

**Preliminary Construction Management Plan (Rev.1)
Response to Comments for Official Submission May 28, 2024**

Date: January 25, 2024 (Revised June 18, 2024)

Project Name: McLeod Residential Development

Location: 283 and 285 McLeod Street, Ottawa Ontario

Applicant / Developer: Rezy Properties Inc.

Site Plan Application Number: PC2024-0151

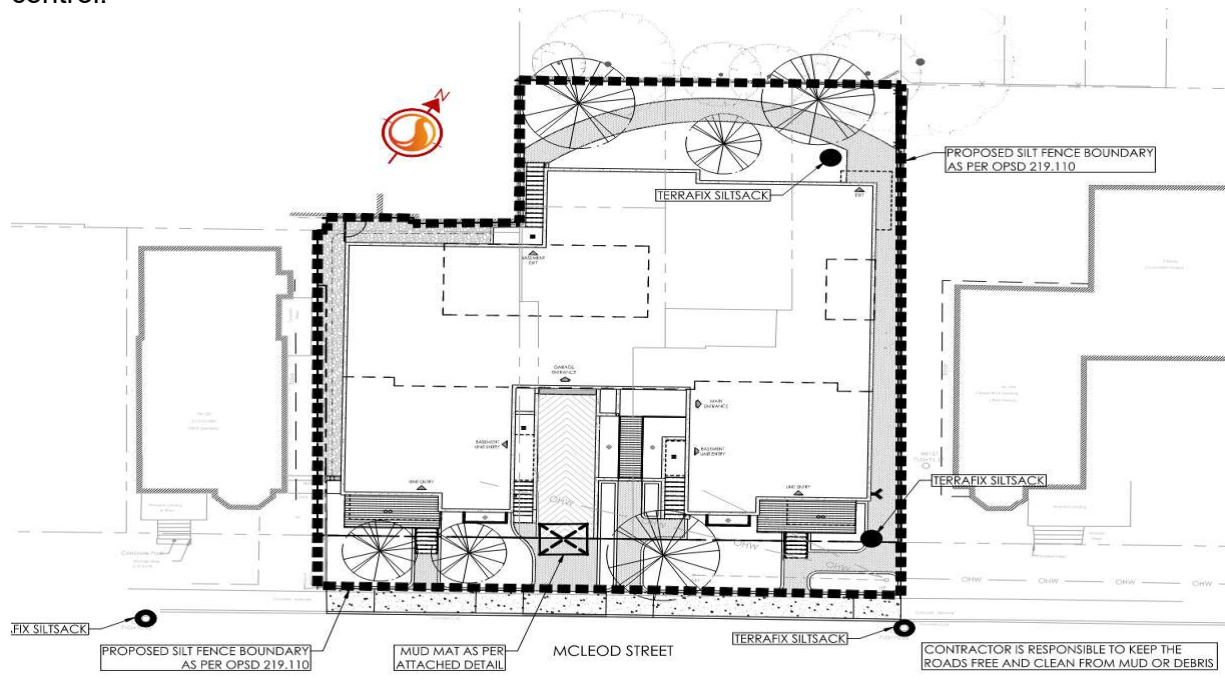
Project Description: Development of a mid-rise residential building in Centretown. The building will include one level of underground parking and five above-grade levels, with a total of 31 residential units.

Objectives:

The following are objectives of the project team:

- Ensure the safety of workers, residents, and the public during the construction.
- Minimize disruptions to the surrounding community.
- Comply with all relevant City of Ottawa regulations and guidelines.
- Efficiently manage construction activities to meet the project timeline.

The following sketch indicates the project's safety construction fence and extent of erosion control:

