

**OWNER/APPLICANT:**  
REZY PROPERTIES INC.  
285 MCLEOD ST  
OTTAWA, ON  
K2P 1A1  
613-233-0349

**PROJECT MANAGEMENT:**  
AKG MANAGEMENT INC.  
680 EACLESON ROAD, BOX 45011  
OTTAWA, ON  
K2M 2G9  
613-983-2290

**ARCHITECT:**  
COLIZZA BRUNI ARCHITECTURE INC.  
78 CHAMBERLAIN AVENUE  
OTTAWA, ON  
K1S 1V9  
613-236-2944

**MECHANICAL & ELECTRICAL ENGINEERING:**  
COSMEL CORP.  
178, GRÆBER BLVD, SUITE 105  
GATINEAU, QC  
J8T 6Z6  
819-205-3283

**STRUCTURAL ENGINEERING:**  
GOODEVE STRUCTURAL INC.  
77 AURIGA DR.  
NEPEAN, ON  
K2E 7Z7  
613-226-4558

**CIVIL ENGINEERING:**  
STANTEC  
1331 CLYDE AVE, SUITE 300  
OTTAWA, ON  
K2C 3G4  
613-722-4420

**GEOTECHNICAL ENGINEERING:**  
PATTERSON GROUP  
9 AURIGA DR.  
OTTAWA, ON  
K2E 7T9  
613-226-7381

**LANDSCAPE ARCHITECTURE:**  
STANTEC  
1331 CLYDE AVE, SUITE 300  
OTTAWA, ON  
K2C 3G4  
613-722-4420

**SURVEYOR:**  
ANNIS O'SULLIVAN VOLLEBEKK LTD.  
ONTARIO LAND SURVEYORS  
14 CONCOURSE GATE, SUITE 500,  
NEPEAN, ON  
K2E 7S6  
613-727-0850

**PLANNER:**  
FOTENN PLANNING & DESIGN  
386 COOPER ST SUITE 300,  
OTTAWA, ON  
K2P 2H7  
613-730-5709

- NOTES:**
- REFER TO LANDSCAPE PLAN FOR VEGETATION TYPE AND LOCATION
  - ALL NEW EXTERIOR HARD SURFACES, PATHS, AND DRIVES TO BE EQUIPPED WITH SNOW MELTING
  - PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PERFORMED ON THE 4TH DAY OF APRIL, 2018 BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

- LEGEND:**
- NEW SOFT SCAPE
  - NEW HARD SCAPE
  - NEW RIVER STONE
  - PROPERTY LINE
  - FLOOR DRAIN
  - WINDOW WELL DRAIN
  - SOFFIT LIGHT
  - WALL MOUNTED LIGHT
  - UNIT PANEL CONTROLLED
  - PEDESTAL LIGHTING 32"
  - AFF ABOVE FINISHED FLOOR
  - AFG ABOVE FINISHED GRADE

**DEVELOPMENT INFORMATION**

ZONING: RSB H(18)	TOTAL # OF UNITS: 31	
	REQUIREMENT	PROVIDED
MIN. LOT WIDTH		30.83m
MIN. LOT AREA		832.1 m <sup>2</sup>
MAX. LOT COVERAGE		97%
MAX. BUILDING HEIGHT	19m - 13m WITHIN 9m OF FRONT LOT LINE	1.65m
MIN. FRONT YARD SETBACK	1.65m	1.65m
MIN. REAR YARD SETBACK	5.7m	5.7m
MIN. INTERIOR SIDE YARD SETBACK	1.2m	1.2m
MIN. SIDE YARD SETBACK	1.2m	1.2m
TOTAL PARKING	7+1V	8 UIC
INDOOR PARKING	7+1V	7+1V UIC
OUTDOOR PARKING	N/A	0
VISITOR PARKING	1	1
BARRIER-FREE PARKING	0	0
BICYCLE PARKING	31	31

