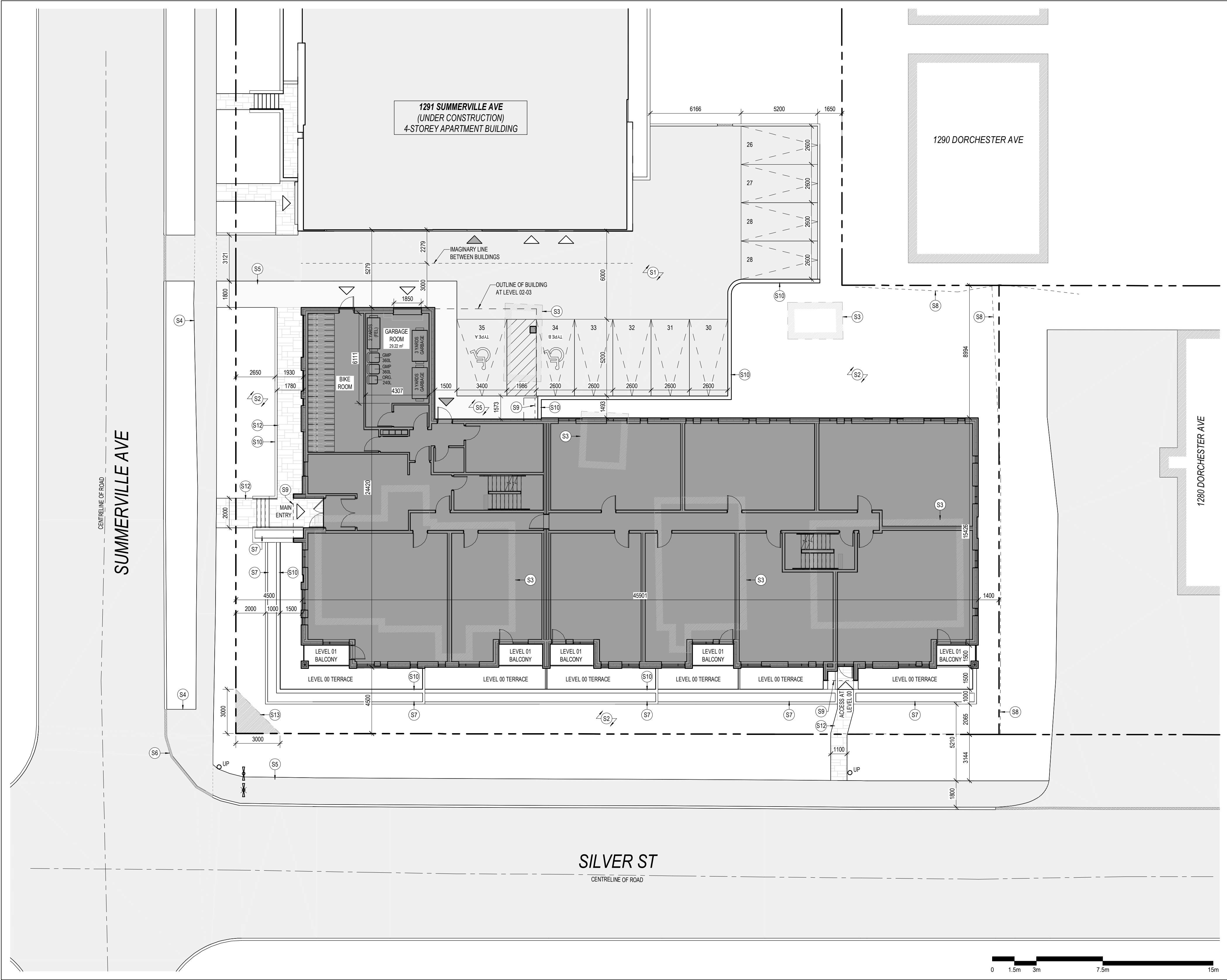


3 LOCATION PLAN  
SP-01 SCALE: N.T.S.



1 SITE PLAN  
SP-01 SCALE: 1 : 150

SITE PLAN SYMBOLS LEGEND			
	BUILDING ENTRANCE		NEW STOP SIGN POST LOCATION
	BUILDING EXIT		EXISTING STOP SIGN POST TO BE RELOCATED
	BICYCLE PARKING		FIRE DEPARTMENT CONNECTION
	PROPERTY LINE		FIRE HYDRANT
	SETBACK LINE		EXISTING UTILITY POLE TO REMAIN
	OVERHEAD WIRES		
	INTERLOCKING STONE PAVERS		

