

**B1**  
**A101** **GARBAGE ENCLOSURE**  
1:50

**SITE DATA**

**LEGAL DESCRIPTION:**  
PART OF LOT 11  
GORE BETWEEN CONCESSIONS 2 & 3 (RIDEAU FRONT) PART OF THE ROAD ALLOWANCE BETWEEN THE GORE BETWEEN CONCESSIONS 2 & 3 (RIDEAU FRONT) AND CONCESSION 3 (RIDEAU FRONT)  
PART OF LOT 11  
CONCESSION 3 (RIDEAU FRONT)  
GEOGRAPHIC TOWNSHIP OF GLOUCESTER  
CITY OF OTTAWA

REFERENCE LEGAL SURVEY V-64536 BY FAIRHALL MOFFATT & WOODLAND LTD DATED 2023 11 08

**ZONING DESIGNATION:**  
T1A AIR TRANSPORTATION FACILITY ZONE

**USE:**  
TRUCK TRANSPORT TERMINAL/CARGO FACILITY

**REQUIRED SETBACKS:**

FRONT YARD (m)	REQUIRED 7.5	ACTUAL 42.9
REAR YARD (m)	REQUIRED 7.5	ACTUAL 10.3
SIDE YARD (m)	REQUIRED 7.5	ACTUAL 19.3 & 34.5
INTERIOR SIDE YARD (m)	REQUIRED 7.5	ACTUAL N/A
MINIMUM LOT WIDTH (m)	REQUIRED 128.617.5	ACTUAL -
MINIMUM LOT AREA (m <sup>2</sup> )	REQUIRED 17,306	ACTUAL -
FLOOR SPACE INDEX (Maximum)	REQUIRED 1.0 (2.0 FOR OFFICES)	ACTUAL 0.27
<b>REQUIRED PARKING (Area C of ZBL):</b>		
OFFICE (2.4 SPACES/100m <sup>2</sup> OF GFA)	REQUIRED 45	ACTUAL 77
WAREHOUSE (0.8 SPACES/100m <sup>2</sup> OF GFA)	REQUIRED 25	ACTUAL 25
<b>TOTAL</b>	REQUIRED 70	ACTUAL 102
NUMBER OF H/C SPACES	REQUIRED 2	ACTUAL 5
BICYCLE PARKING (1 / 2,000m <sup>2</sup> OF WAREHOUSE)	REQUIRED 11	ACTUAL 12

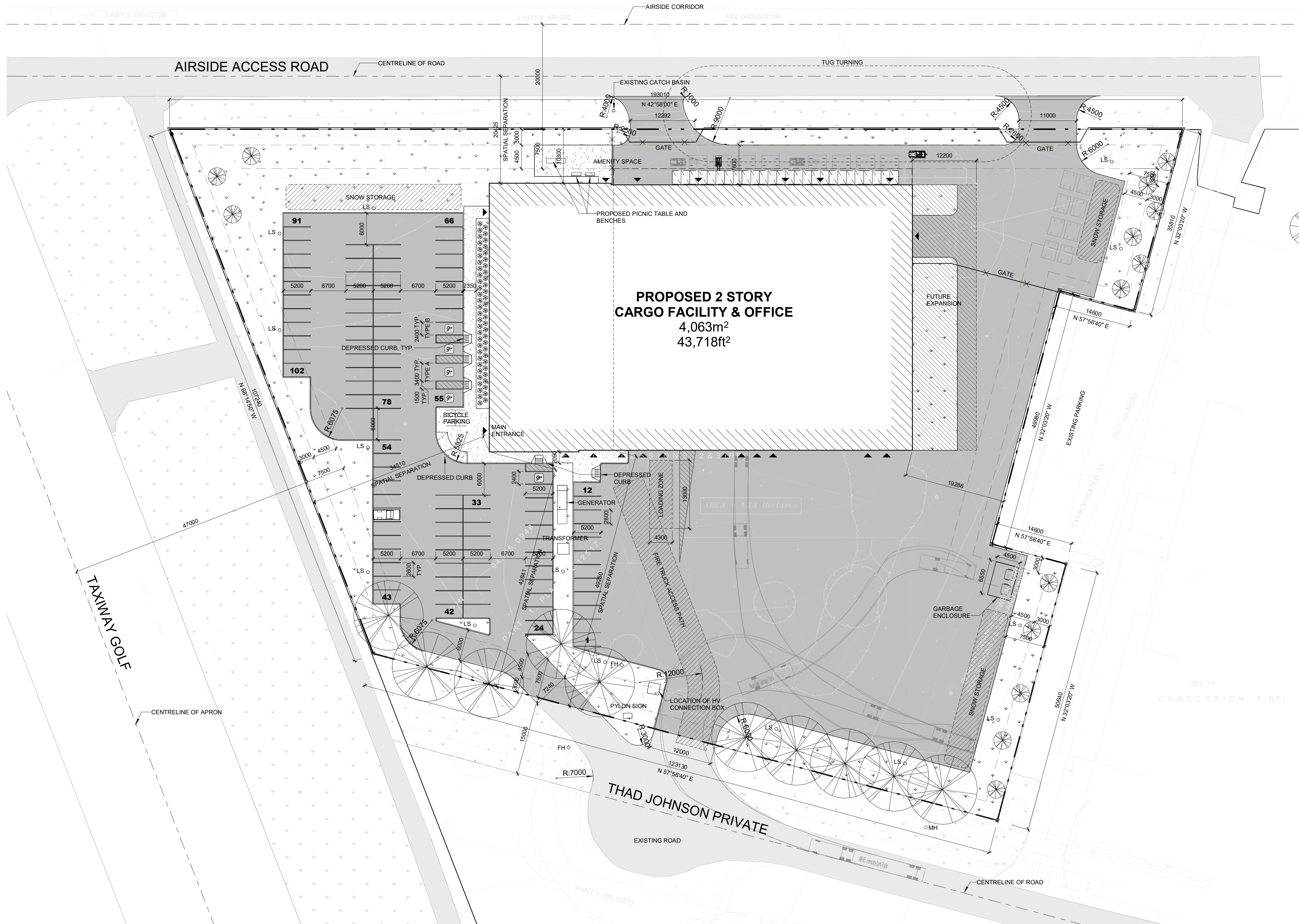
**REQUIRED LOADING SPACE:**  
ONE VEHICLE LOADING SPACE IS REQUIRED FOR LIGHT INDUSTRIAL USE, OVER 5000m<sup>2</sup> OF GROSS FLOOR AREA.