**UNIT BREAKDOWN**

UNIT TYPE	AREA	CONFIGURATION	# OF UNITS	# OF BEDROOMS	# OF OCCUPANT LOAD
A	38.90 m <sup>2</sup>	1 BR	1	1	2
B	43.15 m <sup>2</sup>	1 BR	1	1	2
C	72.10 m <sup>2</sup>	2 BR	1	2	4
D	41.80 m <sup>2</sup>	1 BR	1	1	2
E (BF)	68.20 m <sup>2</sup>	2 BR	1	2	4
F	38.72 m <sup>2</sup>	1 BR	5	5	10
G (BF)	42.35 m <sup>2</sup>	1 BR	1	1	2
H	62.91 m <sup>2</sup>	2 BR	1	2	4
I	72.37 m <sup>2</sup>	2 BR & DEN	1	2	4
J	80.52 m <sup>2</sup>	2 BR & DEN	1	2	4
K	45.48 m <sup>2</sup>	1 BR	1	1	2
L (BF)	54.08 m <sup>2</sup>	1 BR	1	1	2
M	58.38 m <sup>2</sup>	2 BR	4	8	16
N	32.41 m <sup>2</sup>	1 BR	1	1	2
O	85.93 m <sup>2</sup>	2 BR & DEN	1	2	4
P	69.38 m <sup>2</sup>	2 BR	1	2	4
Q	38.14 m <sup>2</sup>	1 BR	2	2	4
R	34.70 m <sup>2</sup>	1 BR	1	1	2
S	34.70 m <sup>2</sup>	1 BR	1	1	2
T	53.27 m <sup>2</sup>	1 BR & DEN	1	1	2
U	54.61 m <sup>2</sup>	1 BR & DEN	1	1	2
V (BF)	51.49 m <sup>2</sup>	1 BR & DEN	1	1	2
TOTAL			31	43	86

**BARRIER-FREE UNIT %**

CONFIGURATION	# OF UNITS	# OF BEDROOMS	LOAD	% OF TOTAL UNITS	% OF TOTAL BEDS	BF
1 BR	2	2	4	5%	5%	Yes
1 BR & DEN	1	1	2	2%	2%	Yes
2 BR	1	2	4	5%	5%	Yes
1 BR	14	14	28	33%	33%	No
1 BR & DEN	2	2	4	5%	5%	No
2 BR	5	10	20	17%	17%	No
2 BR & DEN	3	5	10	14%	14%	No

**UNIT FLOOR AREA BY LEVEL**

FLOOR LEVEL	AREA	# OF UNITS	# OF BDRMS	OCC. LOAD
T/O BASEMENT SLAB	81.15 m <sup>2</sup>	2	2	4
T/O MAIN FLOOR SLAB	324.12 m <sup>2</sup>	6	9	18
T/O SECOND FLOOR SUBFLOOR	389.97 m <sup>2</sup>	7	10	20
T/O THIRD FLOOR SUBFLOOR	322.30 m <sup>2</sup>	6	9	18
T/O FOURTH FLOOR SUBFLOOR	238.70 m <sup>2</sup>	5	7	14
T/O FIFTH FLOOR SUBFLOOR	237.00 m <sup>2</sup>	5	6	12
TOTAL	1584.23 m <sup>2</sup>	31	43	86

**GROSS FLOOR AREA ABOVE/BELOW GRADE**

ABOVE GRADE: GFA OF APARTMENTS	1503.08 m <sup>2</sup>	78%
ABOVE GRADE: REMAINING GFA	420.92 m <sup>2</sup>	22%
BELOW GRADE: GFA OF APARTMENTS	81.15 m <sup>2</sup>	19%
BELOW GRADE: REMAINING GFA	355.12 m <sup>2</sup>	61%

**GROSS BUILDING AREA BY LEVEL**

FLOOR LEVEL	AREA	PERCENTAGE
T/O BASEMENT SLAB	483.52 m <sup>2</sup>	19%
T/O MAIN FLOOR SLAB	492.91 m <sup>2</sup>	19%
T/O SECOND FLOOR SUBFLOOR	496.50 m <sup>2</sup>	19%
T/O THIRD FLOOR SUBFLOOR	422.80 m <sup>2</sup>	16%
T/O FOURTH FLOOR SUBFLOOR	333.75 m <sup>2</sup>	13%
T/O FIFTH FLOOR SUBFLOOR	334.08 m <sup>2</sup>	13%
TOTAL	3573.56 m <sup>2</sup>	

**FLOOR AREA PERCENTAGE**

NAME	AREA	PERCENTAGE
GFA OF APARTMENTS	1584.23 m <sup>2</sup>	67%
REMAINING GFA	776.04 m <sup>2</sup>	33%
TOTAL	2360.27 m <sup>2</sup>	

