

SITE PLAN SYMBOLS LEGEND	
BUILDING ENTRANCE	BUILDING EXIT
BICYCLE PARKING	NEW STOP SIGN POST LOCATION
PROPERTY LINE	EXISTING STOP SIGN POST TO BE RELOCATED
SETBACK LINE	FIRE DEPARTMENT CONNECTION
OHW	FIRE HYDRANT
OVERHEAD WIRES	EXISTING UTILITY POLE TO REMAIN
INTERLOCKING STONE PAVERS	

RENTABLE AREA (RESIDENTIAL)			
LEVEL	AREA	AREA (SF)	
LEVEL 00	582.02 m ²	6,264.83 ft ²	
LEVEL 01	589.59 m ²	6,346.31 ft ²	
LEVEL 02	784.50 m ²	8,444.27 ft ²	
LEVEL 03	778.63 m ²	8,381.11 ft ²	
TOTAL	2,734.74 m ²	29,436.52 ft ²	

GROSS FLOOR AREA			
LEVEL	AREA	AREA (SF)	
LEVEL 00	751.33 m ²	8,087.24 ft ²	
LEVEL 01	817.85 m ²	8,803.26 ft ²	
LEVEL 02	860.85 m ²	9,266.10 ft ²	
LEVEL 03	854.98 m ²	9,202.95 ft ²	
TOTAL	3,285.01 m ²	35,359.54 ft ²	

AMENITY SCH. (PRIVATE)			
LEVEL	NAME	AREA	AREA (SF)
LEVEL 00	TERRACE	99.19 m ²	1,067.66 ft ²
LEVEL 01	BALCONY	20.17 m ²	217.10 ft ²
LEVEL 02	BALCONY	28.07 m ²	302.16 ft ²
LEVEL 03	BALCONY	30.02 m ²	323.13 ft ²
TOTAL		177.45 m ²	1,910.05 ft ²

PARKING SCH. (VEHICLE)		
LEVEL	COUNT	
LEVEL 01	43	
TOTAL	43	

PARKING SCH. (BICYCLE)		
LEVEL	COUNT	
LEVEL 01	50	
TOTAL	50	

UNIT COUNT					
BEDS	LVL 00	LVL 01	LVL 02	LVL 03	TOTAL
1-BEDROOM	1	1	2	2	6
1-BEDROOM (BF)	0	4	0	0	4
1-BEDROOM + DEN	5	1	5	16	38%
2-BEDROOM	3	0	5	5	13
2-BEDROOM (BF)	0	3	0	0	3
TOTAL	9	9	12	12	42
					100%

Site Statistics			
Current Zoning Designation:	R4UC[2812]		
Lot Width:	51.8m		
Total Lot Area:	5,349 m ²		
Average Existing Grade:	83.39m		
Gross Floor Area:	3,285.01 m ²		
Building Area:	817.85 m ²		
Floor Space Index:	N/A		

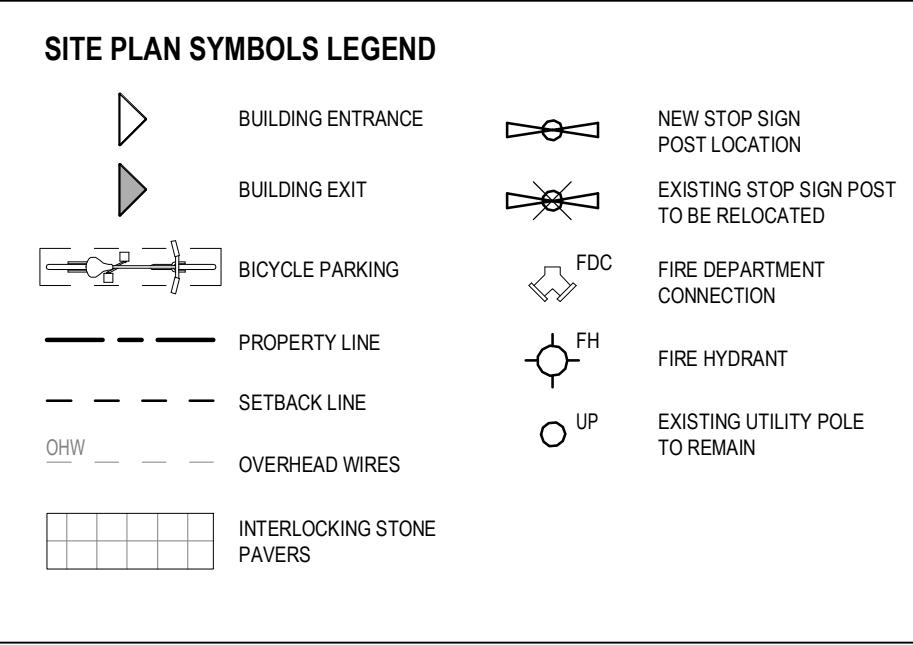
Proposed Development - Planned Unit Development (92 Total Units)			
Existing 3-Storey Low-Rise Apartment Building - 1285 Summerville Avenue (16 Units)			
Existing 3-Storey Low-Rise Apartment Building - 1289 Summerville Avenue (16 Units)			
Under Construction 4-Storey Low-Rise Apartment Building - 1291 Summerville Avenue (16 Units)			
Proposed 4-Storey Low-Rise Apartment Building - 1066 Silver Street (42 Units)			