**BUILDING DATA**

BUILDING AREA (m <sup>2</sup> )	4,063
BUILDING GROSS FLOOR AREA (m <sup>2</sup> )	5,249
LEVEL 1 (m <sup>2</sup> )	4,063
LEVEL 2 (m <sup>2</sup> )	1,186
AREA OF OFFICE (m <sup>2</sup> )	2,372
AREA OF CARGO WAREHOUSE (m <sup>2</sup> )	2,877

**LEGEND**

- GRASS AREA
- ASPHALT PAVING
- CONCRETE WALKWAY
- TWSI
- PLANTING
- PROPERTY LINE
- SETBACK LINE
- CENTRELINE
- OVERHEAD LINE
- FH FIRE HYDRANT
- LS LIGHT STANDARD



**A1**  
**A101** **PROPOSED SITE PLAN**  
1:400

**IDEA**

**INTEGRATED DESIGN  
ENGINEERING + ARCHITECTURE**

595 BYRON AVE., OTTAWA, ONT. K2A 4C4  
T 613.728.0008 E info@integrateddesign.ca  
ARCHITECT | CHRIS WARNER-SMITH  
MECHANICAL ENGINEER | LIAM RISING  
ELECTRICAL ENGINEER | NICK FRAYN

**CANADIAN NORTH**

20 COPE DRIVE, KANATA, ON. K2M 2V8  
T 613.282.1369 E dshepherd@canadiannorth.com  
PROJECT MANAGER | DANIEL SHEPHERD

**JENNINGS REAL ESTATE**

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T 343.961.8380 E admin@jenningsdevelopment.com  
PROJECT MANAGER | CHRIS PACKMAN

**Robinson Consultants**

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CIVIL ENGINEER | STEPHEN MCCAUGHEY

**D+M STRUCTURAL ENGINEERING**

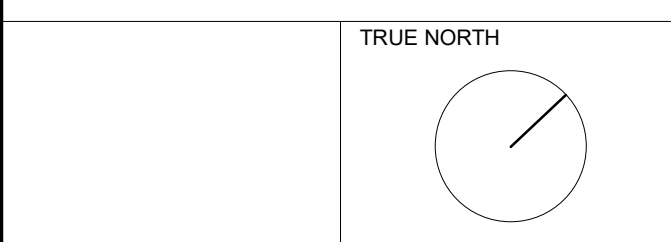
110-333 PRESTON STREET, OTTAWA, ON. K1S 5N4  
T 613.651.9490 E collin@dm-structural.ca  
STRUCTURAL ENGINEER | COLIN DAVIES

**JAMES B. LENNOX & ASSOCIATES INC.**

3332 CARLING AVENUE, OTTAWA, ON. K2H 5A8  
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LANDSCAPE ARCHITECT | JAMES LENNOX

SEAL OF THE ONTARIO ASSOCIATION OF ARCHITECTS  
CHRISTOPHER J. WARNER-SMITH  
LICENCE 10122

GENERAL NOTES  
DO NOT SCALE DRAWINGS.  
CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS AND REPORT ANY DISCREPANCIES.



8	2024-04-03	ISSUED FOR SITE PLAN CONTROL
7	2024-04-02	ISSUED FOR PHASE 3 SPA UPDATE
6	2024-02-29	ISSUED FOR PHASE 3 SPA
5	2024-01-11	ISSUED FOR SPA
4	2023-12-15	ISSUED FOR OIAA REVIEW
3	2023-11-14	ISSUED FOR CLIENT REVIEW UPDATE
2	2023-10-31	ISSUED FOR CLIENT REVIEW UPDATE
1	2023-10-13	ISSUED FOR PRE-APPLICATION CONSULTATION

NO.	DATE	DESCRIPTION
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REVISIONS

PROJECT

CANADIAN NORTH YOW HQ

145 Thad Johnson Pvt,  
Ottawa, ON K1V 0R4

IDEA # 23566 CLIENT #

SHEET NAME

PROPOSED SITE PLAN

DATE	2024-02-29	SCALE	AS NOTED.
CHECKED BY	CWS	DRAWN BY	ND
SHEET No.			

**A101**

D (36"x24")