**SITE & L.O.S.**

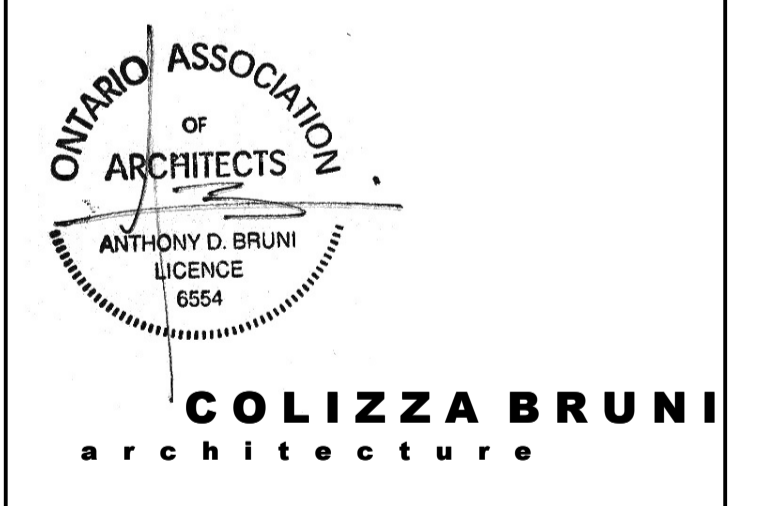
NAME	AREA	PERCENTAGE REQUIRED	PERCENTAGE PROVIDED
LANDSCAPE	283.99 m <sup>2</sup>	50%	34%
BUILDING	547.94 m <sup>2</sup>	N/A	66%
TOTAL	831.93 m <sup>2</sup>		

**TOTAL FLOOR AREA - OTTAWA BYLAW**

FLOOR LEVEL	AREA
T/O BASEMENT SLAB	447.91 m <sup>2</sup>
T/O MAIN FLOOR SLAB	454.51 m <sup>2</sup>
T/O SECOND FLOOR SUBFLOOR	457.80 m <sup>2</sup>
T/O THIRD FLOOR SUBFLOOR	398.45 m <sup>2</sup>
T/O FOURTH FLOOR SUBFLOOR	312.23 m <sup>2</sup>
T/O FIFTH FLOOR SUBFLOOR	310.16 m <sup>2</sup>
T/O ROOF SUBFLOOR	56.78 m <sup>2</sup>
TOTAL	2437.84 m <sup>2</sup>



NO.	REV DATE	REV DESCRIPTION
01	24-01-23	ISSUED FOR SPC SUBMISSION
02	24-03-21	RE-ISSUED FOR SPC SUBMISSION
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05	24-05-10	RE-ISSUED FOR SPC SUBMISSION
06	24-07-31	ISSUED FOR PERMIT RESPONSE 1
07	24-08-01	ISSUED FOR PRELIMINARY TENDER
08	24-08-20	RE-ISSUED FOR SPC SUBMISSION
09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



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PROJECT NAME  
**283 & 285 McLEOD STREET**