Zoning Mechanism	
Minimum Lot Width	16m
Minimum Lot Area	450m ²
Min. Front Yard Setback	4.5m
Corner Side Yard Setback	4.5m
Min. Interior Side Yard Setback	1.5m + 7.5m after 18m
Min. Rear Yard Setback	No Minimum
Maximum Building Height	11m
Section 64	10.5m
Parking Space Rates (Residents)	22 Spaces (see breakdown below)
101 (Sch. 1A - Area X)	35 Spaces
1205 Summerville - 16 Units	0 spaces for first 12 units - Section 101(3)(g) 0.5 spaces / unit for 4 units - Table 101(R15) = 2 Spaces
1209 Summerville - 16 Units	0 spaces for first 12 units - Section 101(3)(g) 0.5 spaces / unit for 6 units - Table 101(R15) = 3 Spaces
1291 Summerville - 16 Units	0 spaces for first 12 units - Section 101(3)(g) 0.5 spaces / unit for 4 units - Table 101(R15) = 2 Spaces
1066 Silver - 42 Units	8 Spaces
1066 Silver - 42 Units	0 spaces for first 12 units - Section 101(3)(g) 0.5 spaces / unit for 30 units - Table 101(R15) = 15 Spaces
Minimum Visitor Parking Rates	8 Spaces
101 (Sch. 1A - Area X)	8 Spaces
Bicycle Parking Rates (Residents)	21 Spaces
Table 111A (Sch. 1 - Area X)	59 Spaces
Landskaped Area	1,604 m ² (Lots > 450m ² , minimum 30% of lot area)
Front Yard Soft Landscaping	1,690.98m ²
Table 161 (13)(b)(ii)	93.25m ² (40% of front yard)
Res. Yard Soft Landscaping	113.89m ²
Width of Private Drive	178.92m ² (30% of rear yard)
Table 161 (13)(b)(ii)	113.44m ² (32% of rear yard)
Minimum 2-Bedroom Unit Rates	11 Units
161 (14)(i)	(Minimum 25% of units)
Front Facade Minimum Glazing	129.6m ² (25% of front facade)
161 (g)	197.88m ²
Corner Side Facade Minimum Glazing	38.34m ² (15% of front facade)
161 (g)(ii)	72.34m ²
Facade Articulation / Balconies	N/A
	Porches and balconies provided as required

Required		Provided
Minimum Lot Width	16m	51.8m
Minimum Lot Area	450m ²	5,349 m ²
Min. Front Yard Setback	4.5m	4.5m
Corner Side Yard Setback	4.5m	4.5m
Min. Interior Side Yard Setback	1.5m + 7.5m after 18m	1.4m
Min. Rear Yard Setback	No Minimum	8.7m
Maximum Building Height	11m	10.5m
Section 64	0m	0m

22 Spaces (see breakdown below)		35 Spaces
101 (Sch. 1A - Area X)		
1205 Summerville - 16 Units	0 spaces for first 12 units - Section 101(3)(g) 0.5 spaces / unit for 4 units - Table 101(R15) = 2 Spaces	
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1066 Silver - 42 Units	8 Spaces	
1066 Silver - 42 Units	0 spaces for first 12 units - Section 101(3)(g) 0.5 spaces / unit for 30 units - Table 101(R15) = 15 Spaces	

8 Spaces		8 Spaces
101 (Sch. 1A - Area X)		
1205 Summerville - 16 Units	0 spaces for first 12 units - Section 101(3)(g) 0.5	



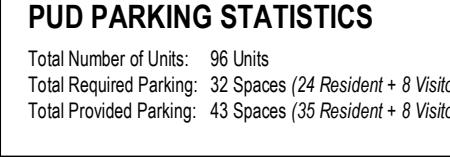
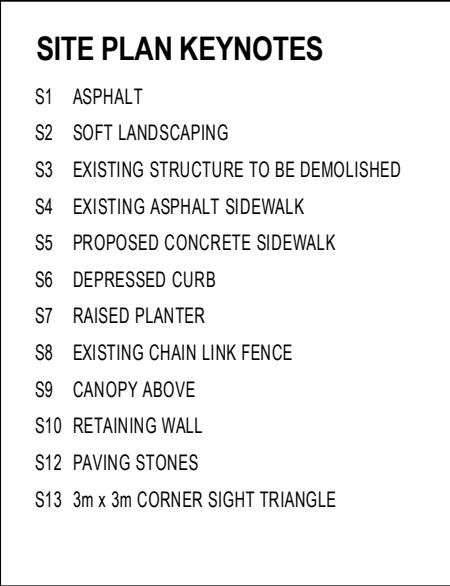
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LOCATION PLAN
SP-02

SCALE: N.T.S.

