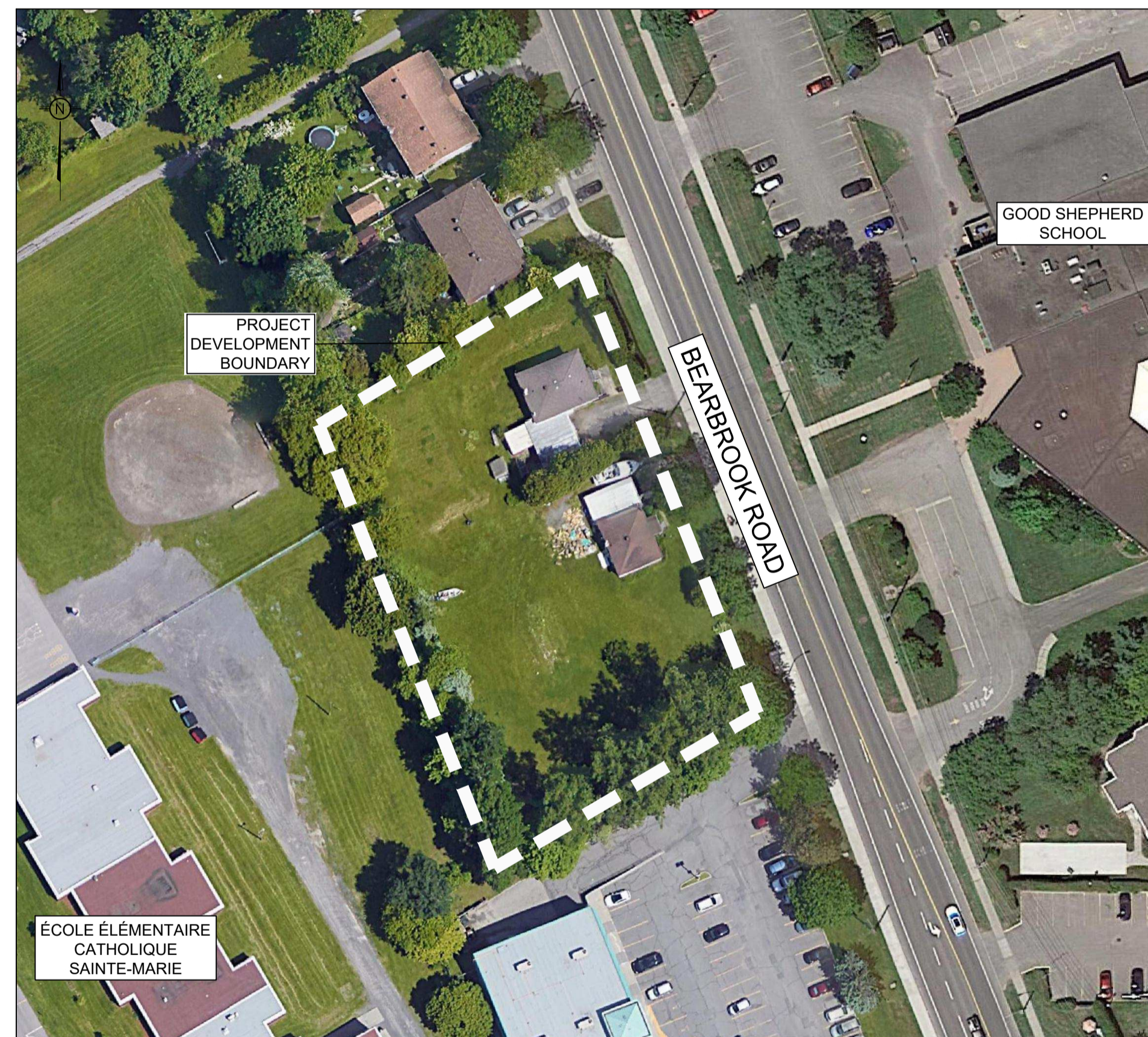


RESIDENTIAL BUILDING 98 & 100 BEARBROOK, OTTAWA, ONTARIO

REVISION 07



KEY PLAN (N.T.S.)

DRAWING INDEX	
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SEDIMENT AND EROSION CONTROL PLAN	C101
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POST-DEVELOPMENT WATERSHED PLAN	C702
CONSTRUCTION DETAIL PLAN	C901



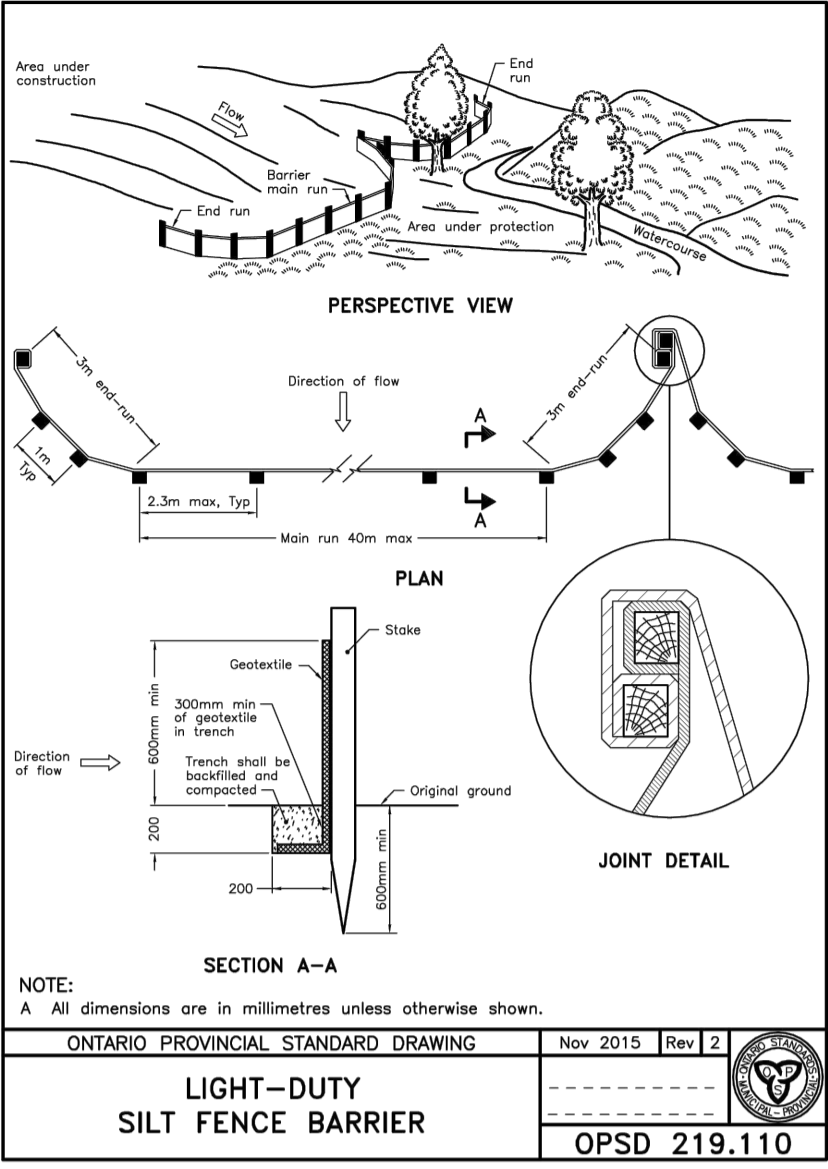
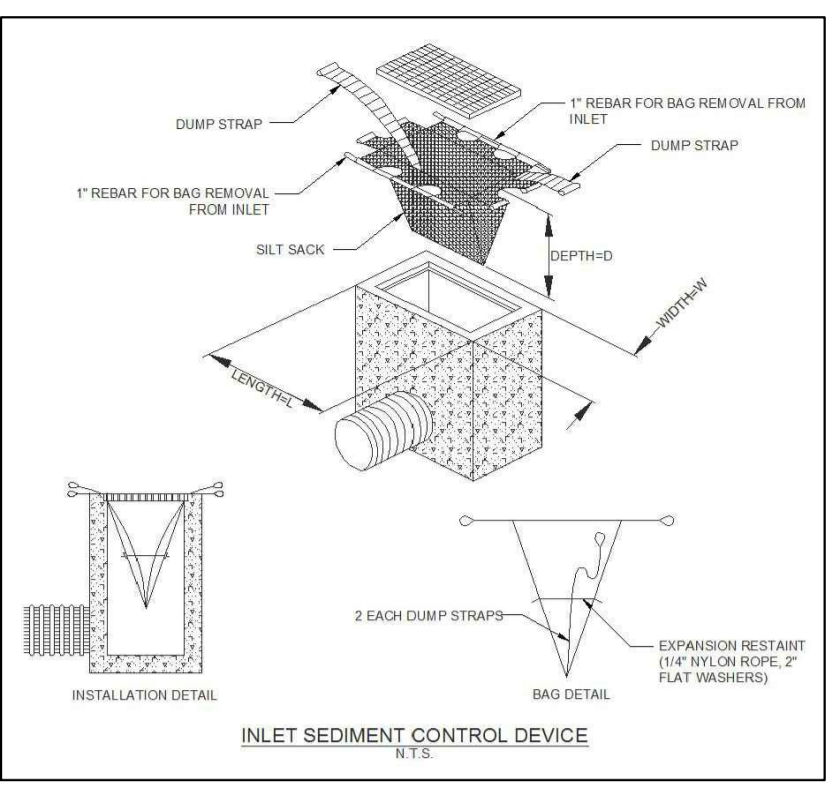
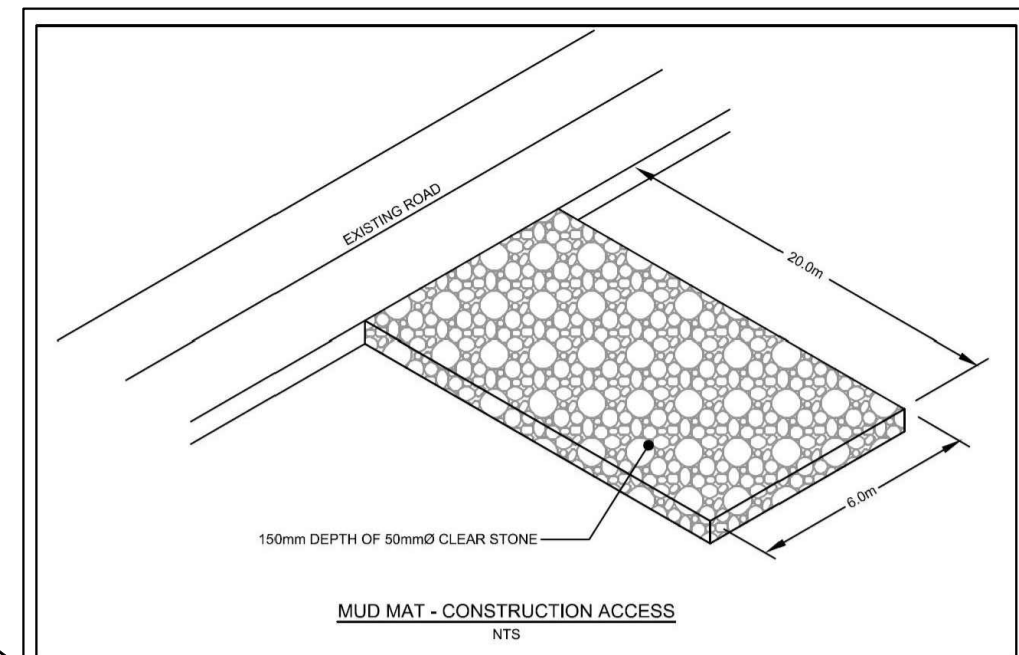
LRJ

ENGINEERING | INGÉNIERIE

5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

RESIDENTIAL BUILDING
98 & 100 BEARBROOK RD, OTTAWA
REV.07 - RE-ISSUED FOR SPC- JULY, 2024
LRL PROJECT NO.: 210628





LEGEND:

	EXISTING PROPERTY LINE TO REMAIN
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED TERRACING (3:1 MIN.)
	PROPOSED SILT FENCE AS PER OPSD 219.110
	PROPOSED FENCE
	PROPOSED DOOR ENTRANCE/EXIST
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	PROPOSED HIGH POINT ELEVATION
	PROPOSED SHALE ELEVATION
	PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED EXPOSED BOTTOM OF RETAINING WALL
	PROPOSED TOP OF RETAINING WALL
	MATCH INTO EXISTING ELEVATION
	EXISTING ELEVATION
	PROPOSED OVERLAND MAJOR FLOW ROUTE
	PROPOSED 100mm PERFORATED SUBDRAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING GAS LINE
	EXISTING MANHOLE
	EXISTING CATCHBASIN
	PROPOSED CATCHBASIN/MANHOLE/CATCHBASIN
	PROPOSED MANHOLE
	PROPOSED AREA DRAIN
	PROPOSED PIPE INSULATION
	PROPOSED 100 YEAR HIGH WATER LEVEL
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	WATERSHED NAME
	RUNOFF COEFFICIENT
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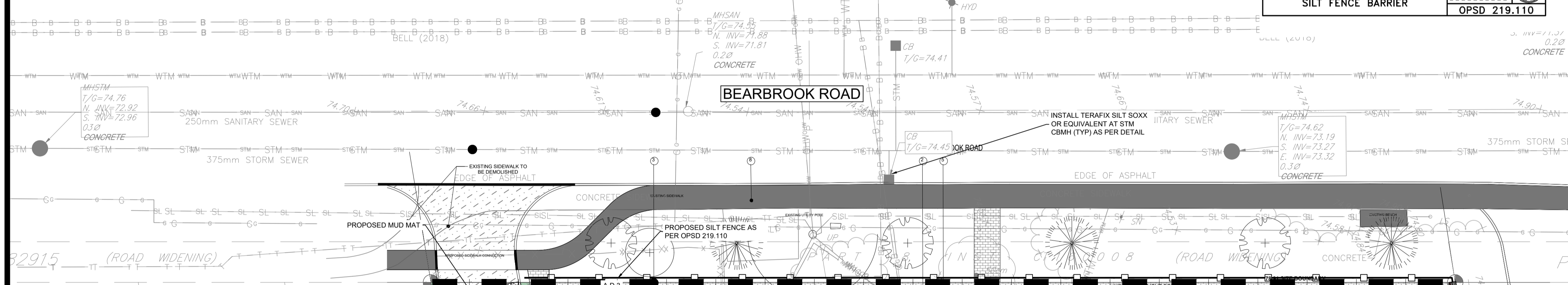
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CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE OR INSTRUCTIONS, ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.