RENTABLE AREA (RESIDENTIAL)		
LEVEL	AREA	AREA (SF)
LEVEL 00	582.02 m²	6,264.83 ft²
LEVEL 01	589.59 m²	6,346.31 ft²
LEVEL 02	784.50 m²	8,444.27 ft²
LEVEL 03	778.63 m²	8,381.11 ft²
TOTAL	2,734.74 m²	29,436.52 ft²

GROSS FLOOR AREA		
LEVEL	AREA	AREA (SF)
LEVEL 00	751.33 m²	8,087.24 ft²
LEVEL 01	817.86 m²	8,803.26 ft²
LEVEL 02	860.86 m²	9,266.10 ft²
LEVEL 03	854.98 m²	9,202.95 ft²
TOTAL	3,285.01 m²	35,359.54 ft²

AMENITY SCH. (PRIVATE)			
LEVEL	NAME	AREA	AREA (SF)
LEVEL 00	TERRACE	99.19 m²	1,067.66 ft²
LEVEL 01	BALCONY	20.17 m²	217.10 ft²
LEVEL 02	BALCONY	28.07 m²	302.16 ft²
LEVEL 03	BALCONY	30.02 m²	323.13 ft²
TOTAL		177.45 m²	1,910.05 ft²

PARKING SCH. (VEHICLE)	
LEVEL	COUNT
LEVEL 01	43
TOTAL	43

PARKING SCH. (BICYCLE)	
LEVEL	COUNT
LEVEL 01	50
TOTAL	50

UNIT COUNT						
BEDS	LVL 00	LVL 01	LVL 02	LVL 03	TOTAL	%
1-BEDROOM	1	1	2	2	6	14%
1-BEDROOM (BF)	0	4	0	0	4	10%
1-BEDROOM + DEN	5	1	5	5	16	38%
2-BEDROOM	3	0	5	5	13	31%
2-BEDROOM (BF)	0	3	0	0	3	7%
TOTAL	9	9	12	12	42	100%

Site Statistics		
Current Zoning Designation:	R4UC(2B12)	
Lot Width:	51.8m	
Total Lot Area:	5,349.4m²	
Average Existing Grade:	83.39m	
Gross Floor Area:	3,285.01m²	
Building Area:	817.85m²	
Floor Space Index:	N/A	
Proposed Development - Planned Unit Development (92 Total Units)		
Existing 3 Storey Low-Rise Apartment Building - 1305 Summerville Avenue (16 Units)		
Existing 3 Storey Low-Rise Apartment Building - 1295 Summerville Avenue (18 Units)		
Under Construction 4 Storey Low-Rise Apartment Building - 1291 Summerville Avenue (16 Units)		
Proposed 4 Storey Low-Rise Apartment Building - 1066 Silver Street (42 Units)		
Zoning Mechanism	Required	Provided
Minimum Lot Width 162A	15m	51.8m
Minimum Lot Area 162A	450m²	5,349.4m²
Min. Front Yard Setback 144 (1d)	4.5m	4.5m
Corner Side Yard Setback 144 (1d)	4.5m	4.5m
Min. Interior Side Yard Setback 152 (1a)	1.5m + 7.5m after 18m	1.4m
Min. Rear Yard Setback 162 (1a), 144 (1b)	No Minimum	8.7m
Maximum Building Height 162A	11m	10.5m
Max. Projections into Height Limit Section 64	0.3m	0m
Parking Space Rates (Residents) 101 (Sch. 1A - Area X)	22 Spaces (see breakdown below)	35 Spaces
1305 Summerville - 16 Units		
0 spaces for first 12 units - Section 101(3)(a)		
0.5 spaces / unit for 4 units - Table 101(R15) = 2 Spaces		
1295 Summerville - 18 Units		
0 spaces for first 12 units - Section 101(3)(a)		
0.5 spaces / unit for 6 units - Table 101(R15) = 3 Spaces		
1291 Summerville - 16 Units		
0 spaces for first 12 units - Section 101(3)(a)		
0.5 spaces / unit for 4 units - Table 101(R15) = 2 Spaces		
1066 Silver - 42 Units		
0 spaces for first 12 units - Section 101(3)(a)		
0.5 spaces / unit for 30 units - Table 101(R15) = 15 Spaces		
Minimum Visitor Parking Rates 101 (Sch. 1A - Area X)	8 Spaces	8 Spaces
0 spaces for first 12 units - Section 102(3)		
0.1 spaces / unit for 84 units - Table 102		
Bicycle Parking Rates (Residents) Table 111A (Sch. 1 - Area X)	21 Spaces	50 Spaces
0.5 spaces / unit for 42 units [111A(b)(i)]		
Landscaped Area 161 (b)	1,694.8m² (Lots > 450m²; minimum 30% of lot area)	1,690.98m²
Front Yard Soft Landscaping Table 161	93.25m² (40% of front yard)	113.89m²
Rear Yard Soft Landscaping Table 161 (15a)(ii)	178.92m² (50% of rear yard)	113.04m² (32%)
Width of Private Drive 131 (i)	6m	3.1m
Minimum 2-Bedroom Unit Rates 161 (14)(i)	11 Units (Minimum 25% of units)	16 Units
Front Facade Minimum Glazing 161 (g)	129.16m² (25% of front facade)	197.88m²
Corner Side Facade Minimum Glazing 161 (g)(i)	38.34m² (15% of front facade)	72.34m²
Facade Articulation / Balconies 161 (15h)(i)(ii)	N/A	Porches and balconies provided as required