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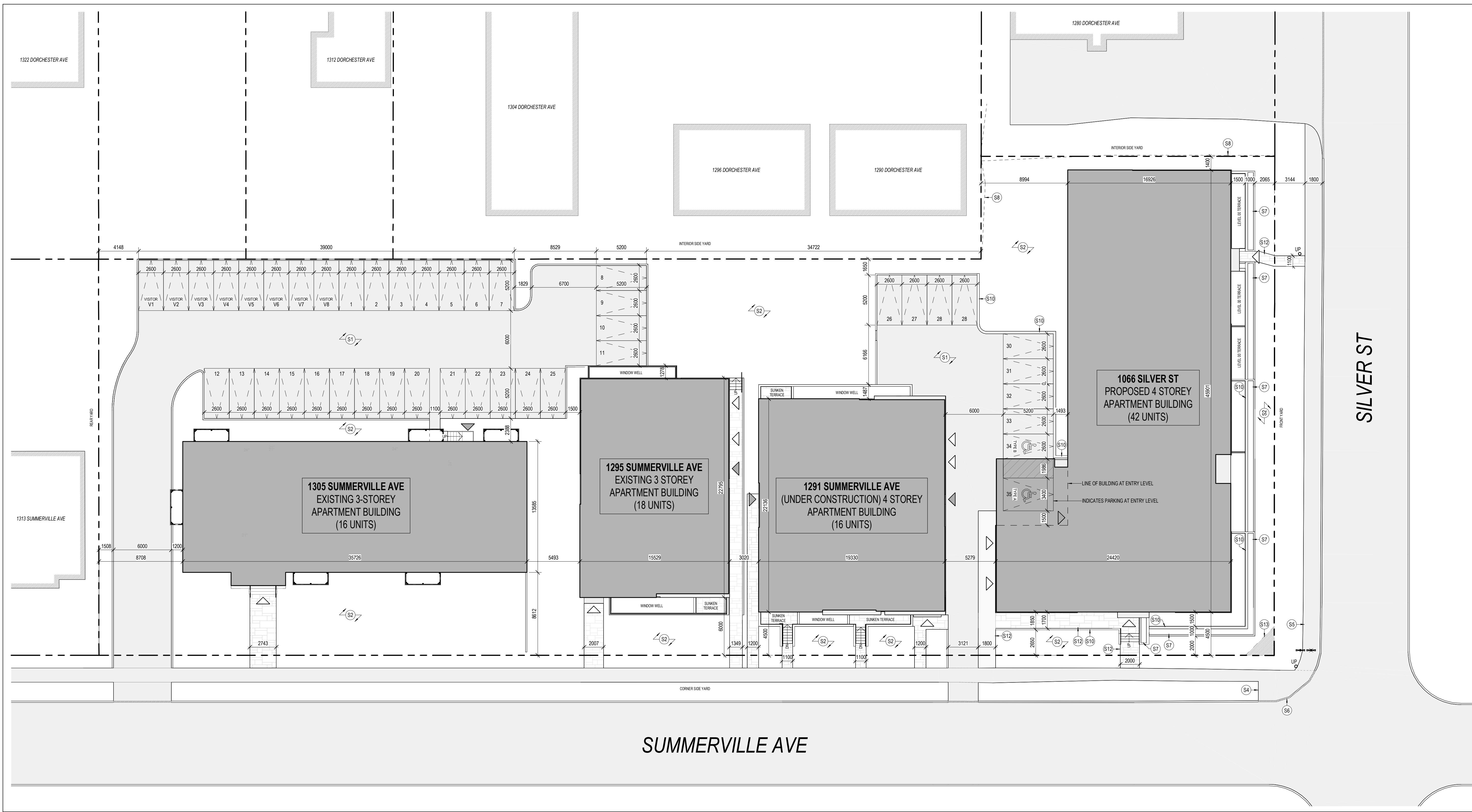
APPROVED

By Geraldine Wildman at 8:41 pm, Dec 18, 2025



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CONSOLIDATED SITE PLAN
SP-02

SCALE: 1:200

9 REISSUED FOR SITE PLAN CONTROL 2025-08-27
8 REISSUED FOR SITE PLAN CONTROL 2025-07-17
7 ISSUED FOR COORDINATION 2025-06-27
6 ISSUED FOR BUILDING PERMIT 2025-05-26
5 REISSUED FOR SITE PLAN CONTROL 2025-04-14
4 REISSUED FOR SITE PLAN CONTROL 2024-11-26
3 REISSUED FOR SITE PLAN CONTROL 2024-07-25
2 REISSUED FOR SITE PLAN CONTROL 2024-04-15
1 ISSUED FOR SITE PLAN CONTROL 2024-03-05

ISSUE RECORD



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PROJ. SCALE DRAWN REVIEWED
2014 NOTED BH/NL RMK

CONSOLIDATED SITE PLAN

SP-02