

June 24, 2024

Lucy Ramirez
Planner
Development Review East Unit
Development Review Branch
Planning Services
City of Ottawa

Tel: 613-580- 2424

Via Email: lucy.ramirez@ottawa.ca

Re: Preliminary Construction Management Plan

To whom in may concern,

- 1) Please see the following page for Section 1 (Diagram).**
- 2) Section 2 (Check List)**

a) Will construction require the temporary detour of a bus route?

OC Transpo's Routes 25, 28, 622 uses Innes for west and eastbound service. We do not intend to close any of these roads; no temporary detours of route 25, 28, 622 will be required.

b) Will this work block a bike lane?

A bike lane existing along the ROW frontage for this property and Innes Road. We do not intend to block at bicycle lanes for this project. However, intermittent and brief disruption may be required as necessary during the construction process.

The application will endeavor to provide ample notice to the City of Ottawa and Ward Councillor in advance of these closures to ensure bicycle traffic experiences on minimal impacts.

c) Will this work block a sidewalk?

No, the Innes Road will have overhead protection if neccessary; therefore, pedestrians will have access so they will not be blocked.

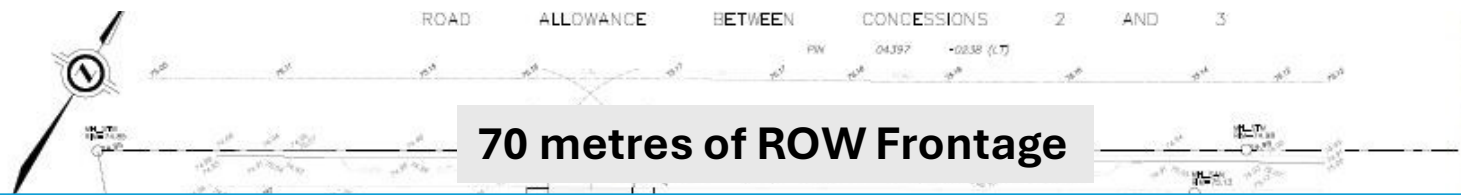
d) Will this work require a lane of traffic to be closed?

Yes, on occasion parts of Innes Road will be closed for deliveries, we will contact the City and meet with a Traffic Management Inspector to initiate a TCE Permit.