EROSION AND SEDIMENT CONTROL MEASURES:

** CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATION, MONITORING, REPAIR AND REMOVAL OF ALL EROSION AND SEDIMENT CONTROL FEATURES **

** THE SEDIMENT AND EROSION CONTROL MEASURES MAY BE MODIFIED IN THE FIELD AT THE DISCRETION OF THE CITY OF OTTAWA SITE INSPECTOR OR CONSERVATION AUTHORITY **

1. PRIOR TO START OF CONSTRUCTION:

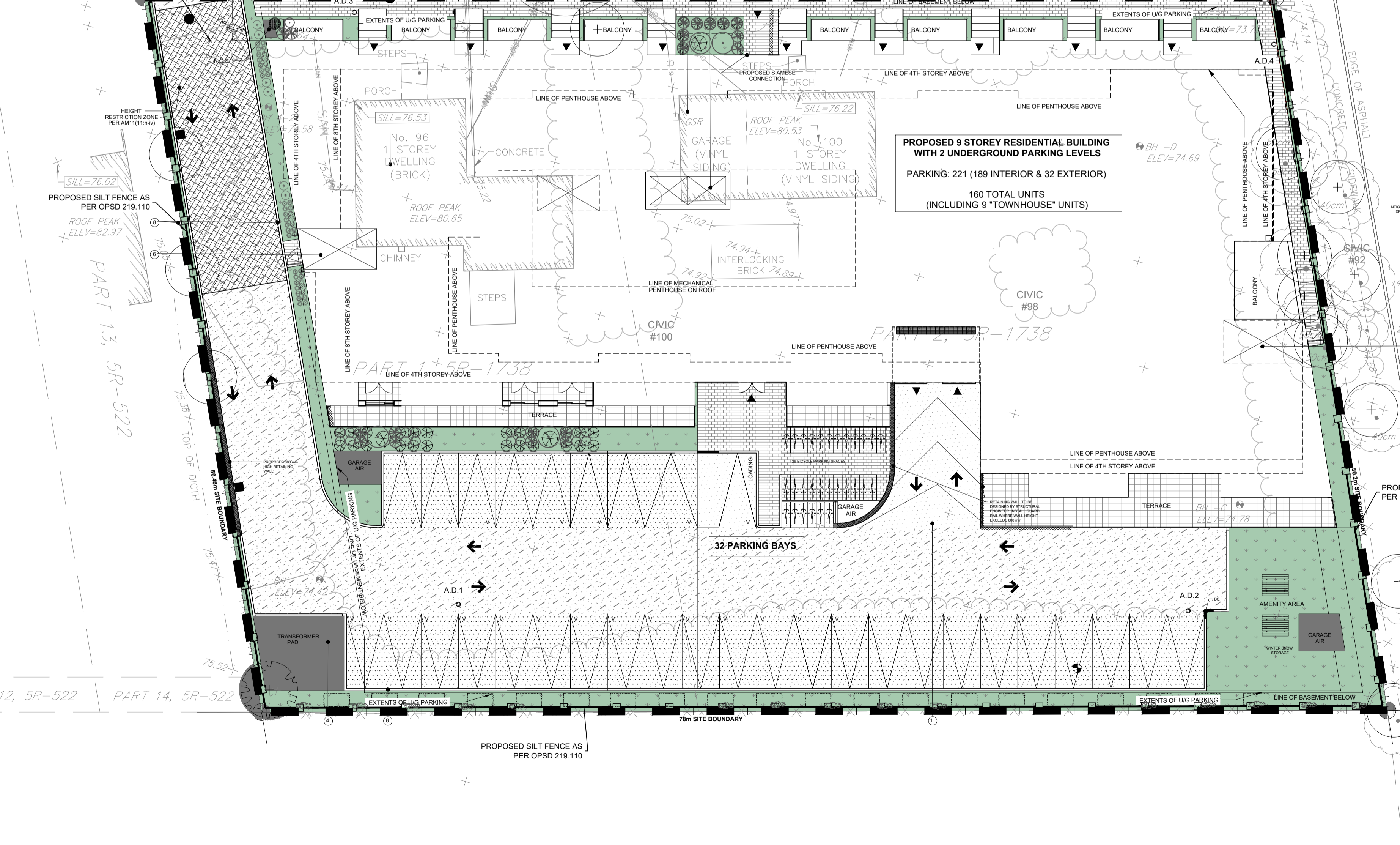
- PRIOR TO THE REMOVAL OF ANY VEGETATIVE COVER, MOVING OF SOIL AND CONSTRUCTION.
- INSTALL SILT FENCE IMMEDIATELY DOWNSTREAM FROM AREAS TO BE DISTURBED (SEE PLAN FOR LOCATION).
- INSTALL GEOSOCK INSERTS WITH AN OVERFLOW IN ALL THE DOWNSTREAM CATCHBASINS AND MANHOLES.
- INSTALL SILT SACK FILTERS IN ALL CONCRETE CATCH BASIN STRUCTURES.
- INSPECT MEASURES IMMEDIATELY AFTER INSTALLATION.

2. DURING CONSTRUCTION:

- MINIMIZE THE EXTENT OF DISTURBED AREAS AND THE DURATION OF EXPOSURE.
- PROTECT DISTURBED AREAS FROM RUNOFF.
- PROVIDE TEMPORARY COVER SUCH AS SEEDING OR MULCHING IF DISTURBED AREA WILL NOT BE REHABILITATED WITHIN 30 DAYS.
- INSPECT SILT FENCES, FILTER CLOTHS AND CATCH BASIN SUMPS WEEKLY AND AFTER EVERY MAJOR STORM EVENT. CLEAN AND REPAIR WHEN NECESSARY.
- PLAN TO BE REVIEWED AND REVISED AS REQUIRED DURING CONSTRUCTION.
- EROSION CONTROL FENCING TO BE ALSO INSTALLED AROUND THE BASE OF ALL STOCKPILES.
- DO NOT LOCATE TOPSOIL PILES AND EXCAVATION MATERIAL CLOSER THAN 2.5m FROM ANY PAVED SURFACE, OR ONE WHICH IS TO BE PAVED BEFORE THE PILE IS REMOVED. ALL TOPSOIL PILES ARE TO BE SEEDED IF THEY ARE TO REMAIN ON SITE LONG ENOUGH FOR SEEDS TO GROW (LONGER THAN 30 DAYS).
- CONTROL WIND-BLOWN DUST OFF SITE TO ACCEPTABLE LEVELS BY SEEDING TOPSOIL PILES AND OTHER AREAS TEMPORARILY (PROVIDE WATERING AS REQUIRED).
- ALL EROSION CONTROL STRUCTURE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR RESTORATION OF VEGETATIVE GROUND COVER.
- NO ALTERNATE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THIS CONSULTING ENGINEER AND THE CITY DEPARTMENT OF PUBLIC WORKS.
- CONTRACTOR RESPONSIBLE FOR CITY ROADWAY AND SIDEWALK TO BE CLEANED OF ALL SEDIMENT FROM VEHICULAR TRACKING ETC. AT THE END OF EACH WORK DAY.
- PROVIDE GRAVEL ENTRANCE WHEREVER EQUIPMENT LEAVES THE SITE TO PREVENT MUD TRACKING ONTO PAVED SURFACES. GRAVEL BED SHALL BE A MINIMUM OF 15m LONG, 4M WIDE AND 0.3m DEEP AND SHALL CONSIST OF COARSE (50mm CRUSHED LIMESTONE) MATERIAL. MAINTAIN GRAVEL ENTRANCE IN CLEAN CONDITION.
- DURING WET CONDITIONS, TIRES OF ALL VEHICLES/EQUIPMENT LEAVING THE SITE ARE TO BE SCRAPPED.
- ANY MUD MATERIAL TRACKED ONTO THE ROAD SHALL BE REMOVED IMMEDIATELY BY HAND OR RUBBER TIRE LOADER.
- TAKE ALL NECESSARY STEPS TO PREVENT BUILDING MATERIAL, CONSTRUCTION DEBRIS OR WASTE BEING SPILLED OR TRACKED ONTO ADJACENT PROPERTIES OR PUBLIC STREETS DURING CONSTRUCTION AND PROCEED IMMEDIATELY TO CLEAN UP ANY AREAS SO AFFECTED.

3. AFTER CONSTRUCTION:

- PROVIDE PERMANENT COVER CONSISTING OF TOPSOIL AND SEED TO DISTURBED AREAS.
- REMOVE STRAW BALE FLOW CHECK DAMS, SILT FENCES AND FILTER CLOTHS ON CATCH BASINS AND MANHOLE COVERS AFTER DISTURBED AREAS HAVE BEEN REHABILITATED AND STABILIZED.
- INSPECT AND CLEAN CATCH BASIN SUMPS AND STORM SEWERS.



REVISIONS

No.	REVISIONS	BY	DATE
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06	ISSUED FOR PERMIT	S.V.	11 JULY 2024
05	ISSUED FOR COORDINATION	S.V.	15 APR 2024
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PROFESSIONAL ENGINEER
V. JOHNSON
 100510576
 07-29-2024
 PROVINCE OF ONTARIO

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 www.lrl.ca | (613) 842-3434

CLIENT
LANDRIC HOMES LTD.

DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT
RESIDENTIAL BUILDING
98 & 100 BEARBROOK, OTTAWA, ONTARIO

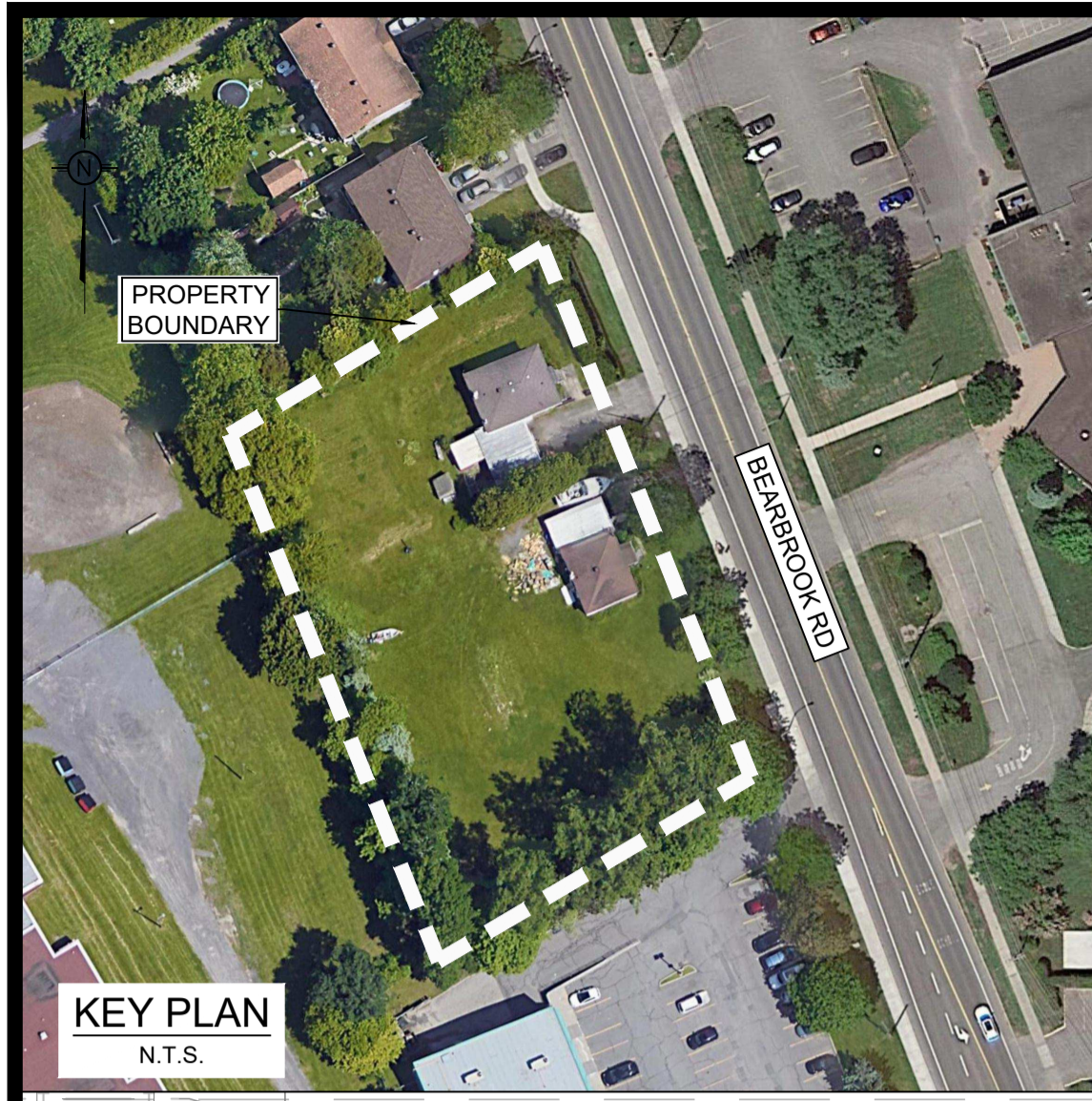
DRAWING TITLE
EROSION AND SEDIMENT CONTROL PLAN

PROJECT NO.
 210628

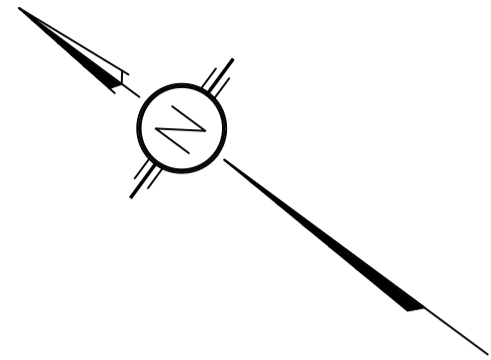
DATE
 NOV 2021

C101

D07-12-22-0075



KEY PLAN
N.T.S.