OTTAWA, ON

DRAWING TITLE  
**SITE PLAN**

SCALE  
AS NOTED

DRAWN BY  
BS

DATE  
24/09/04

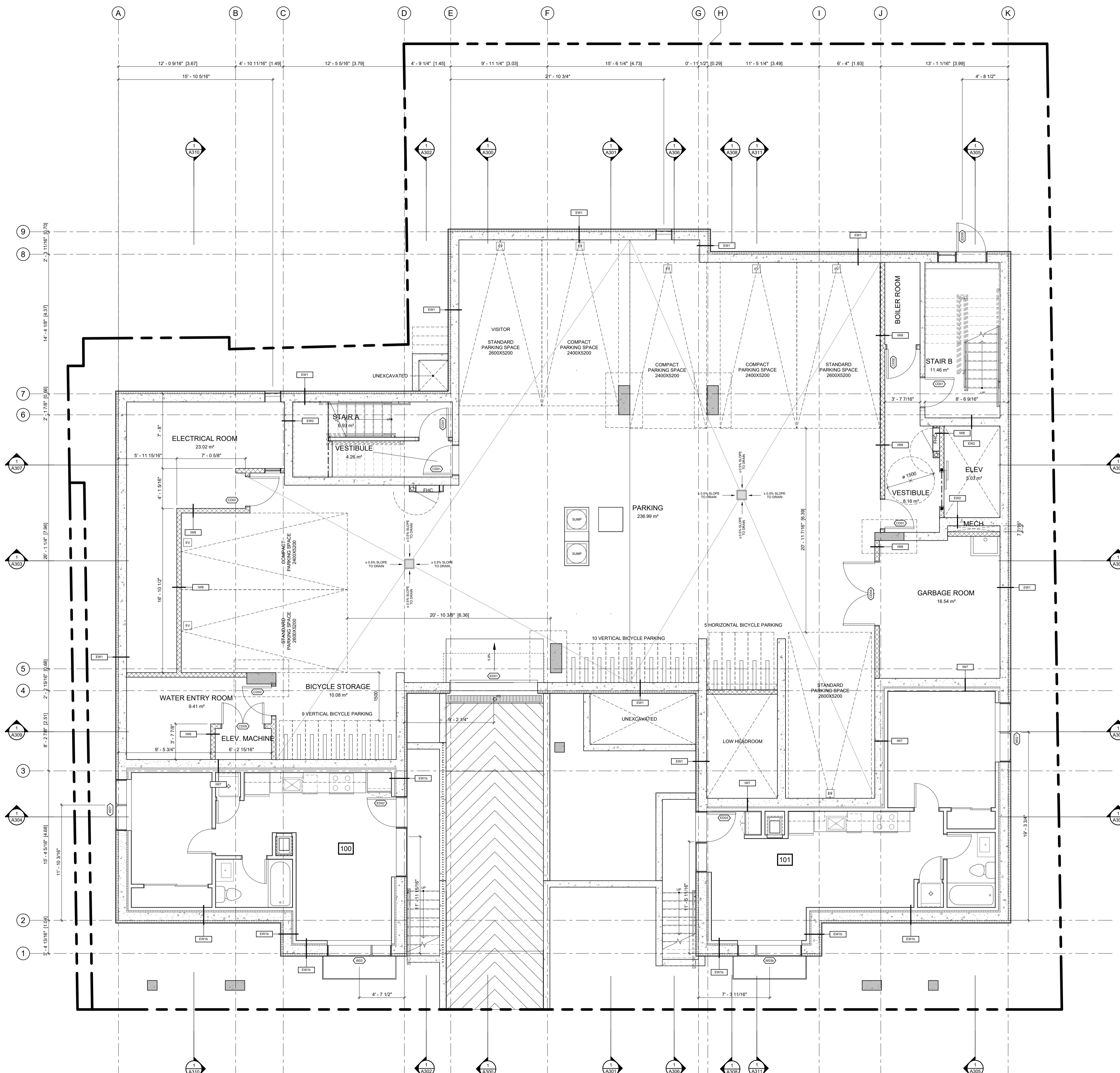
PROJECT NO.  
01917

DRAWING NO.  
**SP1**

1 SITE PLAN  
SP1

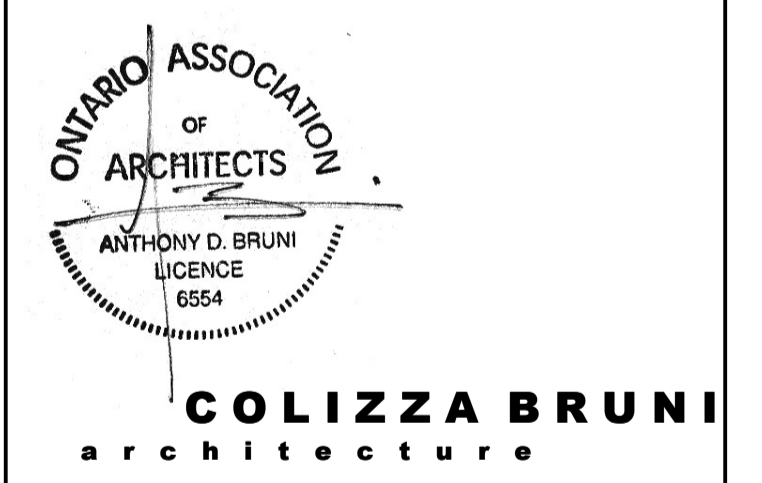
D07-12-24-0049

PLAN NO.: 18721



ABBREVIATIONS	
B	BEDROOM
CL	CLOSET
DR	DINING ROOM
D	DEN
DK	DECK
H	HALLWAY
K	KITCHEN
L	LIVING ROOM
LA	LAUNDRY ROOM
LC	LINEN CLOSET
MB	MASTER BEDROOM
MECH	MECHANICAL ROOM
S	STUDY
SA	STORAGE AREA
T	TERRACE
WIC	WALK IN CLOSET
WR	WASHROOM
UR	UTILITY ROOM

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09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



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PROJECT NAME  
**283 & 285 McLEOD STREET**

