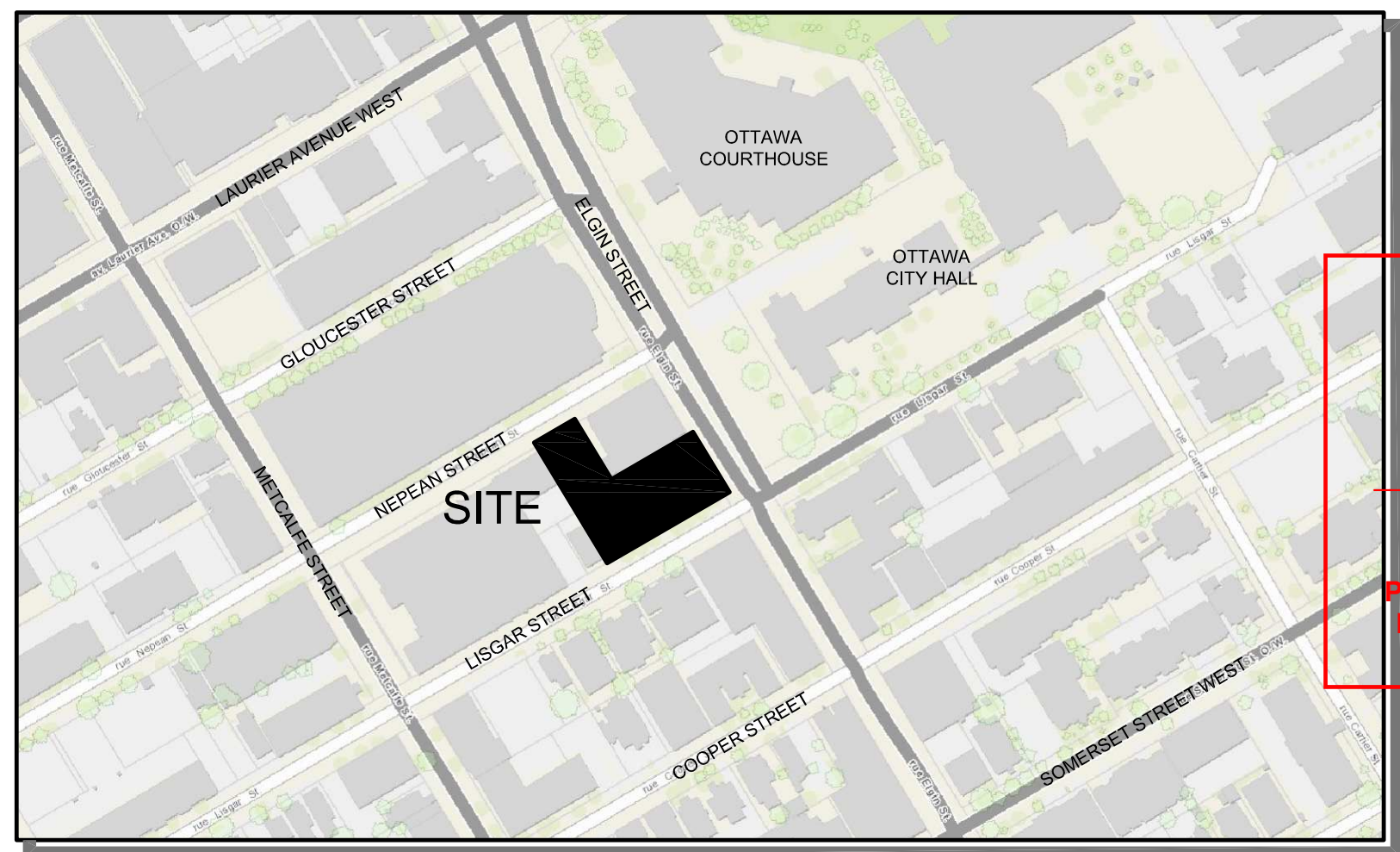


KEY PLAN



TOPOGRAPHIC PLAN OF SURVEY OF LOTS 56, 57 and PART OF LOT 55 North Lisgar Street REGISTERED PLAN 2996 CITY OF OTTAWA Surveyed by Annis, O'Sullivan, Vollebek Ltd.

ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Andrew McCreight at 9:54 am, Aug 15, 2024

PROJECT INFORMATION			
ZONING	TMS (71)	SITE AREA - 18 NEPEAN	607.2 sq. m. 6,535 sq. ft.
SITE AREA - TOTAL	2,427.2 sq. m. 26,126 sq. ft.	SITE AREA - 169 LISGAR	514.1 sq. m. 5,534 sq. ft.
		SITE AREA - 200 ELGIN	1,305.9 sq. m. 14,057 sq. ft.
CAR PARKING: PROVIDED			
PARKING BREAKDOWN			
18 NEPEAN STREET (24 UNITS)	24		
169 LISGAR STREET (42 UNITS)	17		
200 ELGIN STREET (122 UNITS)	68		
169 LISGAR STREET (COMMERCIAL)	4		
200 ELGIN STREET (COMMERCIAL)	5		
TOTAL	118		
LOCATION			
BASEMENT - P1	18 NEPEAN	169 LISGAR	200 ELGIN
GROUND FLOOR	0	0	0
2nd FLOOR	0	0	0
3rd FLOOR	0	0	0
4th FLOOR	0	0	0
5th FLOOR	0	0	0
TOTAL	24	17	68