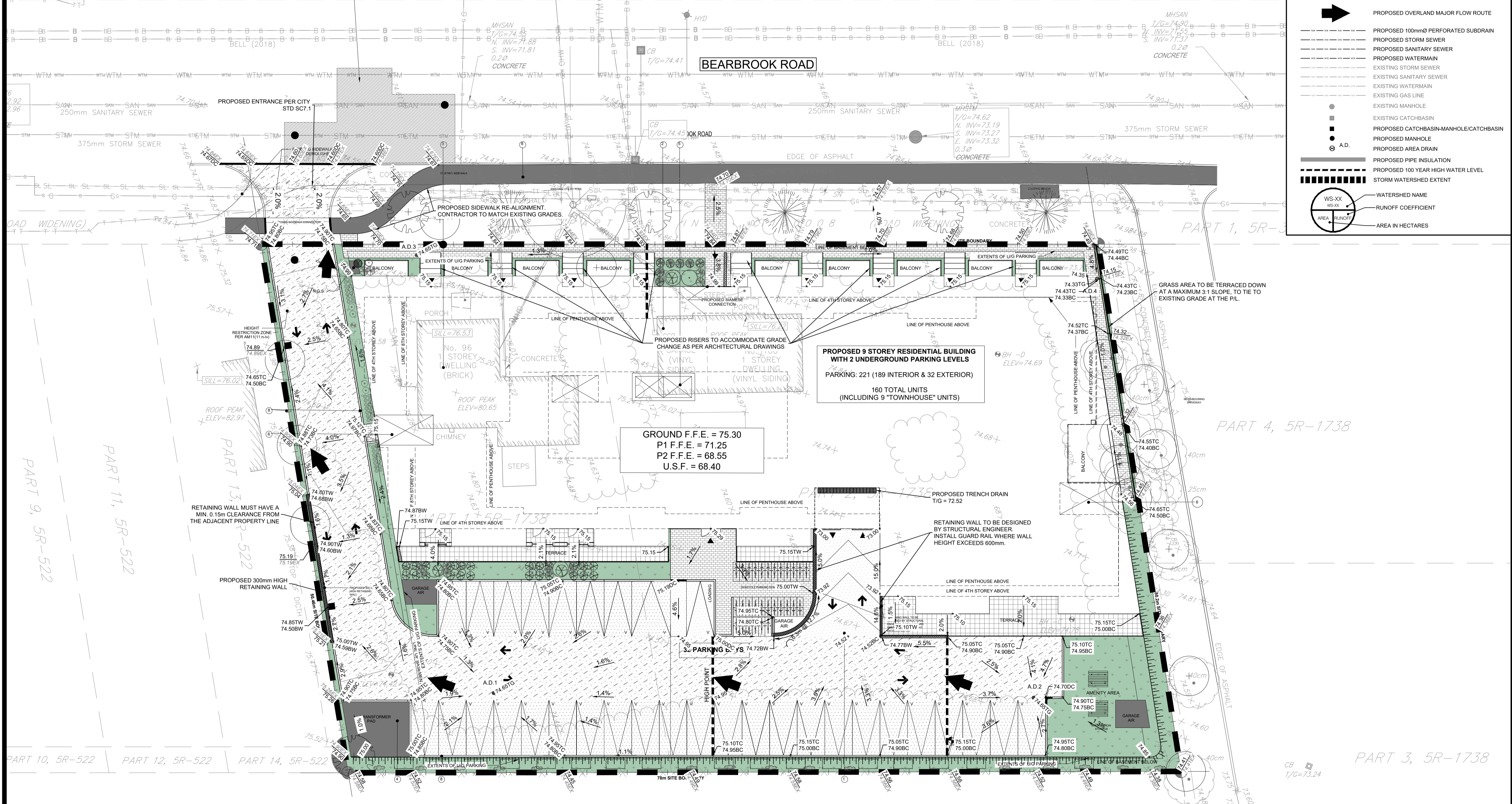


ASPHALT REINSTATEMENT SHALL MATCH EXISTING GRANULAR AND ASPHALT THICKNESS WHILE MAINTAINING A MINIMUM OF:
 40mm HL-3
 50mm HL-8
 150 GRANULAR "A"
 450mm GRANULAR "B"
 CONTRACTOR TO COMPLETE ROAD CUT AS PER CITY OF OTTAWA DETAIL R10.

PAVEMENT STRUCTURE

COURSE	MATERIAL	THICKNESS (mm)	
		AUTOMOBILE PARKING	TRUCK ROUTE (HEAVY TRAFFIC)
SURFACE	HL-3 A/C (PG 58-28)	50	40
BINDER	HL-8 A/C (PG 58-28)	-	50
BASECOURSE	OPSS GRANULAR "A"	150	150
SUBBASE	OPSS GRANULAR "B" TYPE II	300	450

NOTE:
 PAVEMENT DESIGN AS PER GEOTECHNICAL INVESTIGATION REPORT # PG5883-1, BY PATERSON GROUP, DATED NOV 5, 2021.
 IN PREPARATION FOR PAVEMENT CONSTRUCTION AT THIS SITE, ANY SURFICIAL OR NEAR SURFACE/SUBGRADE LEVEL TOPSOIL AND ANY SOFT, WET OR DELETERIOUS MATERIALS SHOULD BE REMOVED FROM THE PROPOSED PAVED AREAS. THE EXPOSED SUBGRADE SHOULD BE INSPECTED AND APPROVED BY GEOTECHNICAL PERSONNEL AND ANY SOFT AREAS EVIDENT SHOULD BE SUBGRADED AND REPLACED WITH SUITABLE EARTH BORROW APPROVED BY THE GEOTECHNICAL ENGINEER. THE SUBGRADE SHOULD BE SHARPED AND CROWNED TO PROMOTE DRAINAGE OF THE SITE DRAINAGE STRUCTURES. FOLLOWING APPROVAL OF THE PREPARATION OF THE SUBGRADE, THE PAVEMENT GRANULARS MAY BE PLACED.



LEGEND

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
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- PROPOSED SWALE ELEVATION
- PROPOSED BOTTOM OF CURB
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED EXPOSED BOTTOM OF RETAINING WALL
- PROPOSED TOP OF RETAINING WALL
- MATCH INTO EXISTING ELEVATION
- EXISTING ELEVATION
- PROPOSED OVERLAND MAJOR FLOW ROUTE
- PROPOSED 100mm PERFORATED SUBDRAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING GAS LINE
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
- PROPOSED MANHOLE
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Licensed Professional Engineer
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 100510576
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NOT AUTHENTIC UNLESS SIGNED AND DATED

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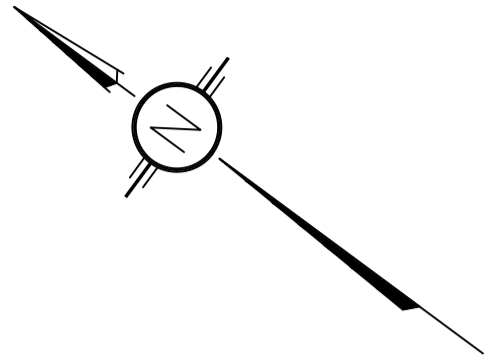
PROJECT
**RESIDENTIAL BUILDING
 98 & 100 BEARBROOK, OTTAWA, ONTARIO**

DRAWING TITLE
GRADING AND DRAINAGE PLAN

PROJECT NO.
210628

DATE
NOV 2021

C301



KEY PLAN
N.T.S.

ASPHALT REINSTATEMENT SHALL MATCH EXISTING GRANULAR AND ASPHALT THICKNESS WHILE MAINTAINING A MINIMUM OF:
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150 GRANULAR "A"
450mm GRANULAR "B"
CONTRACTOR TO COMPLETE ROAD CUT AS PER CITY OF OTTAWA DETAIL R10.

PROF TWO (2) 150x300 TVS CONNECTIONS TO 305mmØ WATERMAIN BY CITY FORCES. EXCAVATION AND REINSTATEMENT BY CONTRACTOR.
TIG = 274.63
EX. WATERMAIN O.B.V. = 272.50
CONTRACTOR TO CONFIRM EX. T.I.P.O. WATERMAIN

PROPOSED SAN MH 01
TIG = 274.55
EX. INV. = 271.89
W. INV. = 72.08
EX. 375mmØ CONC. STM @ ±0.25%

PROPOSED SAN MH 02
TIG = 74.61
NE INV. = 72.34
SW INV. = 72.40
EX. INV. = 273.04
W. INV. = 73.23

PROPOSED SAN MH 03
TIG = 74.61
NE INV. = 72.34
SW INV. = 72.40
EX. INV. = 273.04
W. INV. = 73.23

PROPOSED SAN MH 200
TIG = 74.50
SW INV. = 73.45
NW INV. = 73.48
E INV. = 73.42
CM VERTICAL VORTEX 100VHV-1ICD (OR APPROVED EQUIVALENT)
H = 1.18m
Q = 8.63 L/S

PROPOSED SAN MH 201
TIG = 74.50
SW INV. = 73.45
NW INV. = 73.48
E INV. = 73.42
CM VERTICAL VORTEX 100VHV-1ICD (OR APPROVED EQUIVALENT)
H = 1.18m
Q = 8.63 L/S

PROPOSED SAN MH 202
TIG = 74.50
SW INV. = 73.45
NW INV. = 73.48
E INV. = 73.42
CM VERTICAL VORTEX 100VHV-1ICD (OR APPROVED EQUIVALENT)
H = 1.18m
Q = 8.63 L/S

PROPOSED SAN MH 203
TIG = 74.50
SW INV. = 73.45
NW INV. = 73.48
E INV. = 73.42
CM VERTICAL VORTEX 100VHV-1ICD (OR APPROVED EQUIVALENT)
H = 1.18m
Q = 8.63 L/S

PROPOSED SAN MH 204
TIG = 74.50
SW INV. = 73.45
NW INV. = 73.48
E INV. = 73.42
CM VERTICAL VORTEX 100VHV-1ICD (OR APPROVED EQUIVALENT)
H = 1.18m
Q = 8.63 L/S

PROPOSED SAN MH 205
TIG = 74.50
SW INV. = 73.45
NW INV. = 73.48
E INV. = 73.42
CM VERTICAL VORTEX 100VHV-1ICD (OR APPROVED EQUIVALENT)
H = 1.18m
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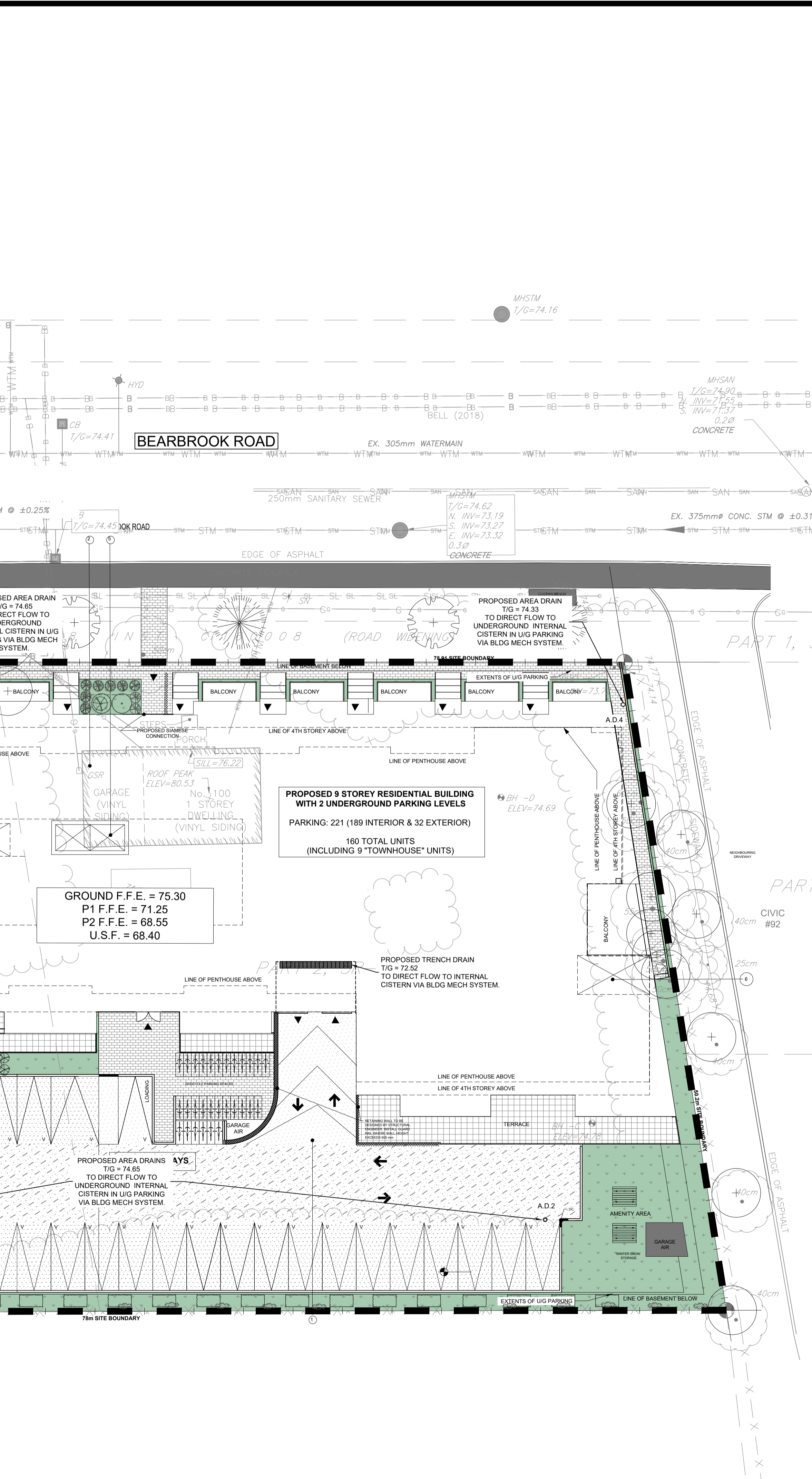
PROPOSED SAN MH 206
TIG = 74.50
SW INV. = 73.45
NW INV. = 73.48
E INV. = 73.42
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H = 1.18m
Q = 8.63 L/S

PROPOSED SAN MH 207
TIG = 74.50
SW INV. = 73.45
NW INV. = 73.48
E INV. = 73.42
CM VERTICAL VORTEX 100VHV-1ICD (OR APPROVED EQUIVALENT)
H = 1.18m
Q = 8.63 L/S

PROPOSED SAN MH 208
TIG = 74.50
SW INV. = 73.45
NW INV. = 73.48
E INV. = 73.42
CM VERTICAL VORTEX 100VHV-1ICD (OR APPROVED EQUIVALENT)
H = 1.18m
Q = 8.63 L/S

PROPOSED SAN MH 209
TIG = 74.50
SW INV. = 73.45
NW INV. = 73.48
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BEARBROOK ROAD

PROPOSED 9 STOREY RESIDENTIAL BUILDING
WITH 2 UNDERGROUND PARKING LEVELS
PARKING: 221 (189 INTERIOR & 32 EXTERIOR)
160 TOTAL UNITS
(INCLUDING 9 "TOWNHOUSE" UNITS)

GROUND F.F.E. = 75.30
P1 F.F.E. = 71.25
P2 F.F.E. = 68.55
U.S.F. = 68.40

LEGEND:

	EXISTING PROPERTY LINE TO REMAIN
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED TERRACING (3:1 MIN.)
	PROPOSED SILT FENCE AS PER OPSD 219.110
	PROPOSED FENCE
	PROPOSED DOOR ENTRANCE/EXIT
	PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
	PROPOSED CONCRETE FEATURES/SLAB
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
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	PROPOSED HIGH POINT ELEVATION
	PROPOSED SHALE ELEVATION
	PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED EXPOSED BOTTOM OF RETAINING WALL
	PROPOSED TOP OF RETAINING WALL
	MATCH INTO EXISTING ELEVATION
	EXISTING ELEVATION
	PROPOSED OVERLAND MAJOR FLOW ROUTE
	PROPOSED 100mmØ PERFORATED SUBDRAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING GAS LINE
	EXISTING MANHOLE
	EXISTING CATCHBASIN
	PROPOSED MANHOLE
	PROPOSED AREA DRAIN
	PROPOSED PIPE INSULATION
	PROPOSED 100 YEAR HIGH WATER LEVEL
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IN ADDITION, THE CLIENT AGREES TO INCLUDE IN ANY CONTRACTS FOR CONSTRUCTION APPROPRIATE LANGUAGE THAT PROHIBITS THE CONTRACTOR OR ANY SUBCONTRACTORS OF ANY TIER FROM MAKING ANY CHANGES OR MODIFICATIONS TO LRL'S DRAWINGS WITHOUT THE PRIOR WRITTEN APPROVAL OF LRL AND THAT FURTHER REQUIRES THE CONTRACTOR TO INDEMNIFY BOTH LRL AND THE CLIENT FROM ANY LIABILITY OR COST ARISING FROM SUCH CHANGES MADE WITHOUT SUCH PROPER AUTHORIZATION.