2 SITE & PROJECT STATISTICS  
SP-01 SCALE: N.T.S.

ARCHITECT  
PROJECT1 STUDIO  
260 ST. PATRICK ST. SUITE 300  
OTTAWA, ON, K1N 5K5

SURVEYOR  
J.D. BARNES LIMITED  
62 STEACIE DRIVE, SUITE 103  
OTTAWA, ON, K2K 2A9

PLANNER  
NOVATECH  
240 MICHAEL COWPLAND DR  
SUITE 200  
OTTAWA, ON, K2M 1P6

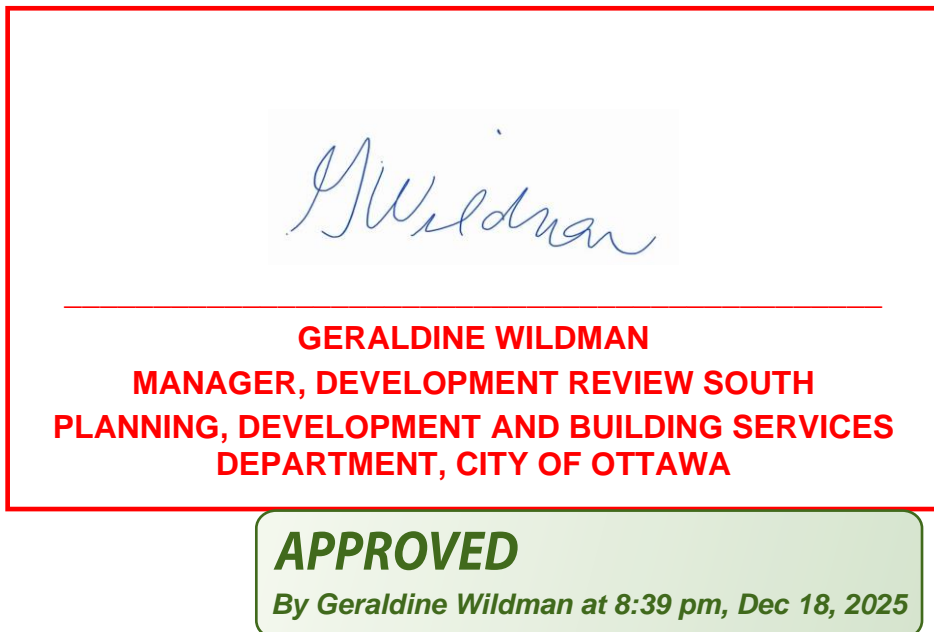
CIVIL ENGINEER  
D.B. GRAY ENGINEERING INC.  
700 LONG POINT CIRCLE  
OTTAWA, ON, K1T 4E9