OTTAWA, ON

DRAWING TITLE  
**BASEMENT PLAN**

SCALE  
 AS NOTED

DRAWN BY  
 BS

DATE  
 24/09/04

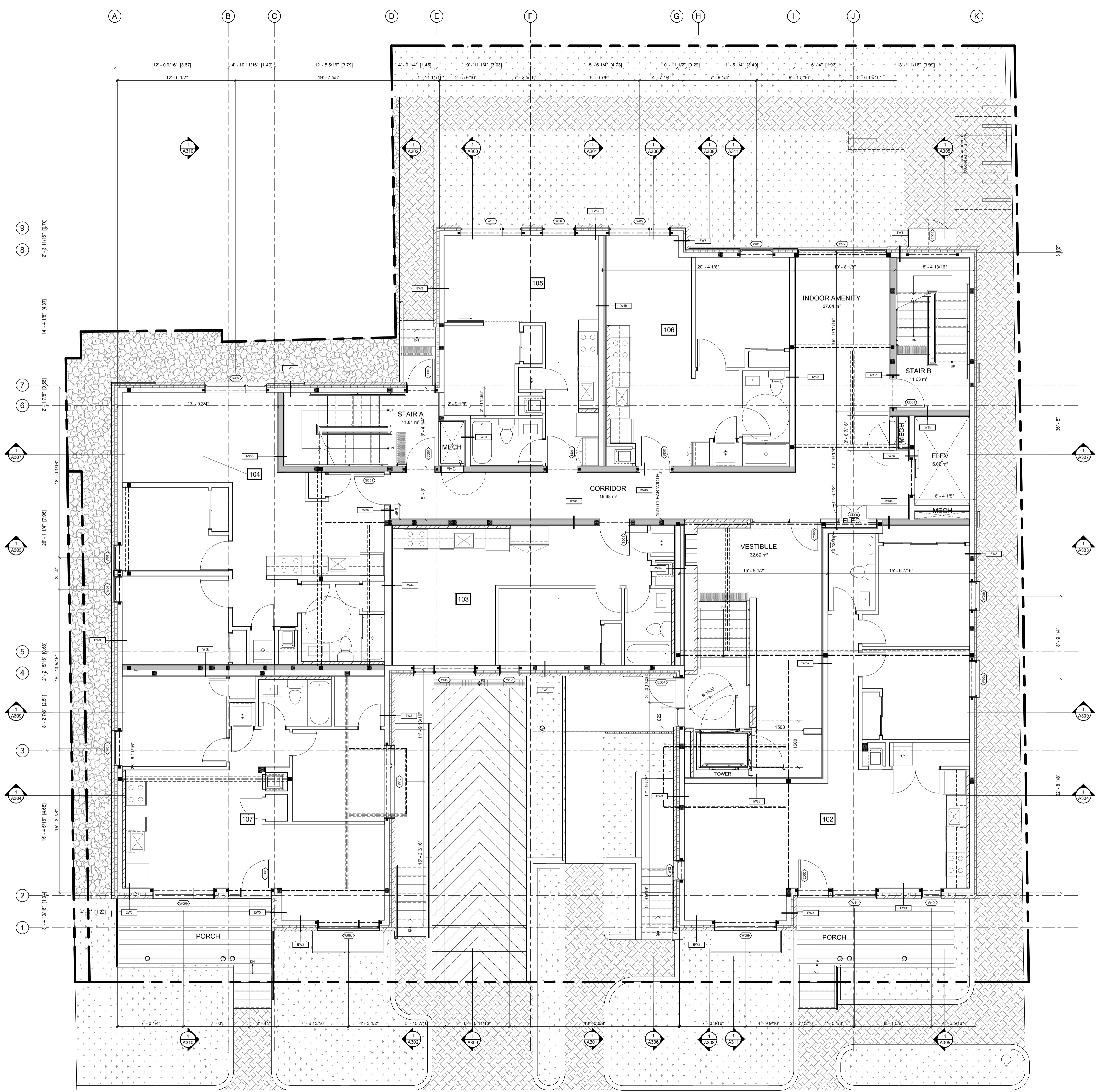
PROJECT NO.  
 01917

DRAWING NO.  
**A101**

**1**  
**A101**  
 T/O BASEMENT SLAB - SPC  
 3/16" = 1'-0"

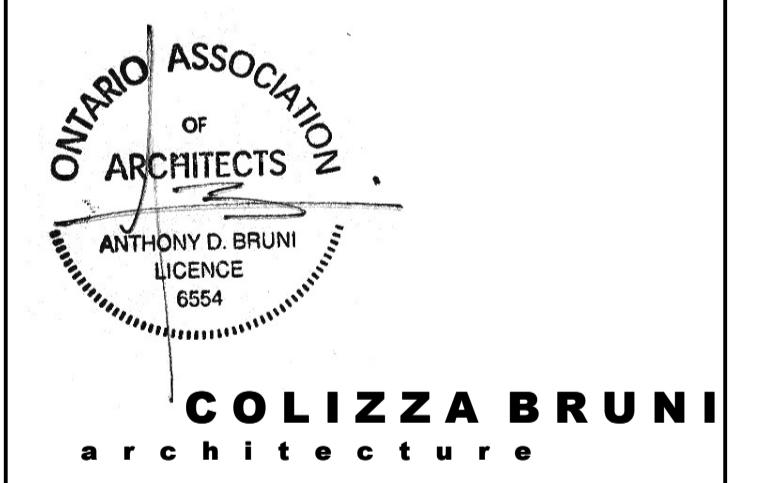
D07-12-24-0049

PLAN NO.:18721



ABBREVIATIONS	
B	BEDROOM
CL	CLOSET
DR	DINING ROOM
D	DEN
DK	DECK
H	HALLWAY
K	KITCHEN
L	LIVING ROOM