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ENGINEERING | INGENIERIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

CLIENT
LANDRIC HOMES LTD.

DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT
**RESIDENTIAL BUILDING
98 & 100 BEARBROOK, OTTAWA, ONTARIO**

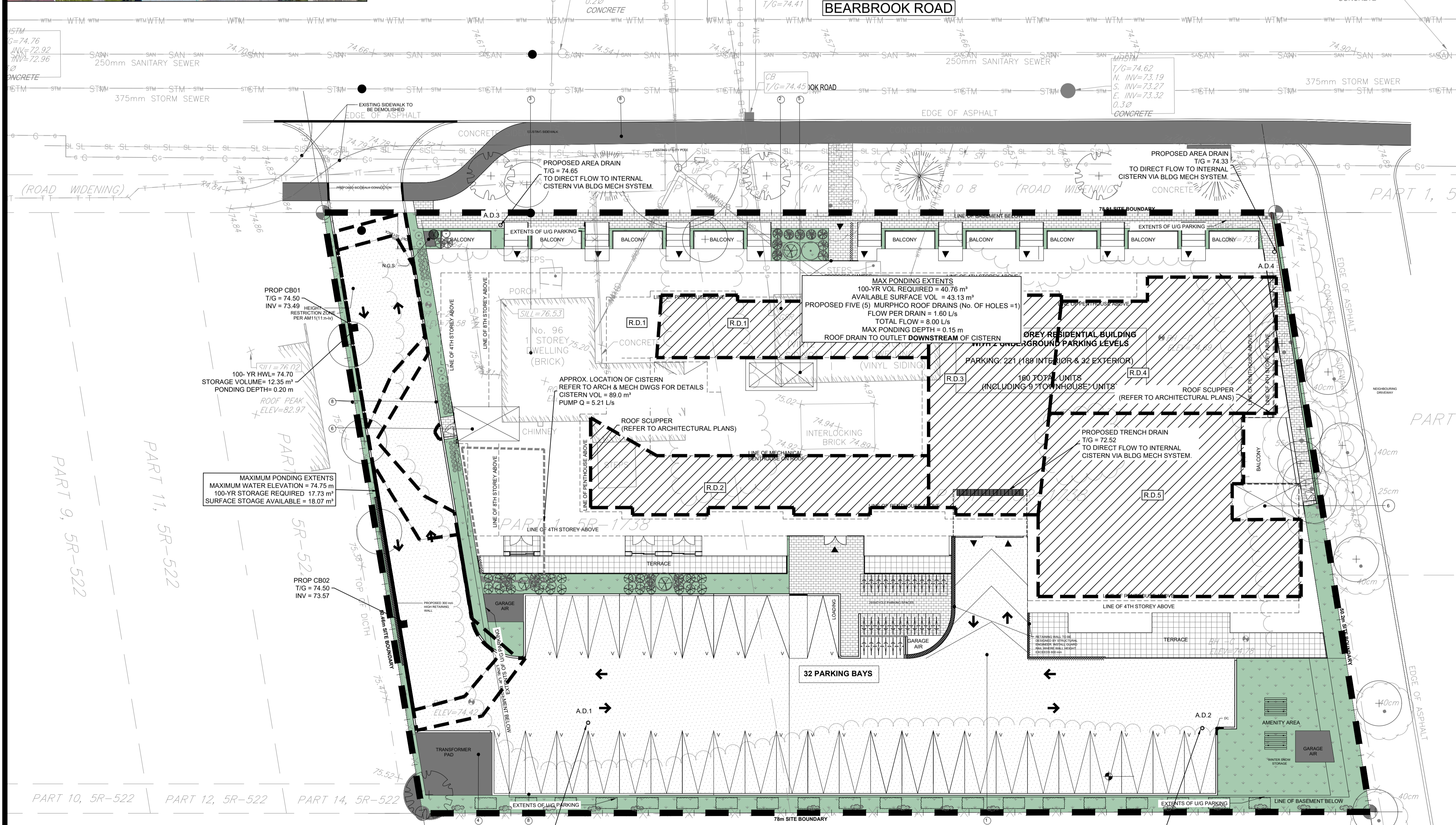
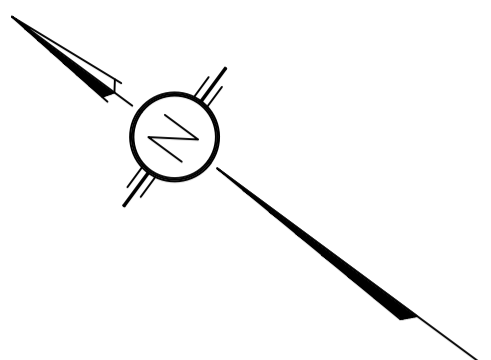
DRAWING TITLE
SERVICING PLAN

PROJECT NO.
210628
DATE
NOV 2021

C401

#18758

D07-12-22-0075



LEGEND:

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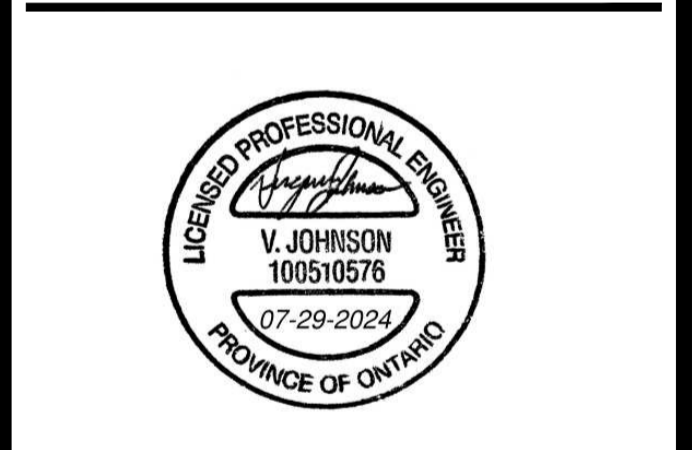
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CLIENT: LANDRIC HOMES LTD.

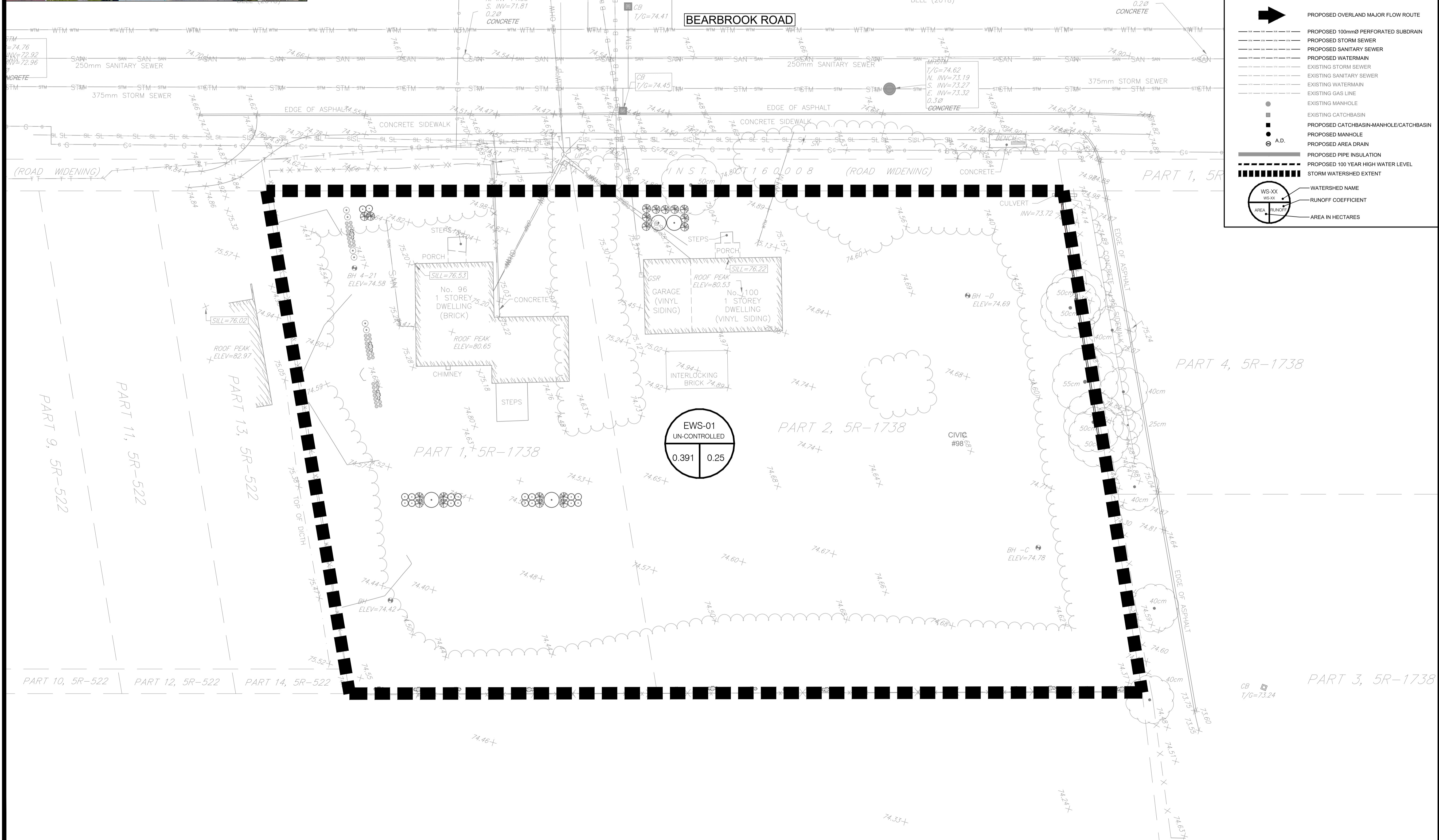
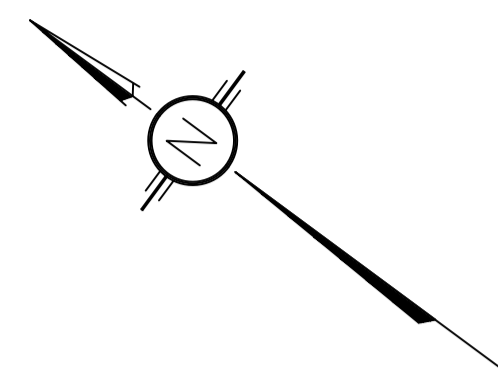
DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT: RESIDENTIAL BUILDING 98 & 100 BEARBROOK, OTTAWA, ONTARIO

DRAWING TITLE: STORMWATER MANAGEMENT PLAN

PROJECT NO: 210628 DATE: NOV 2021





LEGEND:

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- PROPOSED SILT FENCE AS PER OPSD 219.110
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- PROPOSED SHALE ELEVATION +50.00S
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- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
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LRL
ENGINEERING | INGÉNIÉRIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

