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| no. | date       | revision   |
|-----|------------|--|
| 15  | MAR 28/24  | DIMENSION LINES FOR CANOPY GROUND SHORTENED TO CLAMP AND SURFACE LANDSCAPING |
| 14  | FEB 24/24  | 2 ADDITIONAL TREES ADDED AT GREENBANK STREET EDGE                            |
| 13  | FEB 22/24  | GRASS LAND AREA OF DEVELOPMENT ADDED TO SITE SUMMARY                         |
| 12  | FEB 22/24  | UPDATED WALKWAY SOUTH EAST CORNER OF ADDITION TO 15m                         |
| 11  | JAN 22/24  | ISSUED TO HYDRO FOR COORDINATION   |
| 10  | DEC. 08/23 | VALUE ENGINEERING REVISIONS INCORPORATED                                     |
| 9   | DEC. 08/23 | RE-ISSUED FOR SITE PLAN CONTROL  |
| 8   | NOV 14/23  | PARKING COUNTS NOTED FOR EACH PARKING LOT                                    |
| 7   | NOV 14/23  | CANOPY PROJECTION INTO FRONT YARD DIMENSIONED                                |
| 6   | SEPT 20/23 | ADDITION PARKING RATE CALCULATIONS ADDED                                     |
| 5   | SEPT 20/23 | RELOCATED LANDSCAPE STEPS GRASS FROM PROPERTY LINE                           |
| 4   | SEPT 20/23 | REVISED NEW DRIVE ISLE FROM 6m TO 8.3m                                       |
| 3   | AUG. 31/23 | ISSUED FOR BUILDING PERMIT   |
| 2   | AUG. 31/23 | ISSUED FOR SITE PLAN CONTROL   |
| 1   | JUN. 18/21 | ISSUED FOR 33% PROGRESS  |

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

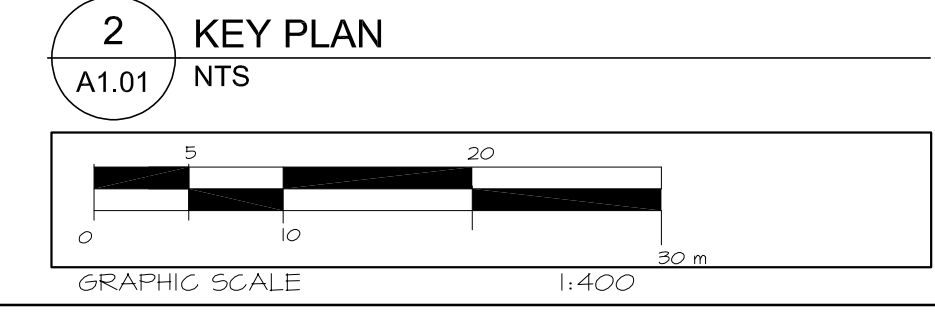
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**PROJECT LOCATION:**  
 WOODVALE PENTECOSTAL CHURCH  
 ADDITION  
 205 Greenbank Rd, Nepean, ON K2H 8K9

**DRAWING TITLE:**  
 SITE PLAN



**1 SITE PLAN**  
 A1.01 SCALE 1:400

| SURVEY  |          | SITE SUMMARY   |                  | VEHICLE PARKING  |          |       | PARKING RATES FOR THE ADDITION AS PER ZONING BY-LAW BASED ON OCCUPANT LOADS AT FULL CAPACITY |           |                      |
|---|----------|--|------------------|--|----------|-------|--|-----------|----------------------|
| SURVEY INFORMATION OBTAINED FROM  |          | PROPERTY   | EXISTING         | EXISTING   | PROVIDED | TOTAL | ROOM   | AREA      | REQ'D PARKING SPACES |
| SURVEYOR'S REAL PROPERTY REPORT OF - PART I, PLAN PART OF THE NORTH HALF OF LOT 31 AND CONCESSION 2 (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF NEPEAN, CITY OF OTTAWA, FARLEY, SMITH & DENIS SURVEYING LTD, 2004 ONTARIO LAND SURVEYORS AND, TOPOGRAPHICAL PLAN OF SURVEY OF PART OF LOT 31, CONCESSION 2 (RIDEAU FRONT) GEOGRAPHICAL TOWNSHIP OF NEPEAN, CITY OF OTTAWA, FARLEY SMITH & DENIS SURVEYING LTD, 2021 |          | 205 GREENBANK ROAD OTTAWA, ONTARIO   | PLACE OF WORSHIP | 543  | (-50)    | 443   | GYM (HALF SIZE)  | 195 sqm.  | 20                   |
| GENERAL URBAN MAINSTREET CORRIDOR WITH OUTER URBAN TRANSECT.  |          | USE  | PLACE OF WORSHIP | 4  | 0        | 4     | YOUTH THEATRE  | 64        |                      |
| MINOR INSTITUTIONAL ZONE, SUBZONE B, URBAN EXEMPTION 443 (18/443)   |          | SITE AREA  | 11,462.10 sqm.   | 552  | (-50)    | 502.  | CAFE (ASSEMBLY)  | 228 sqm.  | 23                   |
| SETBACKS (FOR ADDITION)   |          | BUILDING FOOTPRINT   | 4,363 sqm.       | BICYCLE PARKING  |          |       | ACTIVITY ROOM  | 116 sqm.  | 12                   |
| FRONT   | 6m       | LOT COVERAGE   | 38%              | EXISTING   | PROVIDED | TOTAL | COMMERCIAL KITCHEN   | 78 sqm.   | 8                    |
| SIDE  | 1.06m    | GROSS LAND AREA OF DEVELOPMENT   |                  | EXTERIOR BICYCLE SPACES  |          |       | MULTIPURPOSE ROOM  | 334 sqm.  | 34                   |
| REAR  | 13.66m   | 2,175.5 sqm.   |                  | 10   | 20       | 30    | ADMINISTRATIVE OFFICES   | 358 sqm.  | 4                    |
| REAR  | 7.5m     | PROPOSED ADDITION  |                  | PARKING RATES FOR THE ADDITION AS PER ZONING BY-LAW BASED ON OCCUPANT LOADS AT FULL CAPACITY |          |       | YOUTH ADMINISTRATION   | 112 sqm.  | 3                    |
| BUILDING HEIGHT   | 10.5m    | PROPOSED 2 STOREY ADDITION TO INCLUDE A YOUTH THEATRE, HALF SIZE GYM, MULTIPURPOSE ROOMS, WASHROOMS, KITCHEN AND ADMINISTRATIVE OFFICES. |                  | ROOM   |          |       | SERVICE KITCHEN  | 43.3 sqm. | 4                    |
| LANDSCAPED OPEN SPACE   | 18m max. | GROSS LAND AREA OF DEVELOPMENT   |                  | TOTAL  |          |       | 177  |           |                      |
|   |          | 2,175.5 sqm.   |                  | TOTAL  |          |       |  |           |                      |
|   |          | PROPOSED ADDITION  |                  | TOTAL  |          |       |  |           |                      |
|   |          | 2,175.5 sqm.   |                  | TOTAL  |          |       |  |           |                      |
|   |          | PROPOSED ADDITION  |                  | TOTAL  |          |       |  |           |                      |
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|   |          | PROPOSED ADDITION  |                  | TOTAL  |          |       |  |           |                      |
|   |          | 2,175.5 sqm.   |                  | TOTAL  |          |       |  |           |                      |

**2 KEY PLAN**  
 A1.01 NTS

GRAPHIC SCALE 1:400