LA	LAUNDRY ROOM
LC	LINEN CLOSET
MB	MASTER BEDROOM
MECH	MECHANICAL
RM	ROOM
S	STUDY
SA	STORAGE AREA
T	TERRACE
WIC	WALK IN CLOSET
WR	WASHROOM
UT	UTILITY ROOM

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09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



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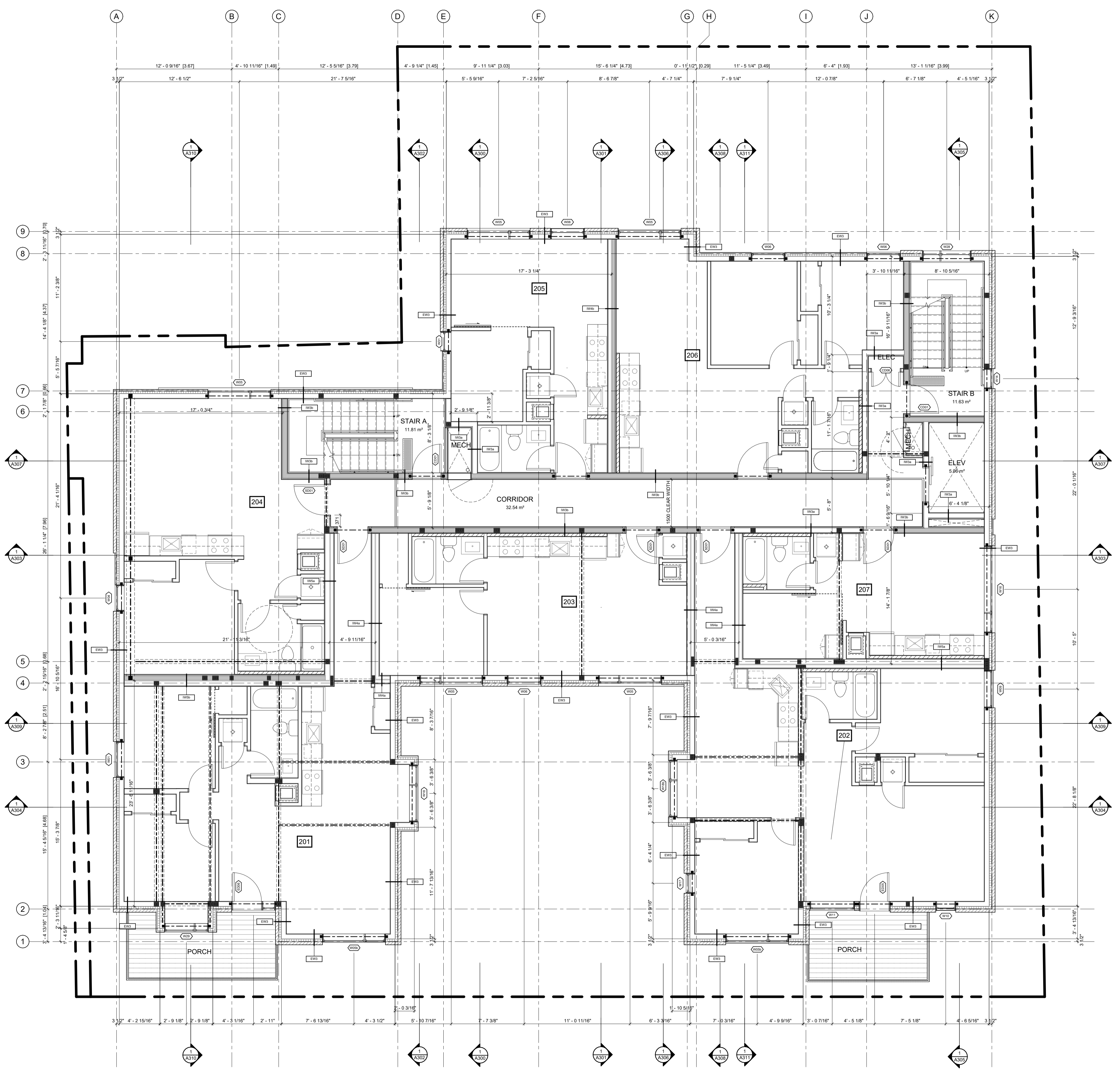
PROJECT NAME  
**283 & 285 McLEOD STREET**  
OTTAWA, ON

