

OWNER/APPLICANT:
REZY PROPERTIES INC.
285 MCLEOD ST
OTTAWA, ON
K2P 1A1
613-233-0349

PROJECT MANAGEMENT:
AKG MANAGEMENT INC.
680 EACLES ROAD, BOX 45011
OTTAWA, ON
K2M 2G9
613-983-2290

ARCHITECT:
COLIZZA BRUNI ARCHITECTURE INC.
78 CHAMBERLAIN AVENUE
OTTAWA, ON
K1S 1V9
613-236-2944

MECHANICAL & ELECTRICAL ENGINEERING:
COSMEL CORP.
178 GRÆBER BLVD, SUITE 105
GATINEAU, QC
J8T 6Z6
819-205-3283

STRUCTURAL ENGINEERING:
GOODEVE STRUCTURAL INC.
77 AURIGA DR.
NEPEAN, ON
K2E 7Z7
613-226-4558

CIVIL ENGINEERING:
STANTEC
1331 CLYDE AVE, SUITE 300
OTTAWA, ON
K2C 3G4
613-722-4420

GEOTECHNICAL ENGINEERING:
PATTERSON GROUP
9 AURIGA DR.
OTTAWA, ON
K2E 7T9
613-226-7381

LANDSCAPE ARCHITECTURE:
STANTEC
1331 CLYDE AVE, SUITE 300
OTTAWA, ON
K2C 3G4
613-722-4420

SURVEYOR:
ANNIS O'SULLIVAN VOLLEBECK LTD.
ONTARIO LAND SURVEYORS
14 CONCOURSE GATE, SUITE 500,
NEPEAN, ON
K2E 7S6
613-727-0850

PLANNER:
FOTENN PLANNING & DESIGN
386 COOPER ST SUITE 300,
OTTAWA, ON
K2P 2H7
613-730-5709

- NOTES:**
- REFER TO LANDSCAPE PLAN FOR VEGETATION TYPE AND LOCATION
 - ALL NEW EXTERIOR HARD SURFACES, PATHS, AND DRIVES TO BE EQUIPPED WITH SNOW MELTING
 - PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PERFORMED ON THE 4TH DAY OF APRIL, 2018 BY ANNIS, O'SULLIVAN, VOLLEBECK LTD.

- LEGEND:**
- NEW SOFT SCAPE
 - NEW HARD SCAPE
 - NEW RIVER STONE
 - PROPERTY LINE
 - FLOOR DRAIN
 - WINDOW WELL DRAIN
 - SOFFIT LIGHT
 - WALL MOUNTED LIGHT
 - UNIT PANEL CONTROLLED
 - PEDESTAL LIGHTING 32"H
 - AFF ABOVE FINISHED FLOOR
 - AFG ABOVE FINISHED GRADE

DEVELOPMENT INFORMATION

BYLAW	REQUIREMENT	TOTAL # OF UNITS: 31	
		REQUIREMENT	PROVIDED
ZONING: RSB H(18)			
MIN. LOT WIDTH	30.83m		
MIN. LOT AREA	832.1 m ²		
MAX. LOT COVERAGE	97%		
MAX. BUILDING HEIGHT	19m - 13m WITHIN 9m OF FRONT LOT LINE		
MIN. FRONT YARD SETBACK	1.65m		
MIN. REAR YARD SETBACK	5.7m		
MIN. INTERIOR SIDE YARD SETBACK	1.2m		
MIN. SIDE YARD SETBACK	1.2m		
TOTAL PARKING	7+1V	8 UIC	
INDOOR PARKING	7+1V	7+1V UIC	
OUTDOOR PARKING	N/A	0	
VISITOR PARKING	1	1	
BARRIER-FREE PARKING	0	0	
BICYCLE PARKING	31	31	

UNIT BREAKDOWN

UNIT TYPE	AREA	CONFIGURATION	# OF UNITS	# OF BEDROOMS	OCCUPANT LOAD
A	38.90 m ²	1 BR	1	1	2
B	43.15 m ²	1 BR	1	1	2
C	72.10 m ²	2 BR	1	2	4
D	41.83 m ²	1 BR	1	1	2
E (BF)	68.20 m ²	2 BR	1	2	4
F	38.72 m ²	1 BR	5	5	10
G (BF)	42.35 m ²	1 BR	1	1	2
H	62.31 m ²	2 BR	1	2	4
I	72.37 m ²	2 BR & DEN	1	2	4
J	80.52 m ²	2 BR & DEN	1	2	4
K	45.48 m ²	1 BR	1	1	2
L (BF)	54.08 m ²	1 BR	1	1	2
M	58.38 m ²	2 BR	4	8	16
N	32.41 m ²	1 BR	1	1	2
O	85.93 m ²	2 BR & DEN	1	2	4
P	69.38 m ²	2 BR	1	2	4
Q	38.14 m ²	1 BR	2	2	4
R1	34.73 m ²	1 BR	1	1	2
R2	34.73 m ²	1 BR	1	1	2
S	53.27 m ²	2 BR	1	2	4
T	53.28 m ²	1 BR & DEN	1	1	2
T1	54.61 m ²	1 BR & DEN	1	1	2
U (BF)	51.49 m ²	1 BR & DEN	1	1	2
TOTAL			31	43	86

BARRIER-FREE UNIT %

CONFIGURATION	# OF UNITS	# OF BEDROOMS	OCCUPANT LOAD	% OF TOTAL	BF
1 BR	2	2	4	5%	Yes
1 BR & DEN	1	1	2	2%	Yes
2 BR	1	2	4	5%	Yes
1 BR	14	14	28	33%	No
1 BR & DEN	2	2	4	5%	No
2 BR	8	16	32	37%	No
2 BR & DEN	3	5	12	14%	No