LANDSCAPE ARCHITECT  
RUHLAND & ASSOCIATES LTD.  
1750 COURTHOOD CRESCENT  
SUITE 200  
OTTAWA, ON, K2C 2B5

SITE PLAN KEYNOTES	
S1	ASPHALT
S2	SOFT LANDSCAPING
S3	EXISTING STRUCTURE TO BE DEMOLISHED
S4	EXISTING ASPHALT SIDEWALK
S5	PROPOSED CONCRETE SIDEWALK
S6	DEPRESSED CURB
S7	RAISED PLANTER
S8	EXISTING CHAIN LINK FENCE
S9	CANOPY ABOVE
S10	RETAINING WALL
S12	PAVING STONES
S13	3m x 3m CORNER SIGHT TRIANGLE

SURVEYOR'S REAL PROPERTY REPORT  
WITH TOPOGRAPHIC DETAILS  
PART 1 - PLAN SHOWING  
PART OF LOT 31  
REGISTERED PLAN 284  
CITY OF OTTAWA  
J.D. BARNES LTD. 2022

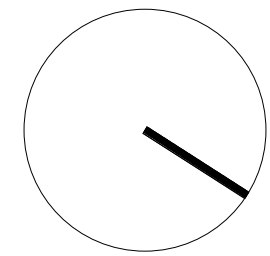
4 SURVEY INFO  
SP-01 SCALE: N.T.S.



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  - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
  - Upon notice in writing, the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents.
  - The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
  - Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
  - These documents are not to be used for construction unless specifically noted for such purpose.

- |   |                                |            |
|---|--------------------------------|------------|
| 9 | REISSUED FOR SITE PLAN CONTROL | 2025-08-27 |
| 8 | REISSUED FOR SITE PLAN CONTROL | 2025-07-17 |
| 7 | ISSUED FOR COORDINATION        | 2025-06-27 |
| 6 | ISSUED FOR BUILDING PERMIT     | 2025-05-28 |
| 5 | REISSUED FOR SITE PLAN CONTROL | 2025-04-14 |
| 4 | REISSUED FOR SITE PLAN CONTROL | 2024-11-26 |
| 3 | REISSUED FOR SITE PLAN CONTROL | 2024-07-25 |
| 2 | REISSUED FOR SITE PLAN CONTROL | 2024-04-15 |
| 1 | ISSUED FOR SITE PLAN CONTROL   | 2024-03-05 |

ISSUE RECORD



project1  
studio

Project1 Studio Incorporated  
[613.884.9399] [mail@project1studio.ca]

1066 SILVER

1066 Silver Street  
Ottawa, ON K1Z 6H9

PROJ	SCALE	DRAWN	REVIEWED
2014	NOTED	BH/NL	RMK

SITE PLAN

SP-01





SITE PLAN SYMBOLS LEGEND

- BUILDING ENTRANCE
- BUILDING EXIT
- BICYCLE PARKING
- PROPERTY LINE
- SETBACK LINE
- OVERHEAD WIRES
- INTERLOCKING STONE PAVERS
- NEW STOP SIGN POST LOCATION
- EXISTING STOP SIGN POST TO BE RELOCATED
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- EXISTING UTILITY POLE TO REMAIN

2 LOCATION PLAN  
SP-02 SCALE: N.T.S.

*G. Wildman*  
**GERALDINE WILDMAN**  
MANAGER, DEVELOPMENT REVIEW SOUTH  
PLANNING, DEVELOPMENT AND BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA

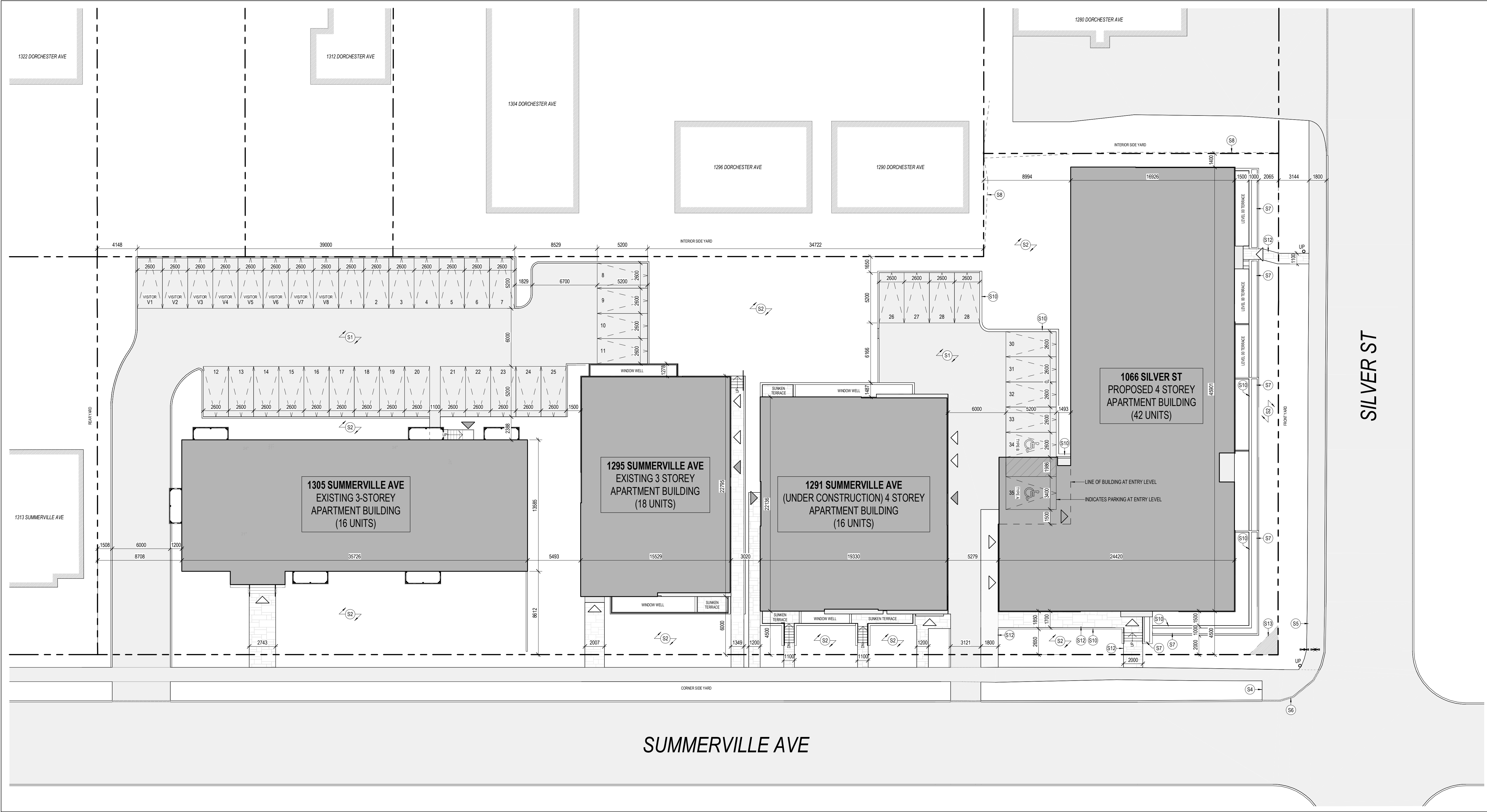
**APPROVED**  
By Geraldine Wildman at 8:41 pm, Dec 18, 2025

SITE PLAN KEYNOTES

- S1 ASPHALT  
S2 SOFT LANDSCAPING  
S3 EXISTING STRUCTURE TO BE DEMOLISHED  
S4 EXISTING ASPHALT SIDEWALK  
S5 PROPOSED CONCRETE SIDEWALK  
S6 DEPRESSED CURB  
S7 RAISED PLANTER  
S8 EXISTING CHAIN LINK FENCE  
S9 CANOPY ABOVE  
S10 RETAINING WALL  
S12 PAVING STONES  
S13 3m x 3m CORNER SIGHT TRIANGLE

PUD PARKING STATISTICS

Total Number of Units: 96 Units  
Total Required Parking: 32 Spaces (24 Resident + 8 Visitor)  
Total Provided Parking: 43 Spaces (35 Resident + 8 Visitor)



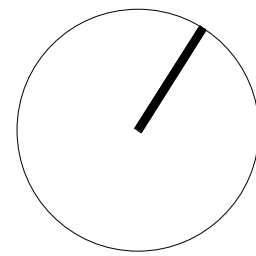
1 CONSOLIDATED SITE PLAN  
SP-02 SCALE: 1 : 200

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ISSUE RECORD



**project1 studio**

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PROJ	SCALE	DRAWN	REVIEWED
2014	NOTED	BH/NL	RMK

CONSOLIDATED SITE PLAN

**SP-02**