DRAWING TITLE  
**GROUND FLOOR PLAN**

SCALE  
AS NOTED  
DRAWN BY  
BS  
DATE  
24/09/04  
PROJECT NO.  
01917

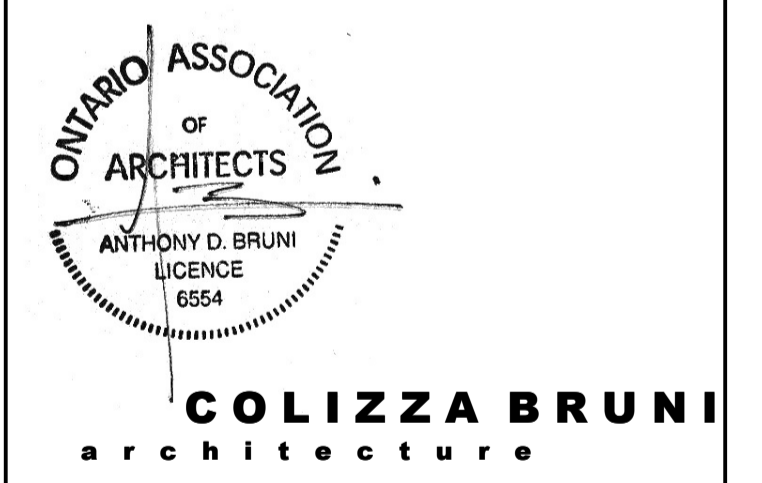
DRAWING NO.  
**A102**

1 T/O MAIN FLOOR SLAB - SPC  
A102 3/16" = 1'-0"



ABBREVIATIONS	
B	BEDROOM
CL	CLOSET
DR	DINING ROOM
D	DEN
DK	DECK
H	HALLWAY
K	KITCHEN
L	LIVING ROOM
LA	LAUNDRY ROOM
LC	LINEN CLOSET
MB	MASTER BEDROOM
MECH	MECHANICAL
RM	ROOM
S	STUDY
SA	STORAGE AREA
T	TERRACE
WC	WALK IN CLOSET
WR	WASHROOM
UT	UTILITY ROOM

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PROJECT NAME  
**283 & 285 McLEOD STREET**