UNIT FLOOR AREA BY LEVEL

FLOOR LEVEL	AREA	# OF UNITS	# OF BDRMS	OCC. LOAD
T/O BASEMENT SLAB	81.15 m ²	2	2	4
T/O MAIN FLOOR SLAB	324.12 m ²	6	9	18
T/O SECOND FLOOR SUBFLOOR	389.97 m ²	7	10	20
T/O THIRD FLOOR SUBFLOOR	322.30 m ²	6	9	18
T/O FOURTH FLOOR SUBFLOOR	238.70 m ²	5	7	14
T/O FIFTH FLOOR SUBFLOOR	237.00 m ²	5	6	12
TOTAL	1584.23 m²	31	43	86

GROSS FLOOR AREA ABOVE/BELOW GRADE

ABOVE GRADE/GFA OF APARTMENTS	1503.08 m ²	78%
ABOVE GRADE/REMAINING GFA	420.92 m ²	22%
BELOW GRADE/GFA OF APARTMENTS	81.15 m ²	19%
BELOW GRADE/REMAINING GFA	355.12 m ²	61%

GROSS BUILDING AREA BY LEVEL

FLOOR LEVEL	AREA	PERCENTAGE
T/O BASEMENT SLAB	493.52 m ²	19%
T/O MAIN FLOOR SLAB	492.91 m ²	19%
T/O SECOND FLOOR SUBFLOOR	496.50 m ²	19%
T/O THIRD FLOOR SUBFLOOR	422.80 m ²	16%
T/O FOURTH FLOOR SUBFLOOR	333.75 m ²	13%
T/O FIFTH FLOOR SUBFLOOR	334.08 m ²	13%
TOTAL	2573.56 m²	

FLOOR AREA PERCENTAGE

NAME	AREA	PERCENTAGE
GFA OF APARTMENTS	1584.23 m ²	61%
REMAINING GFA	776.04 m ²	33%
TOTAL	2360.27 m²	

SITE & L.O.S.

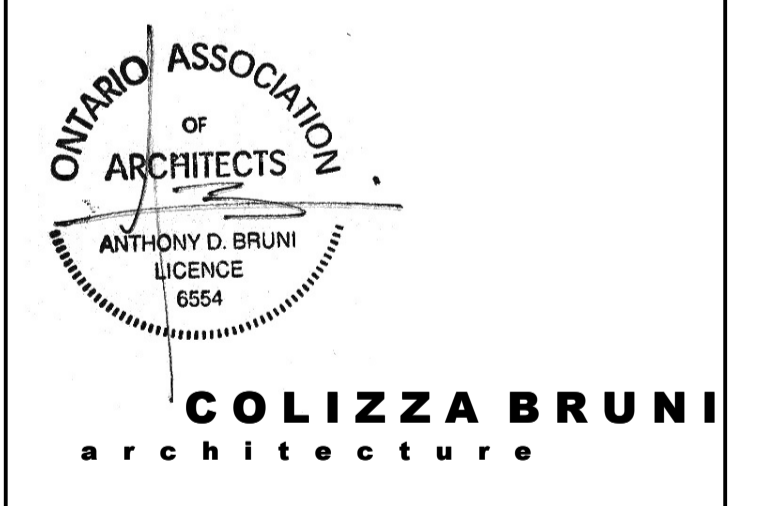
NAME	AREA	PERCENTAGE REQUIRED	PERCENTAGE PROVIDED
LANDSCAPE	283.99 m ²	50%	34%
BUILDING	547.94 m ²	N/A	66%
TOTAL	831.93 m²		

TOTAL FLOOR AREA - OTTAWA BYLAW

FLOOR LEVEL	AREA
T/O BASEMENT SLAB	447.91 m ²
T/O MAIN FLOOR SLAB	454.51 m ²
T/O SECOND FLOOR SUBFLOOR	457.80 m ²
T/O THIRD FLOOR SUBFLOOR	398.45 m ²
T/O FOURTH FLOOR SUBFLOOR	313.23 m ²
T/O FIFTH FLOOR SUBFLOOR	310.16 m ²
T/O ROOF SUBFLOOR	56.78 m ²
TOTAL	2437.84 m²



NO.	REV DATE	REV DESCRIPTION
01	24-01-23	ISSUED FOR SPC SUBMISSION
02	24-03-21	RE-ISSUED FOR SPC SUBMISSION
03	24-04-12	RE-ISSUED FOR SPC SUBMISSION
04	24-05-03	ISSUED FOR PERMIT SUBMISSION
05	24-05-10	RE-ISSUED FOR SPC SUBMISSION
06	24-07-31	ISSUED FOR PERMIT RESPONSE 1
07	24-08-01	ISSUED FOR PRELIMINARY TENDER
08	24-08-20	RE-ISSUED FOR SPC SUBMISSION
09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



78 CHAMBERLAIN AVE • OTTAWA • ONTARIO • K1S 1V5
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PROJECT NAME
283 & 285 McLEOD STREET

OTTAWA, ON

DRAWING TITLE
SITE PLAN

SCALE
AS NOTED

DRAWN BY
BS

DATE
24/09/04

PROJECT NO.
01917

DRAWING NO.
SP1

Andrew McCreight

ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Andrew McCreight at 7:25 am, Sep 13, 2024

1 SITE PLAN
SP1

PLAN NO.: 18271
D07-12-24-0049