CLIENT: **LANDRIC HOMES LTD.**

DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT: **RESIDENTIAL BUILDING
98 & 100 BEARBROOK, OTTAWA, ONTARIO**

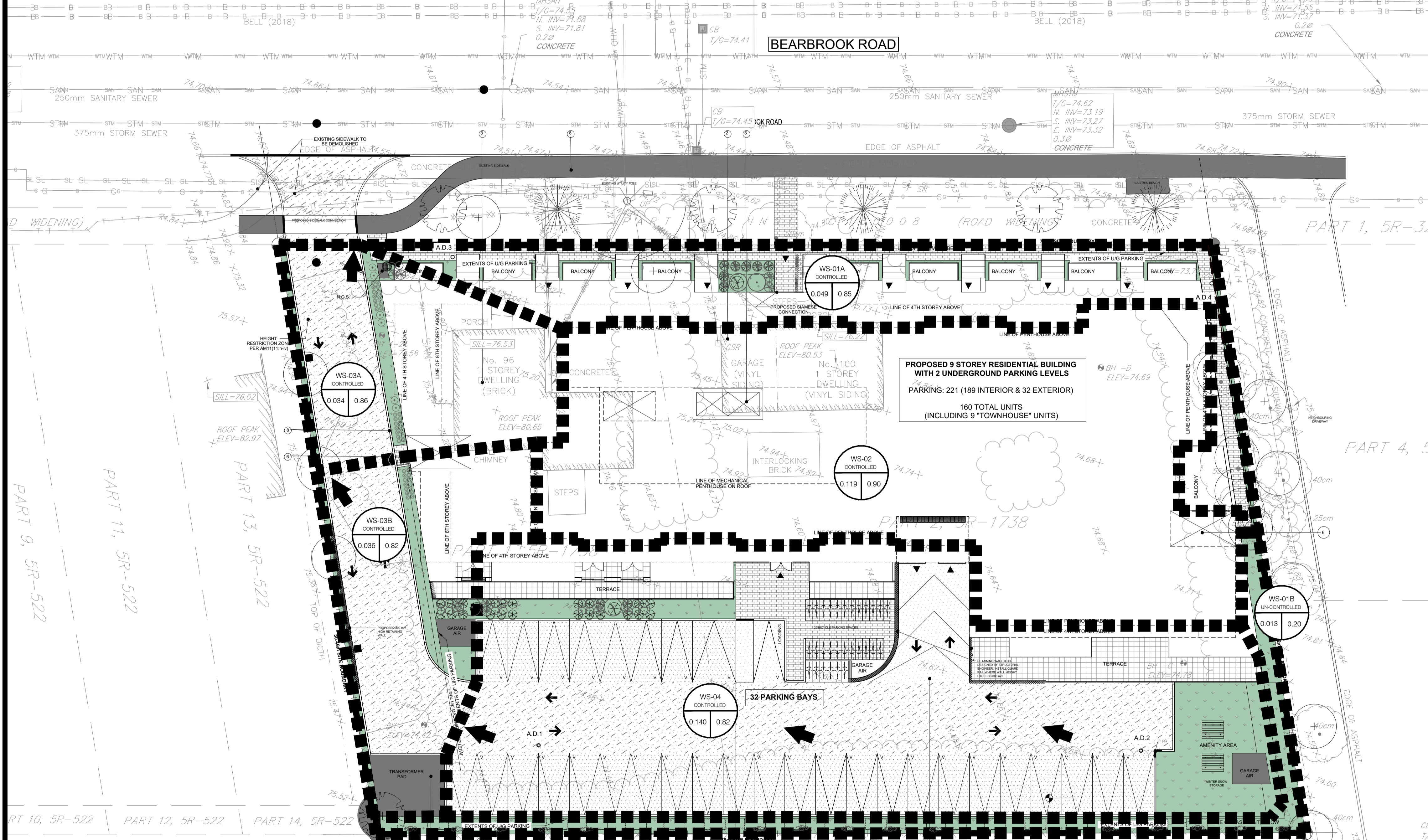
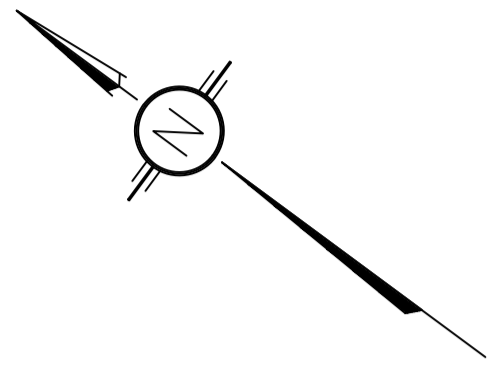
DRAWING TITLE: **PRE-DEVELOPMENT
WATERSHED PLAN**

PROJECT NO: **210628**
DATE: **NOV 2021**

C701

#18758

D07-12-22-0075



LEGEND:

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BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER CONFIRMS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS. THE CONTRACTOR CONFIRMS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, CADD FILES OR OTHER ELECTRONIC MEDIA AND COPIES THERE OF FURNISHED BY THE ENGINEER ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT, INCLUDING REPEATS OF THE PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ENGINEER.

UNLESS THE REVISION TITLE IS "ISSUED FOR CONSTRUCTION", THESE DRAWINGS SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED AS A CONSTRUCTION DOCUMENT.

THESE DRAWINGS ILLUSTRATE THE WORK TO BE DONE. THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO DO THE WORK, OR THE SAFETY ASPECTS OF CONSTRUCTION, AND NOTHING ON THESE DRAWINGS EXPRESSED OR IMPLIED CHANGES THIS CONDITION. CONTRACTOR SHALL DETERMINE ALL CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR KNOWING HOW THEY AFFECT THE WORK. SUBMITTAL OF A BID TO PERFORM THIS WORK IS A KNOWLEDGEABLE ACCEPTANCE OF THE RESPONSIBILITIES, AND THAT THEY HAVE BEEN FULLY CONSIDERED IN PLANNING OF THE WORK, AND THE BID PRICE. NO CLAIMS FOR EXTRA CHARGES DUE TO THESE CONDITIONS WILL BE FORTHCOMING.

UNAUTHORIZED CHANGES:

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY LRL ASSOCIATES LTD. (LRL) WITHOUT OBTAINING LRL'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST LRL AND TO RELEASE LRL FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

IN ADDITION, THE CLIENT AGREES TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LRL FROM ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

EXISTING SERVICES AND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT MAY NOT BE COMPLETE OR TO DATE. CONTRACTOR SHALL VERIFY WITH RESPECT TO LOCATION AND ELEVATION OF PIPES AND CHECK WITH THE UTILITY COMPANIES BEFORE DIGGING OR PERFORMING WORK.

CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE CONTRACT DOCUMENTS, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

SCALE: 1:200

No.	REVISIONS	BY	DATE
07	RE-ISSUED FOR SPC	S.V.	29 JULY 2024
06	ISSUED FOR PERMIT	S.V.	11 JULY 2024
05	ISSUED FOR COORDINATION	S.V.	15 APR 2024
04	RE-ISSUED FOR MUNICIPAL APPROVAL	S.K.	23 NOV 2023
03	ISSUED FOR COORDINATION	S.V.	20 OCT 2023
02	ISSUED FOR MUNICIPAL APPROVAL	M.L.	15 MAY 2023
01	ISSUED FOR MUNICIPAL APPROVAL	A.S.	01 APR 2022