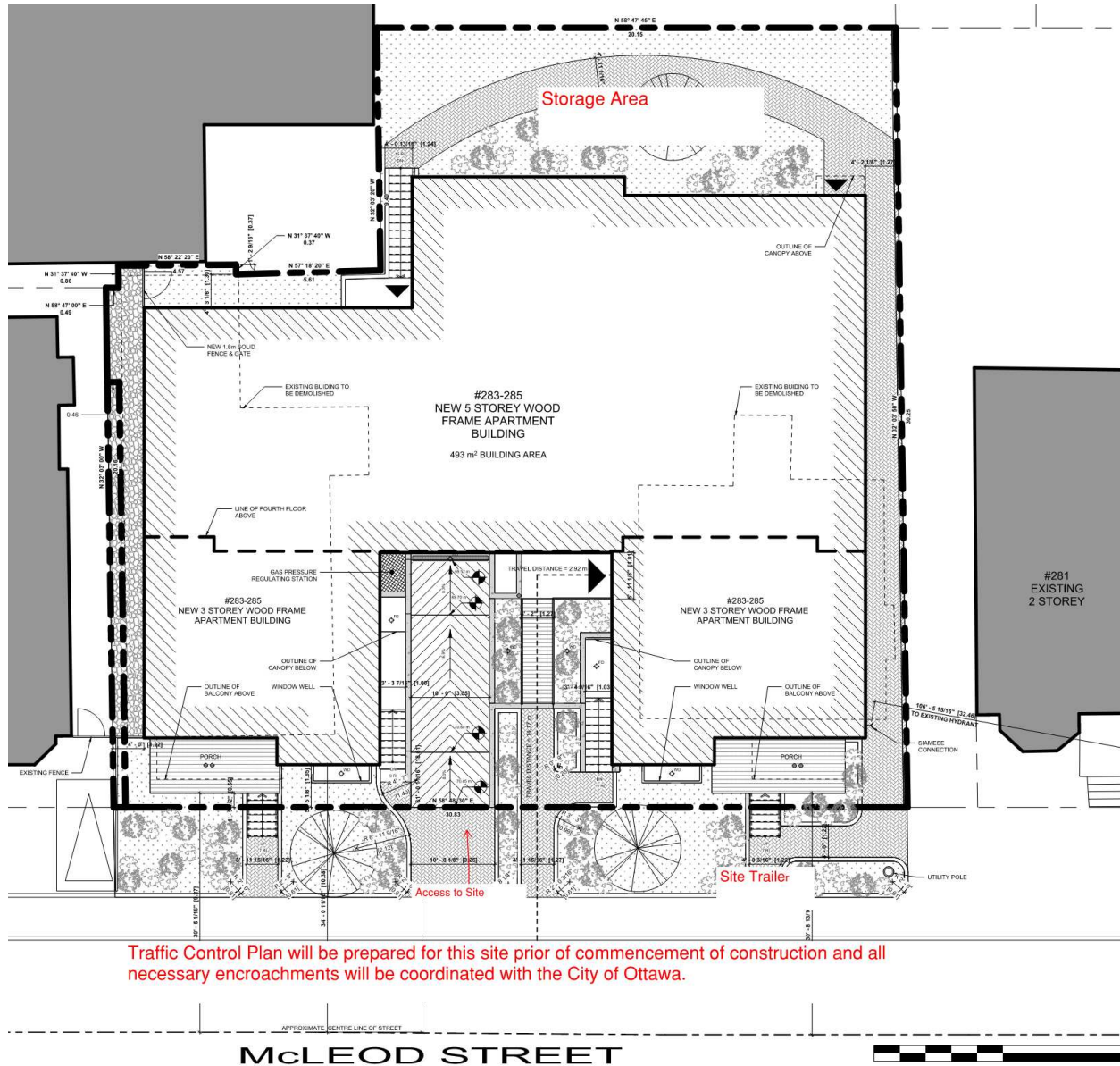


Site Logistics:

Prior to the commencement of construction activities, the following actions will be undertaken:

- A Traffic Control Plan will be prepared and will implemented through the duration of the project.
- A meeting with City of Ottawa By-law Services will be scheduled to discuss and coordinate the encroachment process.

The following sketch identifies the location of the site trailer, storage area and site entrance:



Traffic Control Plan will be prepared for this site prior of commencement of construction and all necessary encroachments will be coordinated with the City of Ottawa.

McLEOD STREET

Safety Measures:

Safety will be a priority to Rezy Properties Inc. and will be enforced to all contractors through the Construction Management Firm.

Rezy Properties Inc. will be obtaining the services of a third-party safety consultant to:

- Prepare a Site-Specific Safety Plan to be implemented by the Construction Management Firm.
- Perform site inspections as required to ensure the safety policies and regulations are followed.

Rezy Properties Inc. will be requesting from the Construction Management Firm to submit the following:

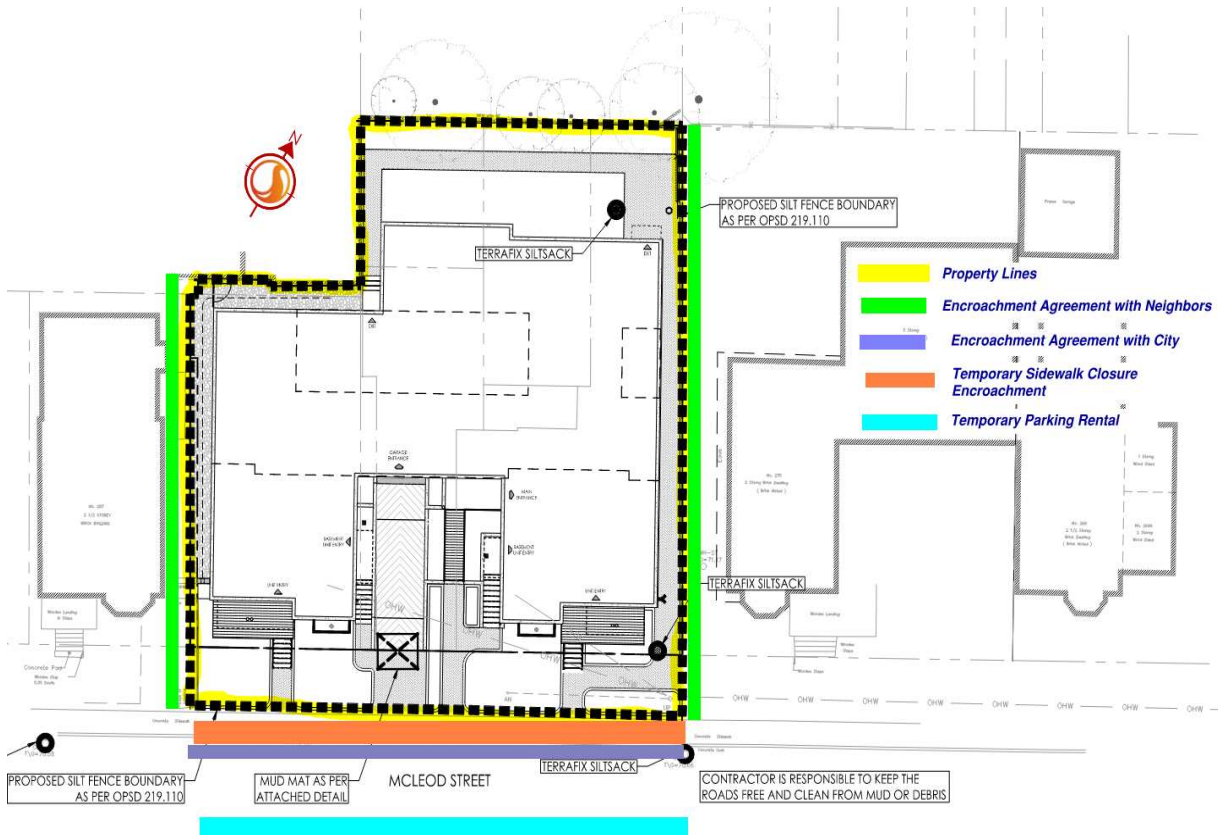
- Company Safety Policy.
- A Site-Specific Safety Plan.

Key Contacts:

- | | |
|---------------------------------|----------------------|
| • Owner: | Rezy Properties Inc. |
| • Project Management Firm: | AKG Management Inc. |
| • Construction Management Firm: | TBD |
| • Emergency Contact: | TBD |

Response to Comments for Official Submission May 28, 2024:

- **Comment No. 31:** Acknowledged
- **Comment No. 32:** Our expectation is that a sidewalk and lane encroachment / closure will be required for isolated activities such as services and major deliveries. It is our intent to maintain the accessibility to both the sidewalk and the street. We will submit a traffic control plan and a site-specific safety plan that details the protocols, the dimensioned limits, duration of the closures, and their specific location. We also acknowledge that any request for 20 days or more will require Councillor approval.
- **Comment No. 33:** Our expectation that parking removals will be required. We will submit a request for encroachment / parking removals and coordinate with the city in advance. We will also submit a traffic control plan and a site-safety specific safety plan that details the protocols, the parking locations and the duration.
- **Comment No. 34:** We will be storing the construction material at north of the building and underground parking level.
- **Comment No. 35:** McLeod Street is a one-way street; it is expected that all traffic will be using McLeod Street.
- **Comment No. 36:** we are not anticipating any request for a construction of temporary access.
- **Comment No. 37:** Yes, there will be. An encroachment agreement has been signed with the neighbor on the west, and we are in the process of signing an encroachment agreement with the neighbor on the east. An encroachment agreement will be signed with the city prior of issuance of the building permit.
- **Comment No. 38:** Yes, there will be. An encroachment agreement will be signed with the city prior of issuance of the building permit.
- **Comment No. 39:** Refer to Plan below



- **Comment No. 41:** We are obtaining the services of WSP and we will provide the RSC prior of obtaining the building pert.
- **Comment No. 42:** No permanent interest. In case temporary interest is present; we will meet with City of Ottawa by Law to discuss and coordinate the encroachment process.