIGN** 

TRANSPORTATION, PLANNING AND CIVIL:

McINTOSH PERRY CONSULTING ENGINEERS LANDSCAPE ARCHITECT: GJA INC.

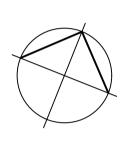
**GEOTECHNICAL AND ENVIRONMENTAL** PATERSON GROUP INC.

SURVEYOR: McINTOSH PERRY SURVEYING INC **ENVIRONMENTAL PLANNING:** 

MUNCASTER ENVIRONMENTAL PLANNING INC. (613) 748-3753

# **DOONE**

North



### Revisions

No.	Ву	Description	Date
10	JF	ISSUED FOR FORMAL SITE PLAN CONTROL COMMENTS RESPONSE	09 AUG 2024
09	JM	ISSUED FOR FORMAL SITE PLAN CONTROL	26 MAR 2024
08	JF	PHASE 3 FEEDBACK RESPONSE SUBMISSION No. 2	12 JAN 2024
07	JF	ISSUED FOR COORDINATION	21 DEC 2023
06	JF	ISSUED FOR COORDINATION	20 DEC 2023
05	JF	ISSUED FOR SITE PLAN CONTROL RESPONSE 01	08 NOV 2023
04	JF	ISSUED FOR COORDINATION	02 NOV 2023
03	JF	ISSUED FOR SITE PLAN CONTROL	01 AUG 2023
02	JF	ISSUED FOR REVIEW AND COORDINATION	25 JUL 2023
01	JF	ISSUED FOR REVIEW AND COORDINATION	29 JUN 2023

Project

### **BOONE PLUMBING NEW WAREHOUSE**

1540 STAR TOP ROAD, OTTAWA, ONTARIO

# PROPOSED SITE PLAN

Scale Stamp AS NOTED Drawn ARCHITECTS Checked CHRISTOPHER LEE DEIMLING J.F. / C.D. LICENCE 6238

Project No. 23-128

**JUNE 2023** 

Date

Drawing No.