NOT AUTHENTIC UNLESS SIGNED AND DATED

LRL
ENGINEERING | INGÉNIÉRIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

CLIENT: **LANDRIC HOMES LTD.**

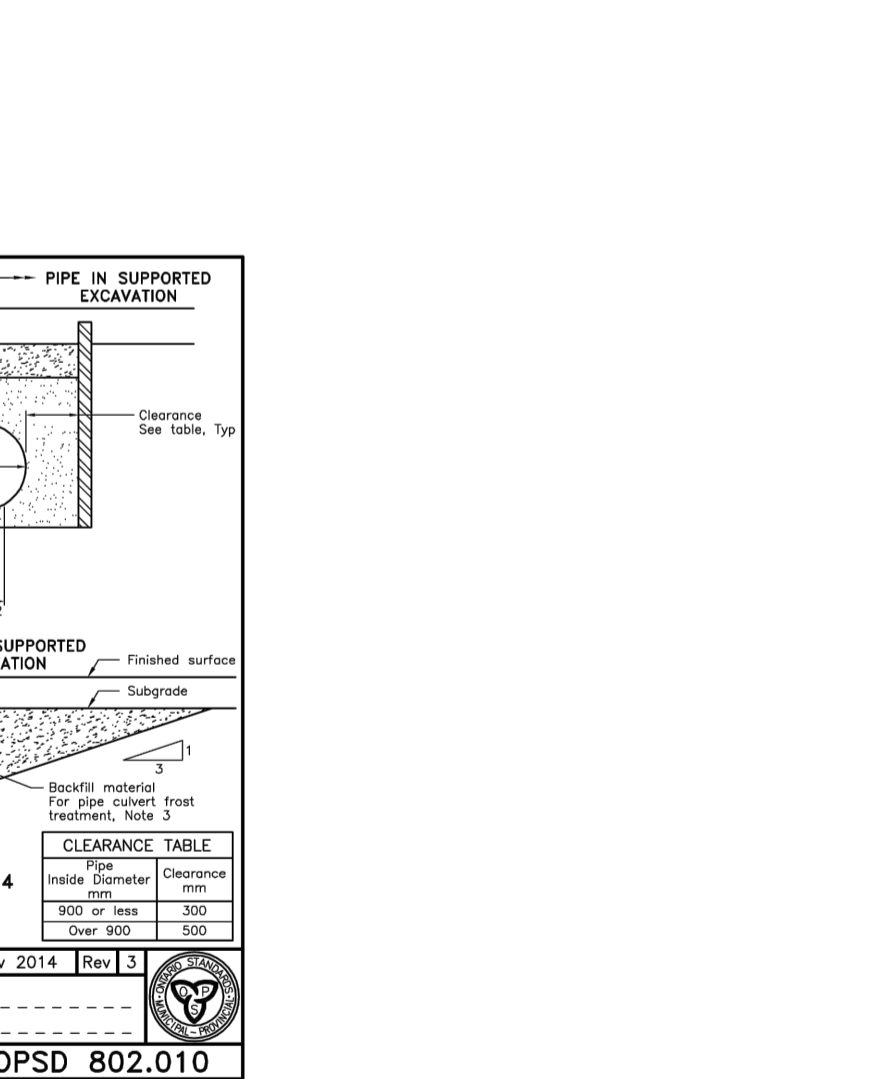
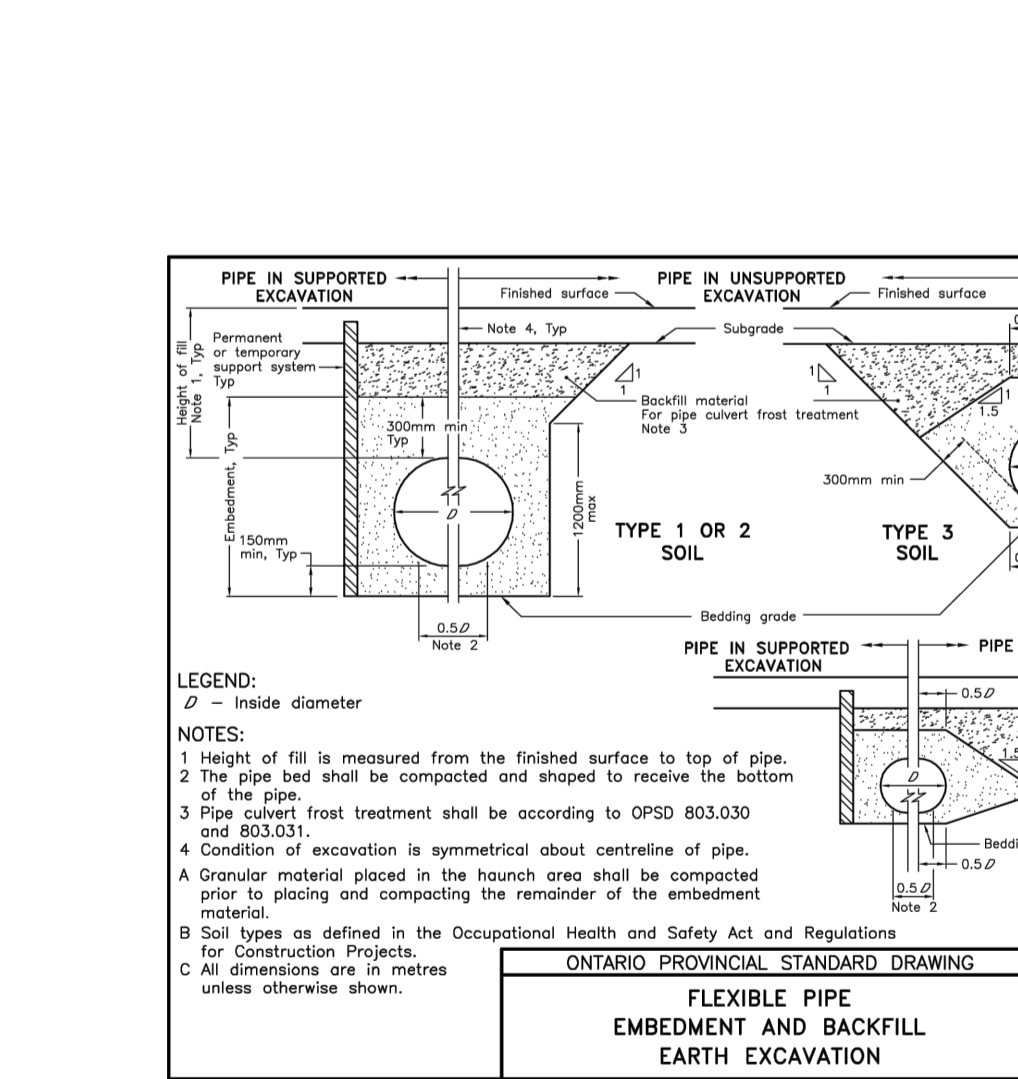
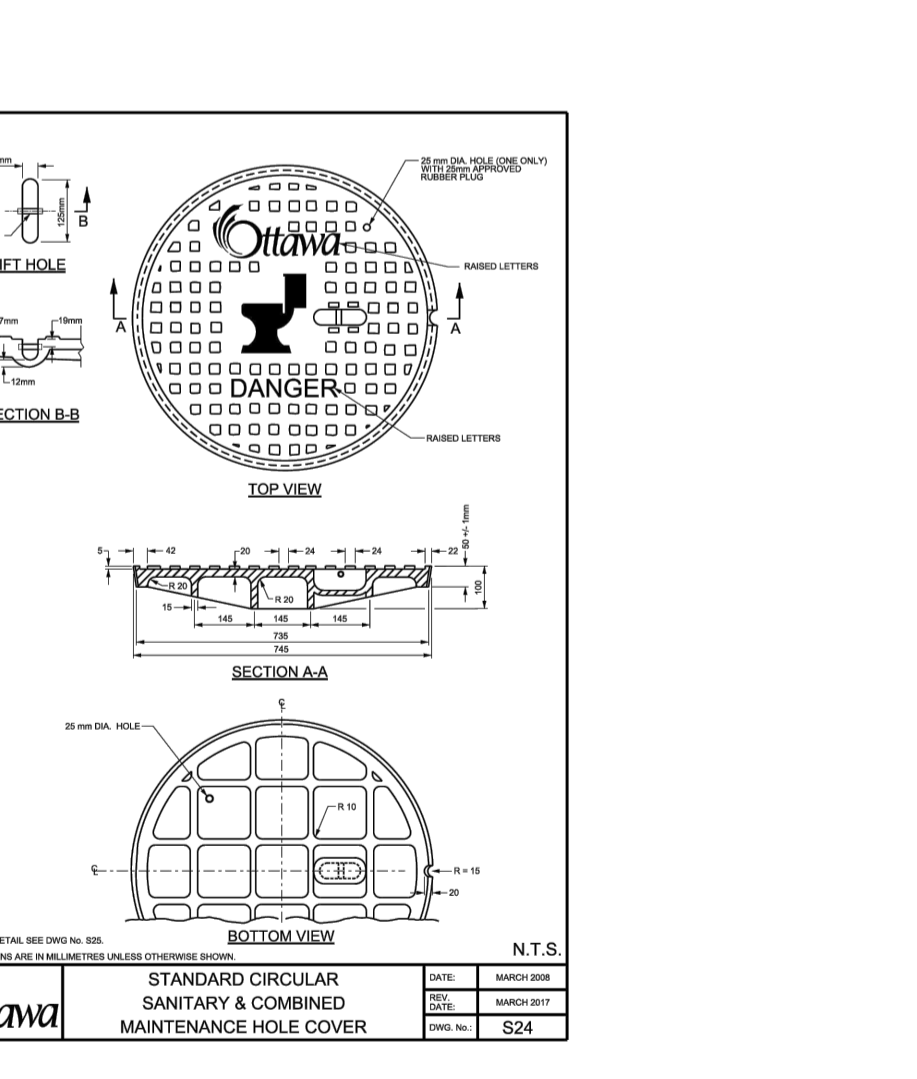
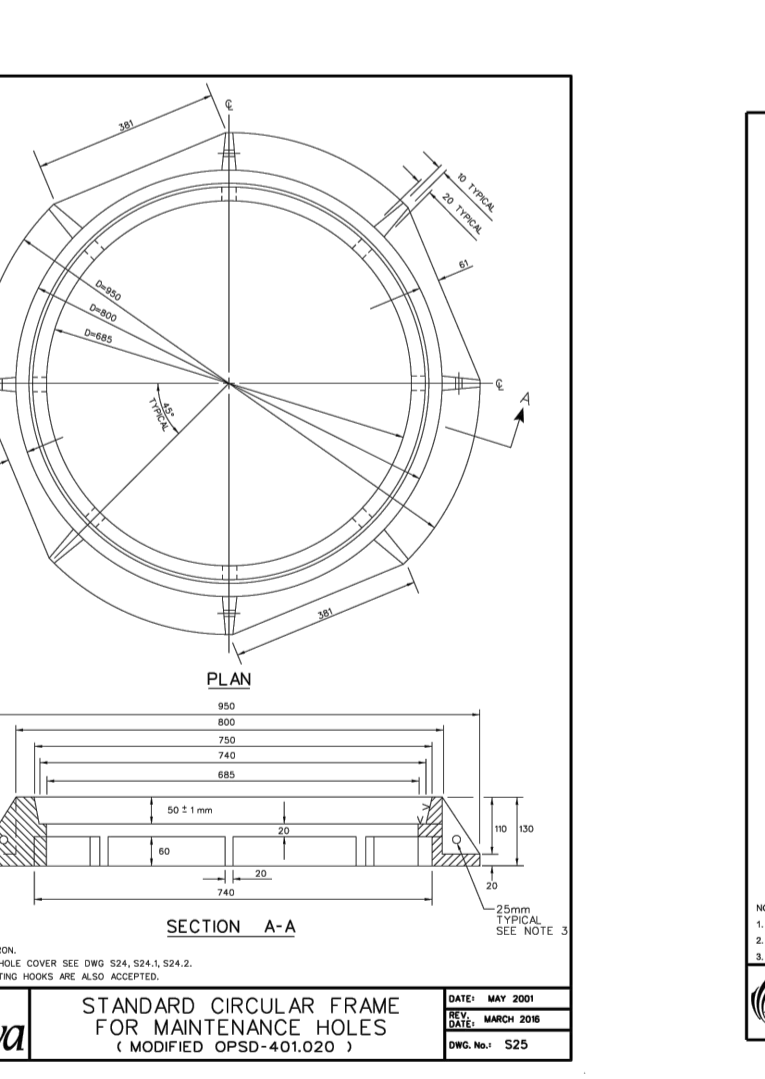
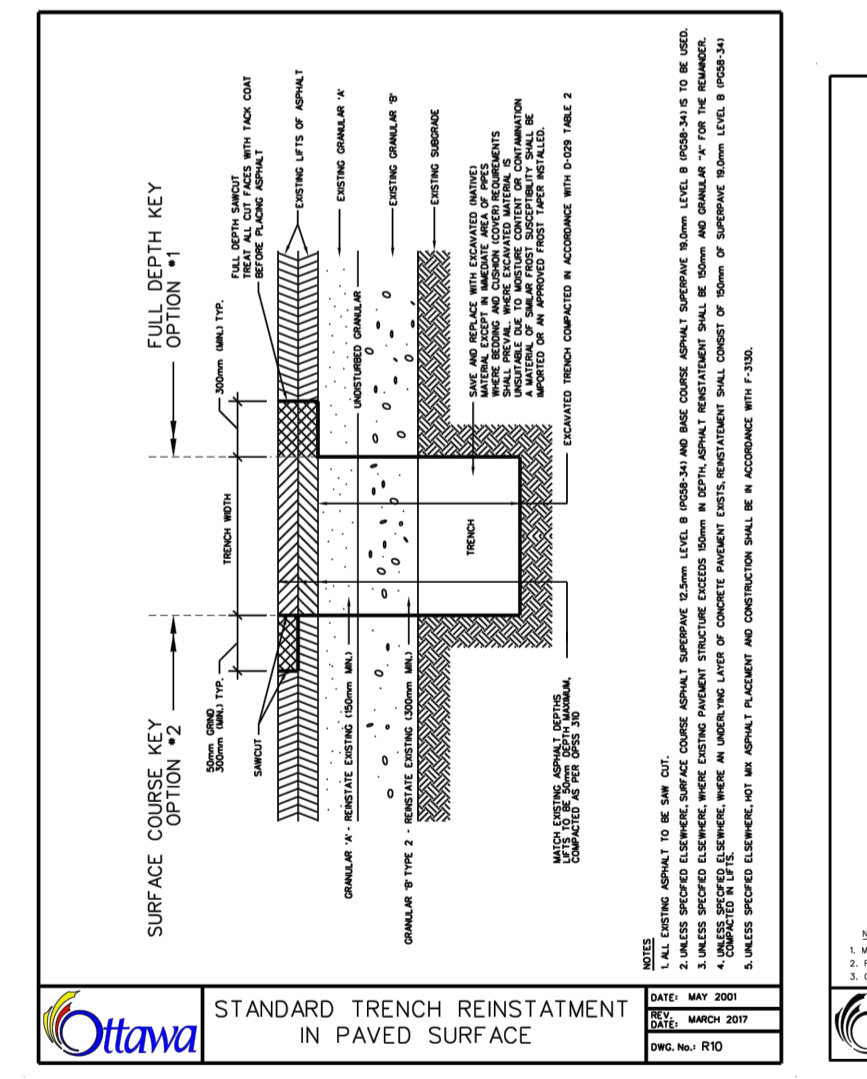
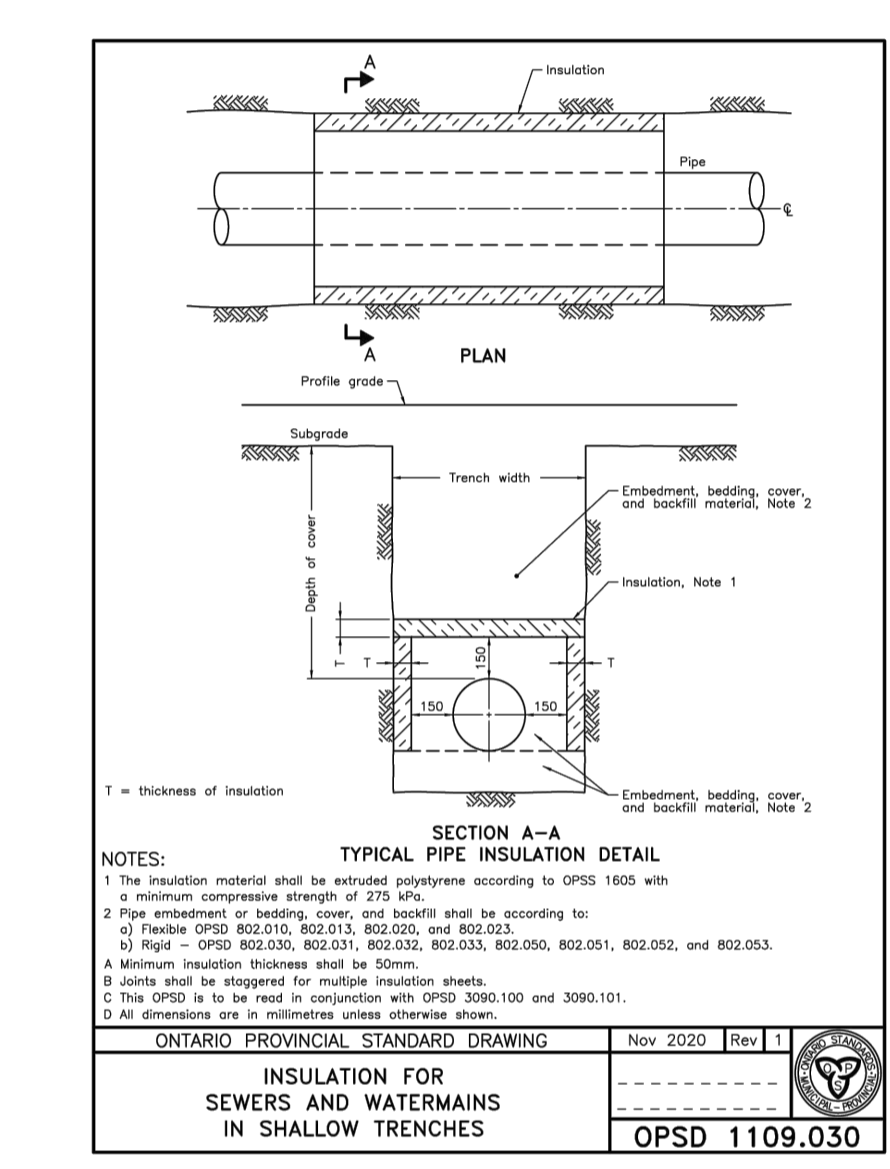
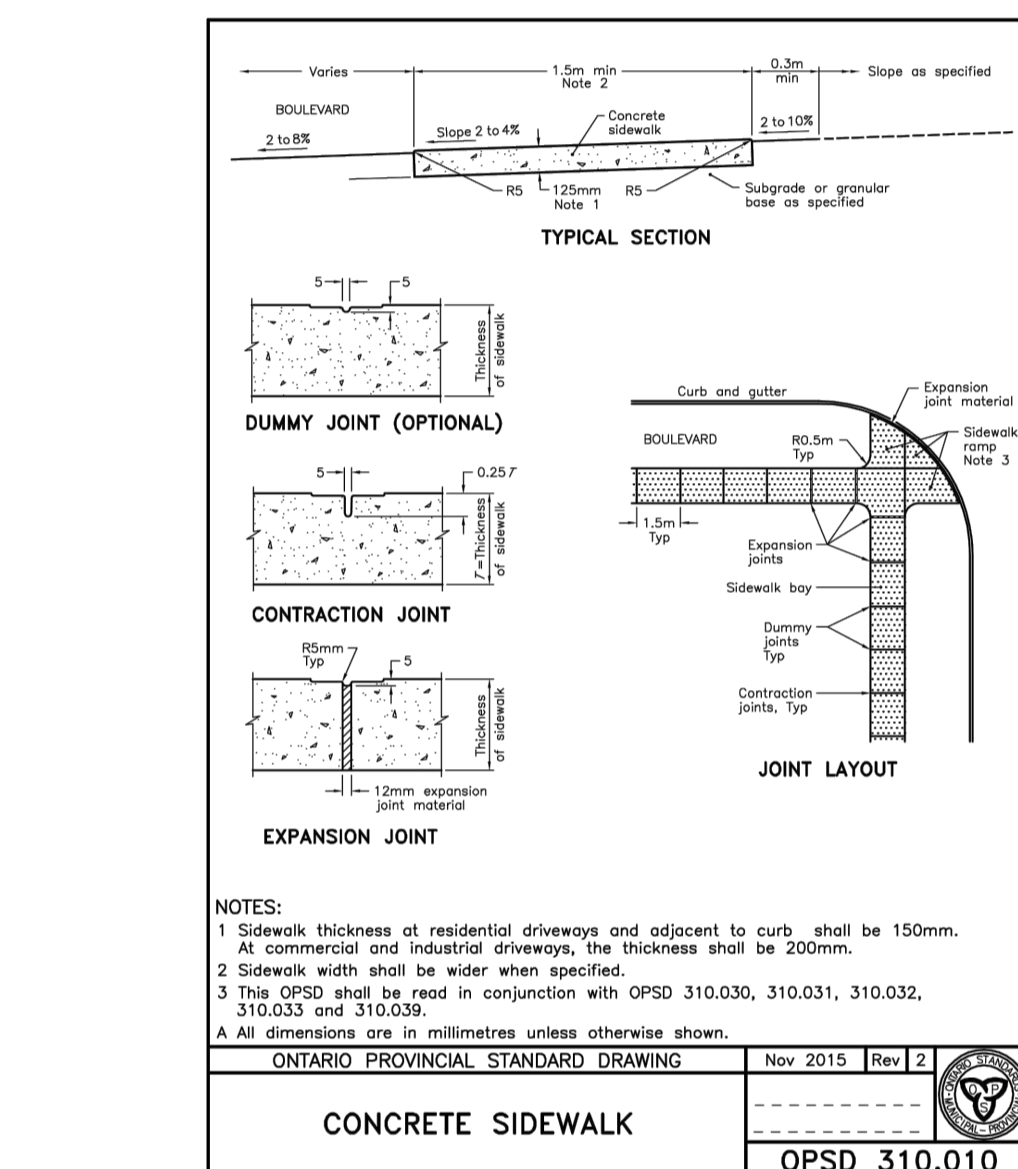
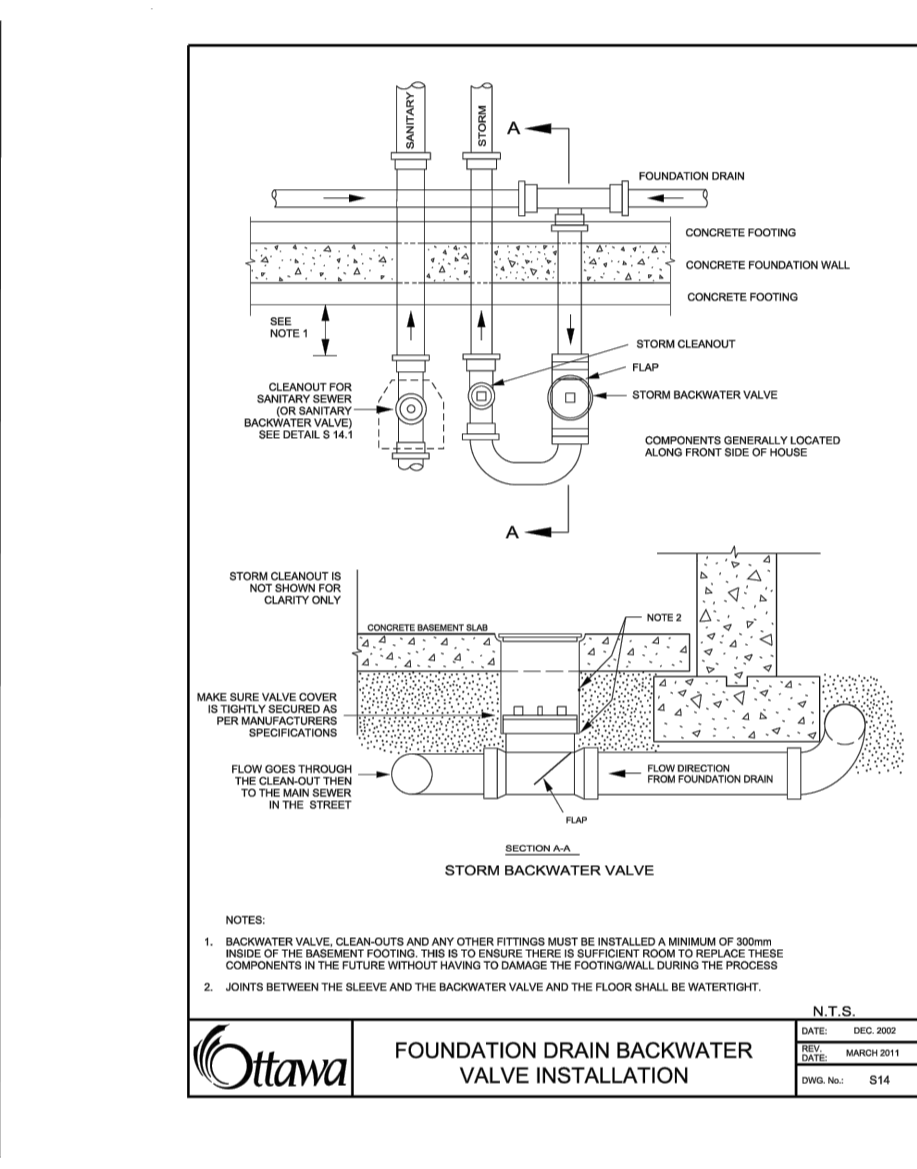