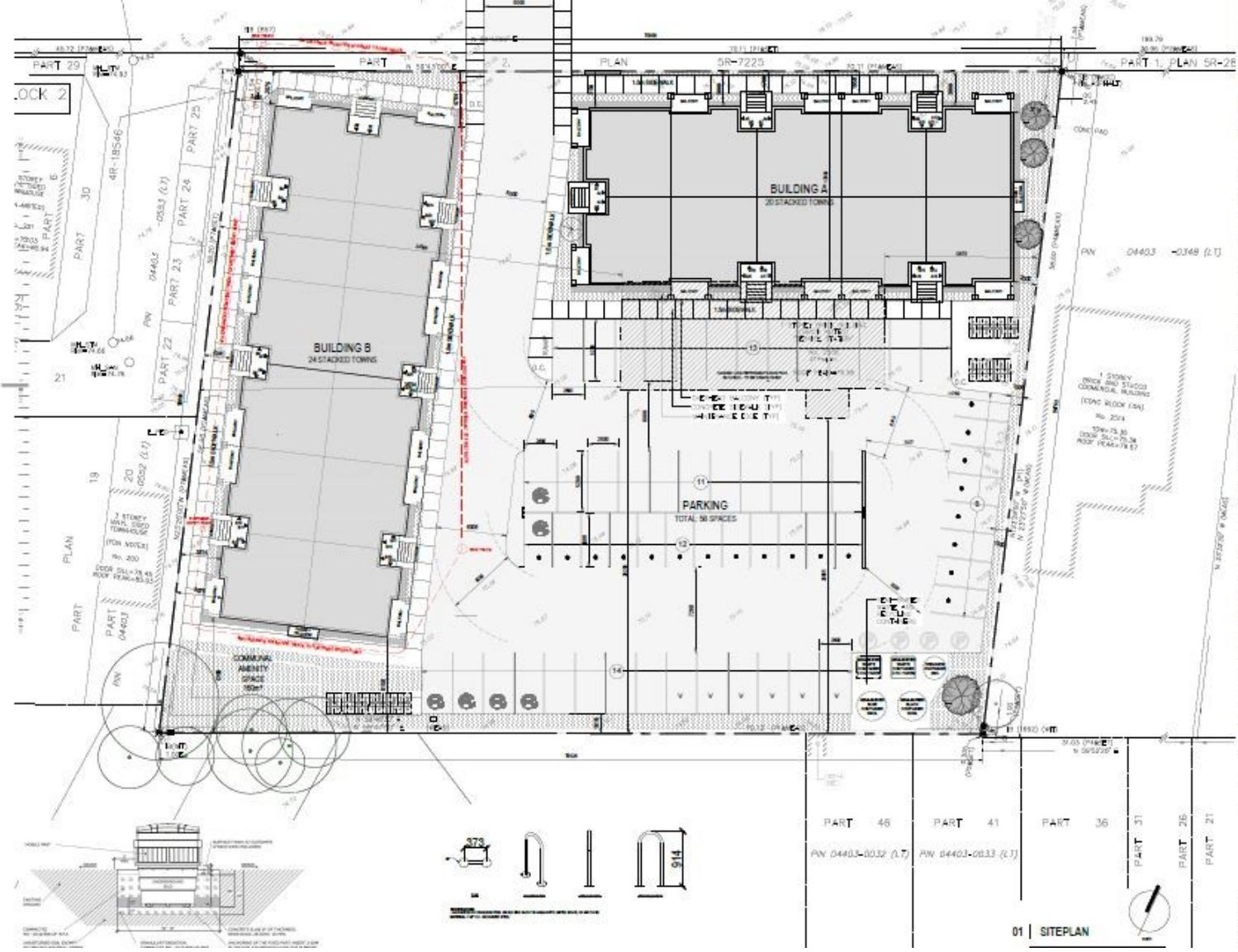
Sincerely,
Tim Beed



Senior Planner, RPP MCIP



70 metres of ROW Frontage



CONIC

Schematic NOT TO SCALE

DEVELOPED FROM
SURVEYOR'S REAL PROPERTY REPORT
PART OF LOT 15 CONCESSION 3 (OTTAWA FRONT)
2506 INNES ROAD
CITY OF OTTAWA

J.D. MARNEZ 2022

GRAPHIC SCALE FOR REFERENCE ONLY
ALL MEASUREMENTS ARE METRIC UNITS

ZONING AM1(2008) - Proposed Use: STACKED RESIDENTIAL DWELLINGS

ZONING MEASURE	REQUIRED	PROPOSED	COMMENTS
1) MINIMUM LOT AREA	3000 sq ft	3000 sq ft	
2) MINIMUM LOT DEPTH	30.0 m	30.0 m	
3) MINIMUM FRONT YARD SETBACK	3.0 m	3.0 m	
4) MINIMUM SIDE YARD SETBACK	3.0 m	3.0 m	
5) MINIMUM REAR YARD SETBACK	3.0 m	3.0 m	
6) MINIMUM CORNER SETBACK	3.0 m	3.0 m	
7) MINIMUM BUILDING HEIGHT	13.0 m	13.0 m	able to increase with depth
8) MAXIMUM GROUND FLOOR AREA	2500 sq ft	2500 sq ft	
9) MAXIMUM FLOOR AREA	10000 sq ft	10000 sq ft	

PROPOSED SITE DEVELOPMENT INFO

REQUIRED	PROPOSED	COMMENTS
LOT AREA	3000 sq ft	
BUILDING HEIGHT	13.0 m	Building height is in accordance with zoning
NUMBER OF STOREYS	3	
NUMBER OF UNITS	44	
TWO-BEDROOM UNITS	44	
THREE-BEDROOM UNITS	0	
LOT COVERAGE	30.0%	30.0% BULKY FOOTPRINT
SOFT LANDSCAPING COVERAGE	15.0% MIN	INCLUDES PERMANENT AND SEASONAL PLANTINGS
PARKING LOT	38	INCLUDES ACCESS UP TO LOT 15B
MINIMUM WIDTH OF FRONT WAY STRIP	6.0 m	
SEPARATION BETWEEN BUILDINGS	1.5 m	
PERMITTED USES / ACTIVITIES		
COMMERCIAL	Not Permitted	
INDUSTRIAL	Not Permitted	

GARBAGE MANAGEMENT REQUIREMENT

REQUIRED	PROPOSED
SPACINGS: 1.0 m min (each side) AND 1.0 m min	1.0 m min (each side) AND 1.0 m min
CORNER SPACINGS: 1.0 m min (each side) AND 1.0 m min	1.0 m min (each side) AND 1.0 m min

	BUILDING A	BUILDING B	TOTAL
BUILDING AREA (gross area)			
GROUND FLOOR	2500 sq ft	2500 sq ft	5000 sq ft
SECOND FLOOR	2500 sq ft	2500 sq ft	5000 sq ft
THIRD FLOOR	2500 sq ft	2500 sq ft	5000 sq ft
TOTAL AREA	7500 sq ft	7500 sq ft	15000 sq ft

SITE PLAN LEGEND

- Symbol for CONCRETE LOT ENTRY
- Symbol for EXISTING SIDEWALK
- Symbol for EXISTING SIDEWALK (WITH 0.15% SLOPE)
- Symbol for EXISTING SIDEWALK
- Symbol for EXISTING SIDEWALK (WITH 2% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 4% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 6% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 8% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 10% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 12% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 14% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 16% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 18% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 20% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 22% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 24% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 26% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 28% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 30% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 32% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 34% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 36% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 38% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 40% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 42% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 44% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 46% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 48% SLOPE)
- Symbol for EXISTING SIDEWALK (WITH 50% SLOPE)

MUZ ARCH



SITE

DATE: 2022-10-10
BY: J.D. MARNEZ
PROJECT: 2506 INNES RD
SHEET NO.: 01
TOTAL SHEETS: 01