PROJECT STATISTICS (200 ELGIN)			
BUILDING HEIGHT			33.5 M
LANDSCAPE OPEN SPACE (3.5%)	65.0 sq. m.		(700) sq. ft.
EXISTING			
GROSS BUILDING AREA (CITY OF OTTAWA ZONING AREA)	COMMERCIAL AREA		
PARKING LEVEL P1	0.0 sq. m.		0.0 sq. ft.
GROUND FLOOR - COMMERCIAL	7,311 sq. m.		7,311 sq. ft.
2nd FLOORS - OFFICE	850.2 sq. m.		9,152 sq. ft.
3rd - 11th FLOORS - OFFICE	9 x 850.2 sq. m. 9 x 9,152 sq. ft.		7,652.2 sq. m. 82,368 sq. ft.
TOTAL	9,220.7 sq. m.		98,251 sq. ft.
PROPOSED			
GROSS BUILDING AREA (CITY OF OTTAWA ZONING AREA)	RESIDENTIAL AREA		
PARKING LEVEL P1	0.0 sq. m.		0.0 sq. ft.
GROUND FLOOR - COMMERCIAL	679.2 sq. m.		7,311 sq. ft.
2nd FLOORS	560.2 sq. m.		6,030 sq. ft.
3rd - 5th FLOORS	3 x 753.54 sq. m. 3 x 8,111 sq. ft.		2,260.6 sq. m. 24,333 sq. ft.
6th - 11th FLOORS	6 x 753.54 sq. m. 6 x 8,111 sq. ft.		4,521.2 sq. m. 48,686 sq. ft.
TOTAL	8,021.2 sq. m.		86,340 sq. ft.
UNIT STATISTICS			
STUDIO UNIT			19
ONE BEDROOM UNIT			19
ONE BEDROOM + DEN UNIT			30
TWO BEDROOM UNIT			10
TWO BEDROOM + DEN UNIT			44
TOTAL			122
COMMERCIAL AREA			7,311 sq. ft.

CAR PARKING (122 UNITS)			
AREA "Y" ON SCHEDULE 1A			
REQUIRED BY ZONING BY-LAW			
RESIDENCE	- NOT REQUIRED		0
VISITOR	- 0.1 PER DWELLING UNIT (AFTER 12 UNITS)		11
COMMERCIAL	- NOT REQUIRED		0
COMMERCIAL (BANK)	- NOT REQUIRED		0
TOTAL			11
PROVIDED			
RESIDENCE	- 0.5 PER DWELLING UNIT		57
VISITOR	- 0.1 PER DWELLING UNIT		11
COMMERCIAL	- NON REQUIRED		5
TOTAL			73

BICYCLE PARKING (122 UNITS)			
REQUIRED			
RESIDENCE	- 0.5 PER UNIT		61
COMMERCIAL	- 1.0 PER 250m ² GFA		3
TOTAL			64
PROVIDED			
BASEMENT - INTERIOR	- 0.9 PER UNIT		148
EXTERIOR - CITY BOULEVARD			4
TOTAL			152

LOT COVERAGE			
PAVED SURFACE	=	0.0 sq. m.	0.0%
BUILDING FOOTPRINT	=	1,209.2 sq. m.	92.6%
LANDSCAPE OPEN SPACE	=	96.7 sq. m.	7.4%
TOTAL	=	1,305.9 sq. m.	100.0%

AMENITY SPACE (42 + 122 UNITS)			
169 LISGAR AMENITY ROOM ON 6th FLOOR OF 200 ELGIN STREET REMOVED AND REPLACED WITH UNITS			
BASEMENT GAMES ROOM COMMUNAL	=	60.0 sq. m.	
BASEMENT THEATER COMMUNAL	=	40.0 sq. m.	
GROUND GOLF SIMULATOR COMMUNAL	=	74.0 sq. m.	
2nd FL COMMUNAL ROOF TERRACE	=	120.0 sq. m.	
2nd FL GYM COMMUNAL	=	116.0 sq. m.	
2nd FL PARTY ROOM COMMUNAL	=	93.0 sq. m.	
PRIVATE BALCONIES	=	570.0 sq. m.	
TOTAL	=	1,163.0 sq. m.	
TOTAL COMMUNAL	=	503.0 sq. m.	
REQUIRED - 6.0m ² PER UNIT (122 + 42) =		864.0 sq. m.	
REQUIRED COMMUNAL @ 50% =		432.0 sq. m.	

WASTE REQUIREMENT (42 + 122 UNITS)			
COMBINED GARBAGE ROOM 169 LISGAR & 200 ELGIN			
GARBAGE	- 0.11 PER UNIT		19 YARDS
RECYCLING GMP	- 0.016 PER UNIT		3 YARDS
RECYCLING FIBER	- 0.038 PER UNIT		6 YARDS
COMPOST	- 240L PER 50 UNITS		4

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

6	ISSUED FOR SPC - FORMAL REVIEW	JULY 28/24
5	ISSUED FOR SPC - OFFICIAL REVIEW	JUNE 24/24
4	ISSUED FOR SPC - PRE CONSULTATION RESPONSE	MAR 28/24
3	ISSUED FOR SPC - PRE CONSULTATION RESPONSE	JAN 18/24
2	ISSUED TO CONSULTANTS	DEC 20/23
1	ISSUED FOR SPC - PRE CONSULTATION	SEP 26/23

CLIENT: **DISTRICT REALTY**

ARCHITECT: **rla/architecture**
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t.613.724.9932 f.613.724.1209 rla@architecture.ca

PROJECT TITLE: **200 ELGIN**

OTTAWA ONTARIO

SHEET TITLE: **SITE PLAN**

DRAWN: R.V. CHECKED: R.V.

SCALE: 1:100 SHEET No. **SP-1**

PROJECT No. **2215**

1 SITE PLAN
SCALE = 1 : 100

SCALE 1: 100