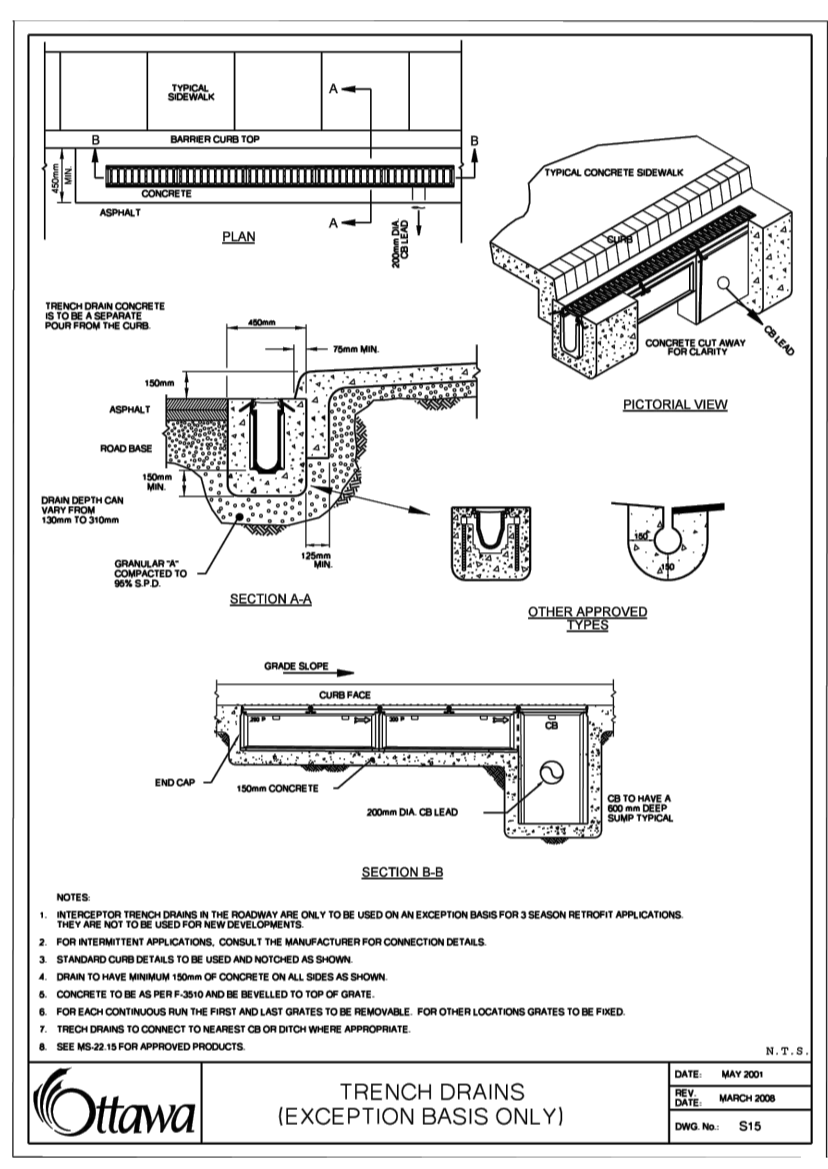
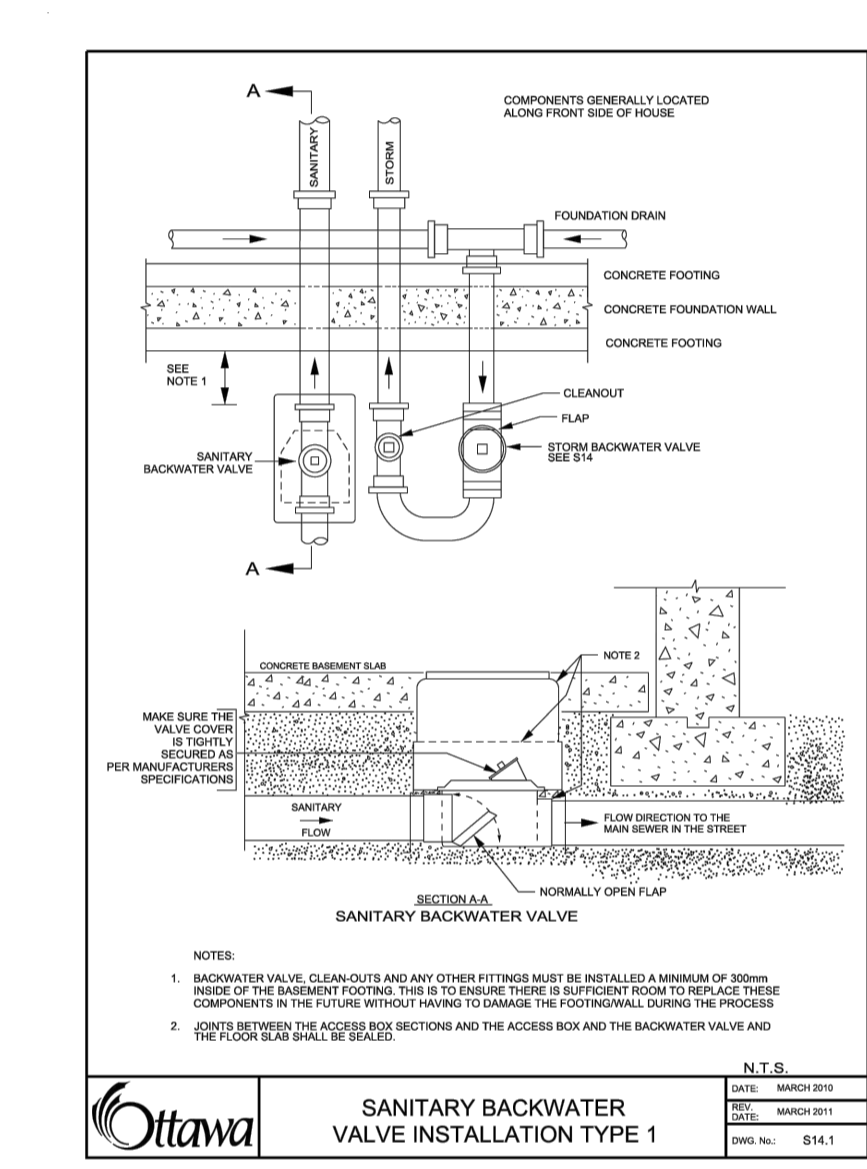
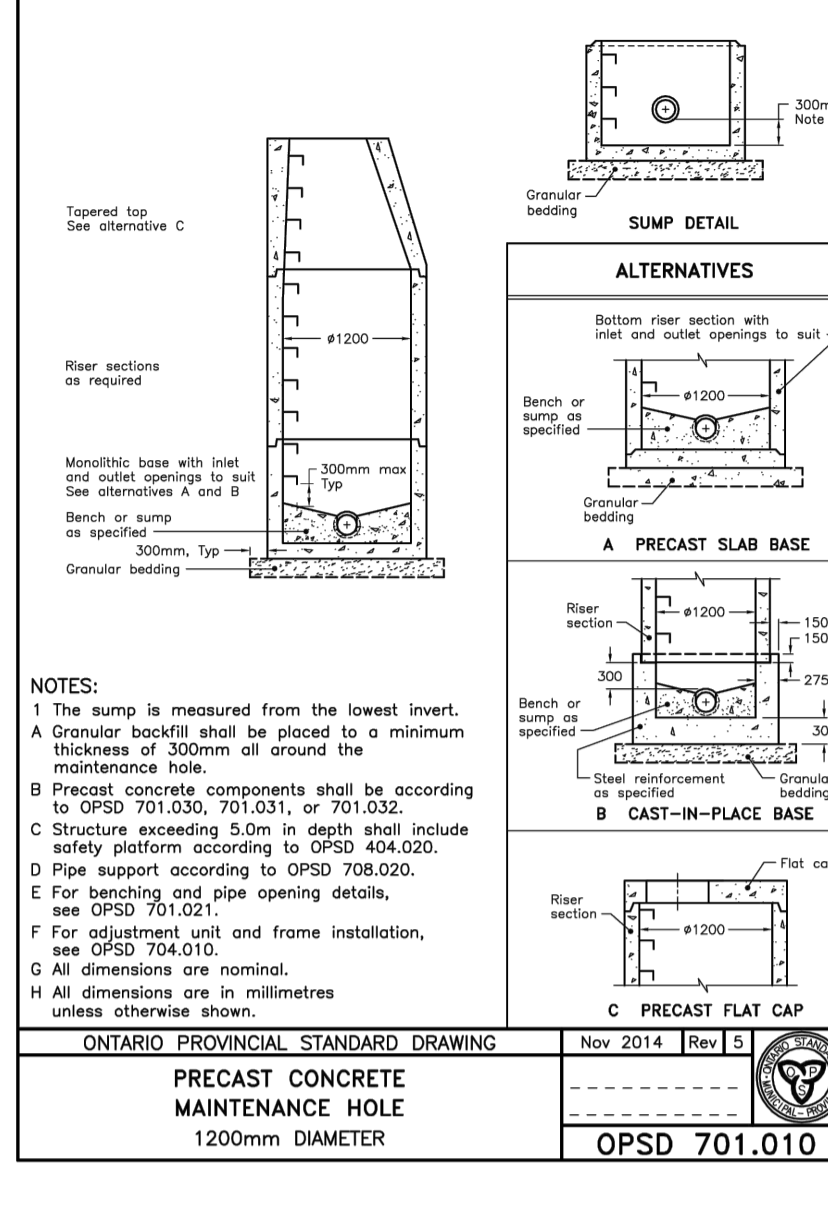
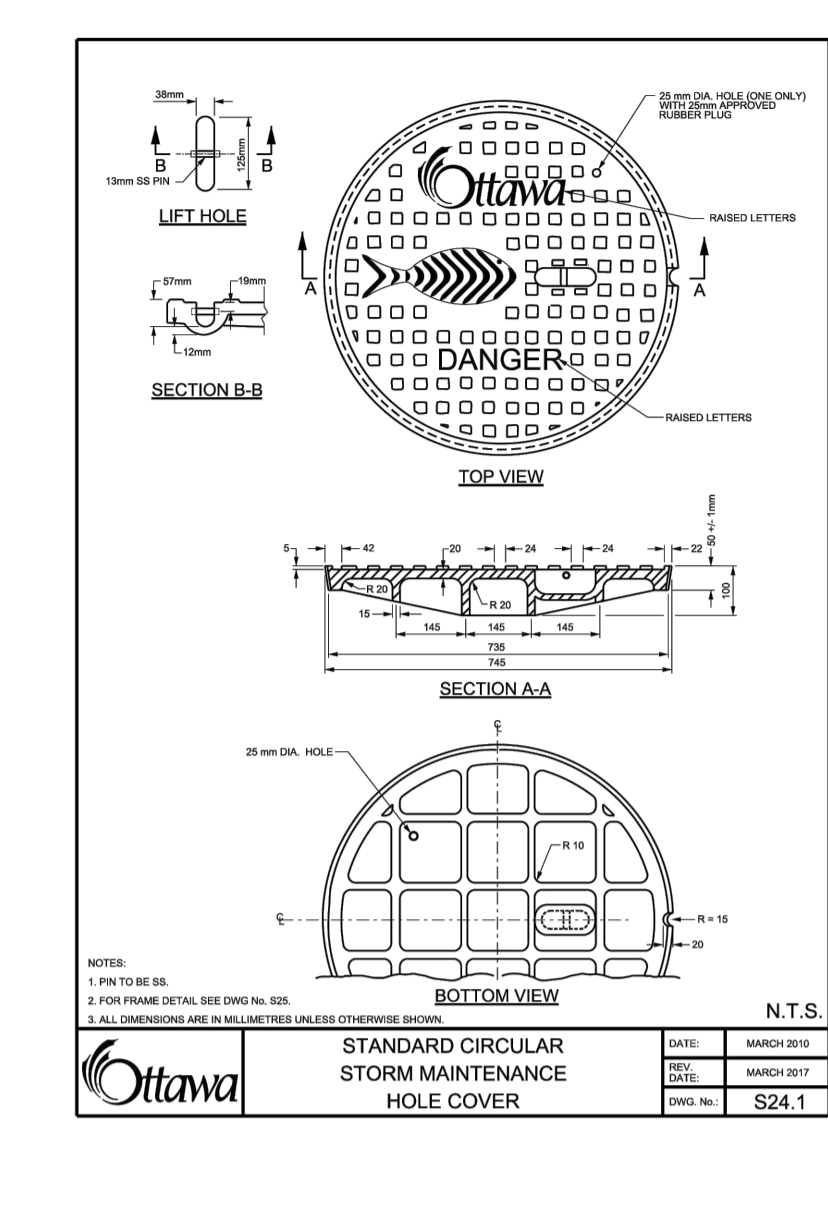
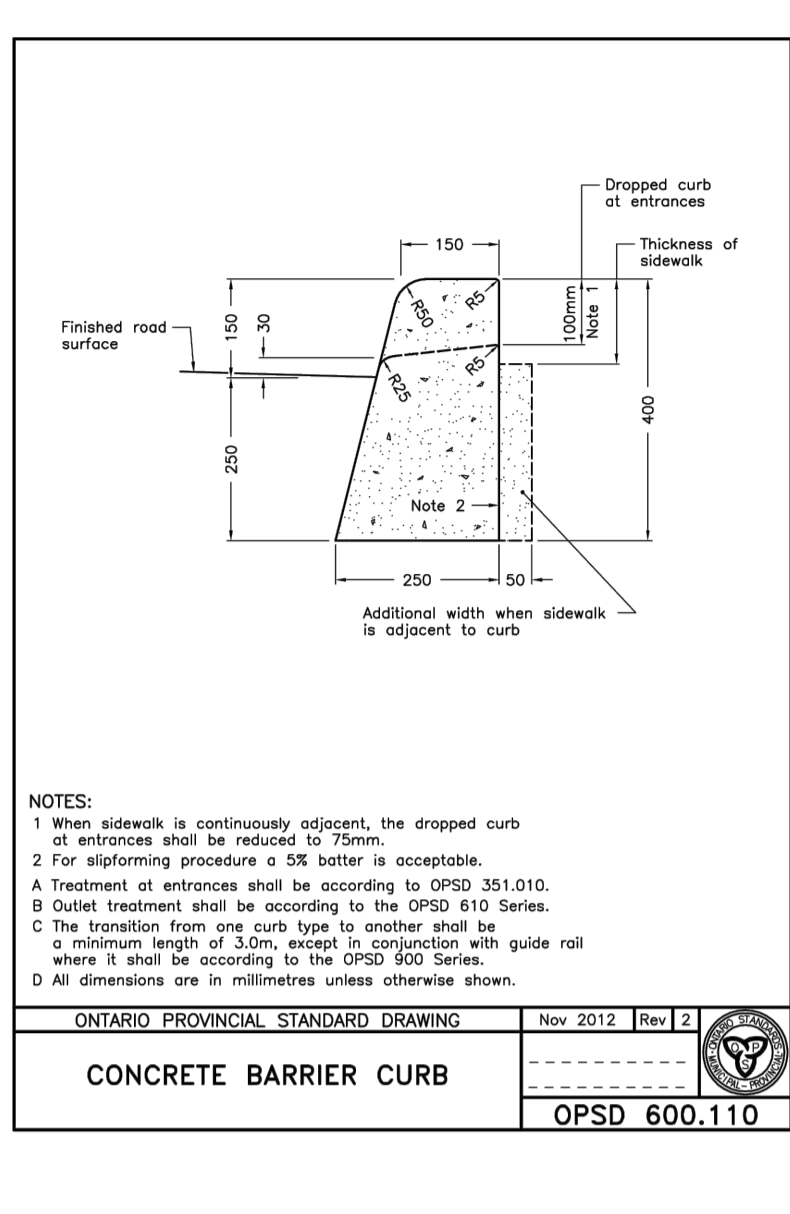
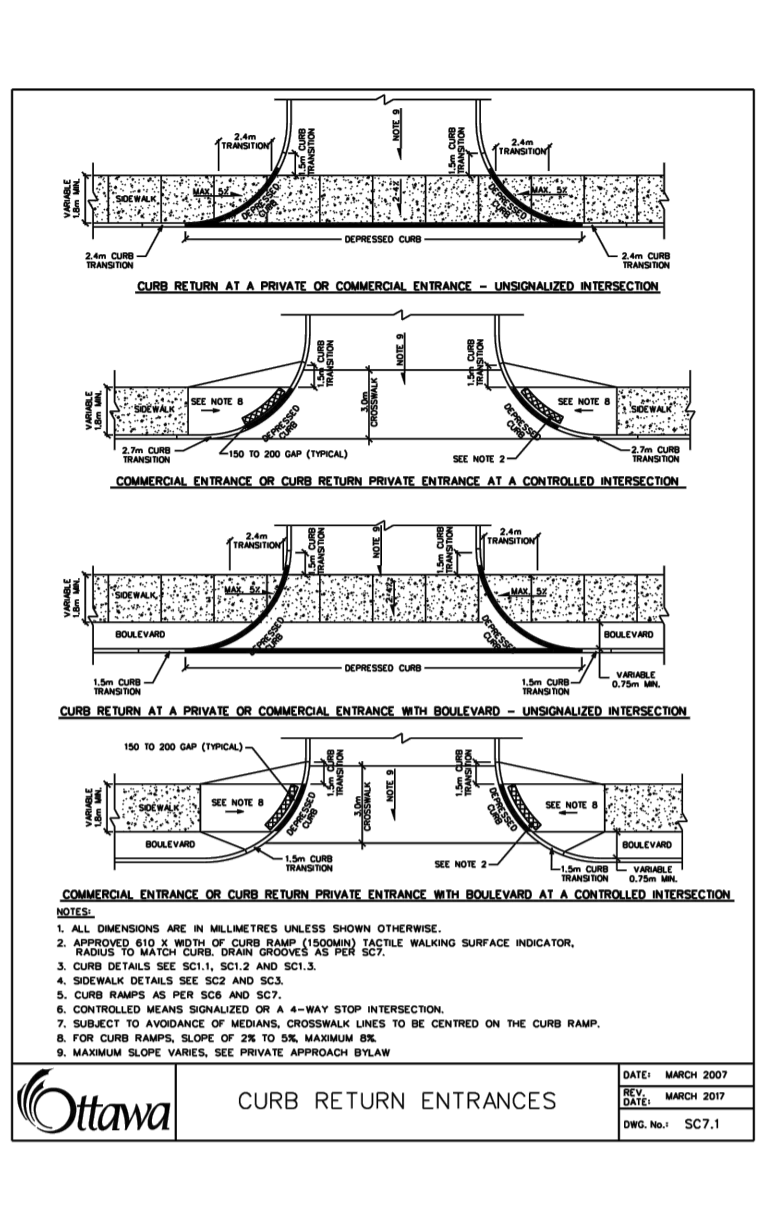
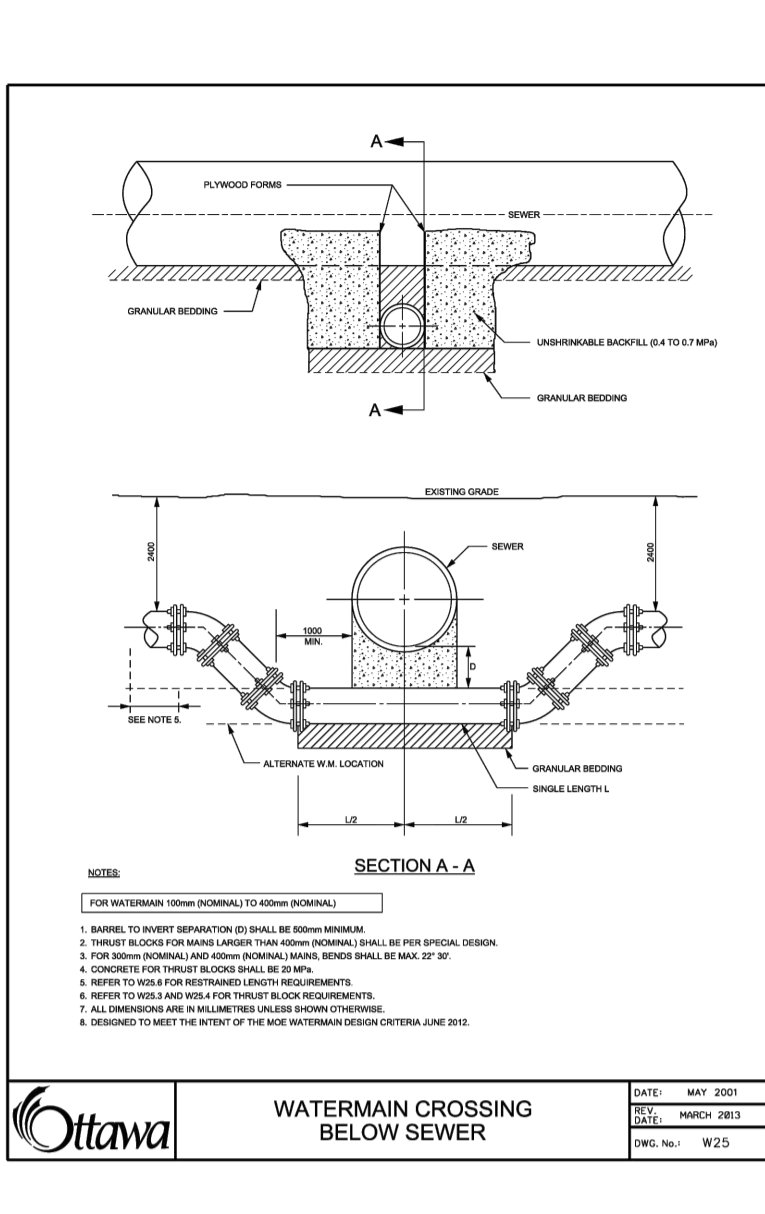
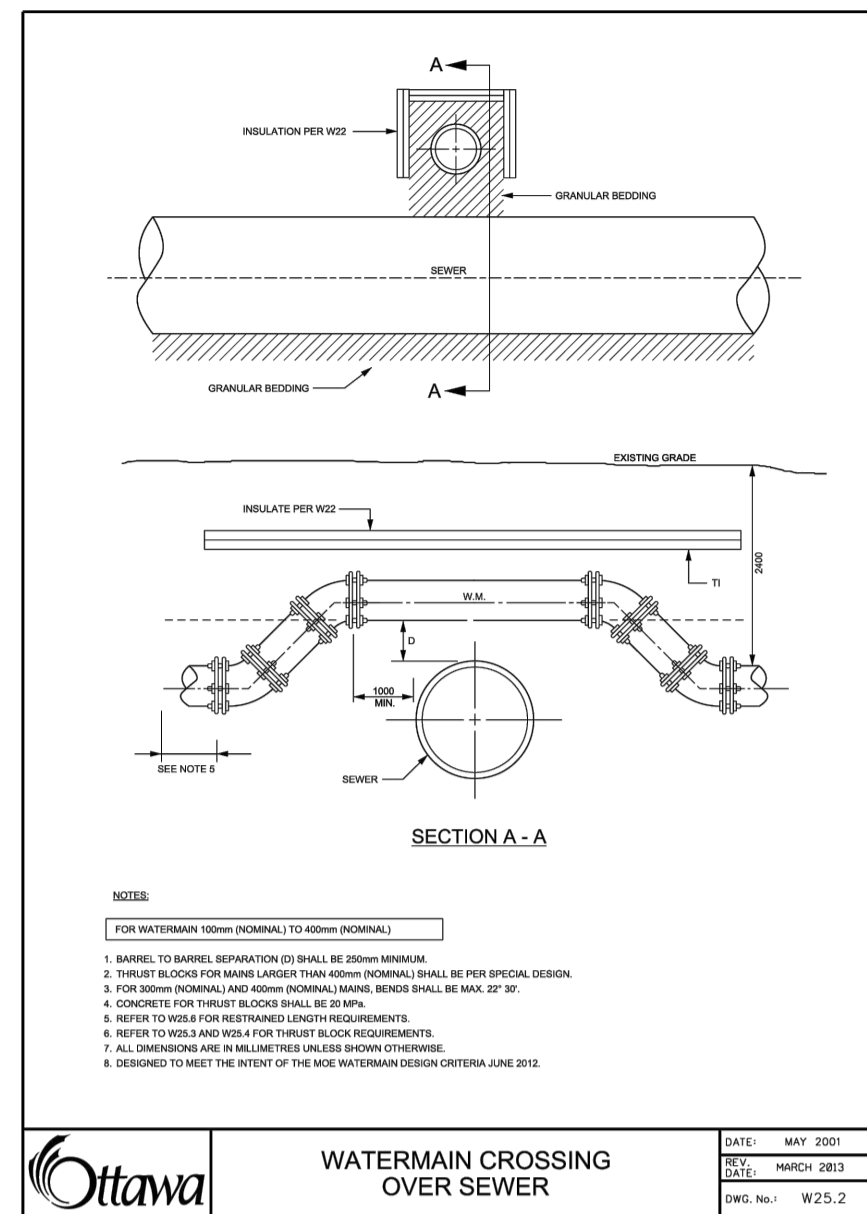
DESIGNED BY: **A.S.** DRAWN BY: **A.S.** APPROVED BY: **V.J.**

PROJECT: **RESIDENTIAL BUILDING 98 & 100 BEARBROOK, OTTAWA, ONTARIO**

DRAWING TITLE: **POST-DEVELOPMENT WATERSHED PLAN**

PROJECT NO: **210628**
DATE: **NOV 2021**

C702



USE AND INTERPRETATION OF DRAWINGS

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NOT AUTHENTIC UNLESS SIGNED AND DATED



CLIENT: LANDRIC HOMES LTD.

DESIGNED BY: A.S. DRAWN BY: A.S. APPROVED BY: V.J.

PROJECT: RESIDENTIAL BUILDING 98 & 100 BEARBROOK, OTTAWA, ONTARIO

DRAWING TITLE: CONSTRUCTION DETAIL PLAN

PROJECT NO: 210628
 DATE: NOV 2021
 C901

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