OTTAWA, ON

DRAWING TITLE  
**SECOND FLOOR PLAN**

SCALE  
 AS NOTED

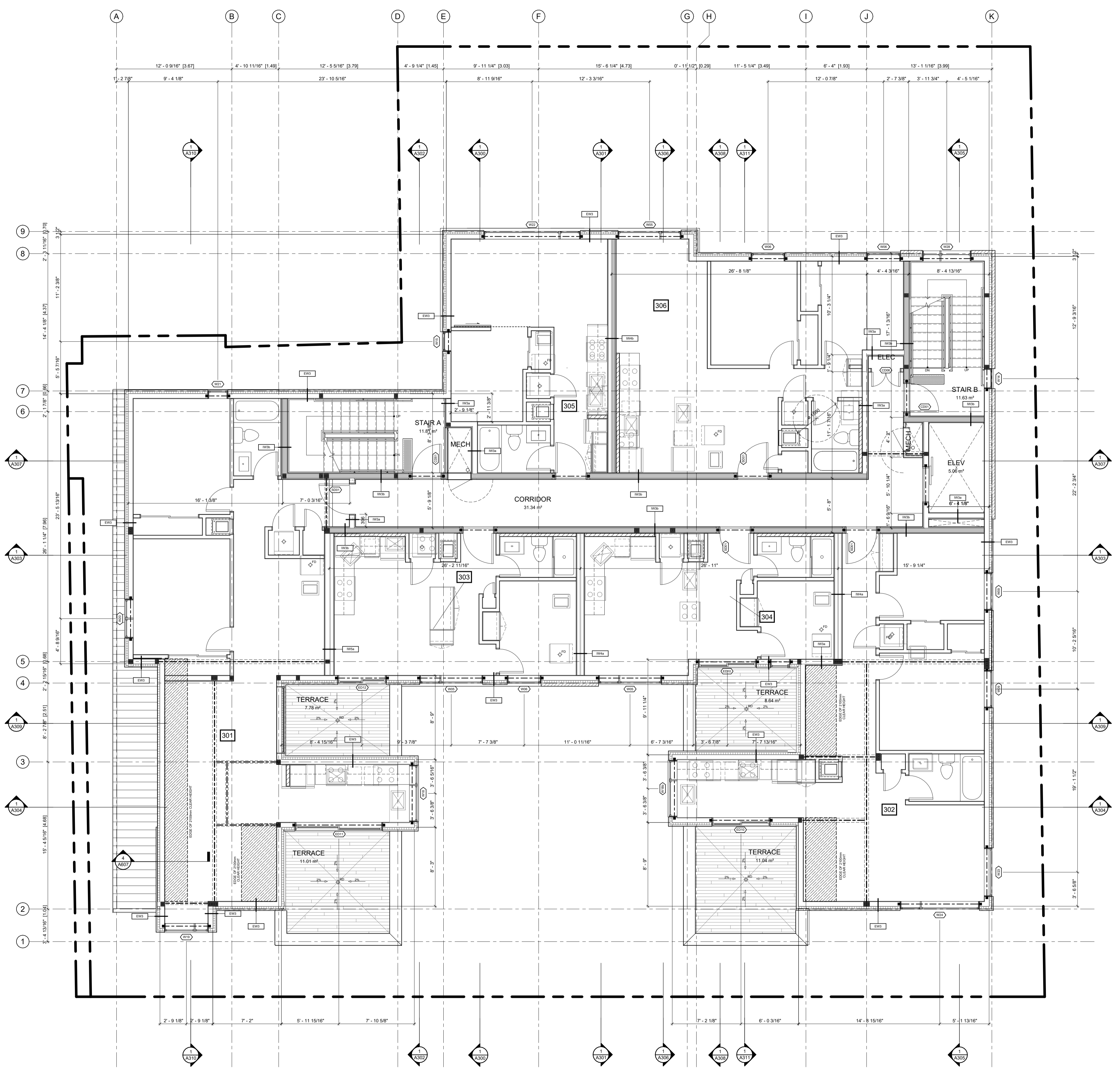
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DATE  
 24/09/04

PROJECT NO.  
 01917

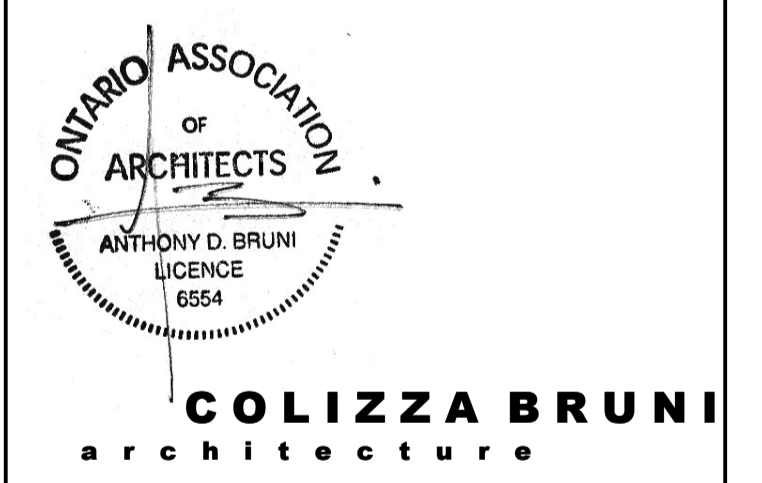
DRAWING NO.  
**A103**

**1** T/O SECOND FLOOR SUBFLOOR - SPC  
 A103 3/16" = 1"=0"



ABBREVIATIONS	
B	BEDROOM
CL	CLOSET
DR	DINING ROOM
D	DEN
DK	DECK
H	HALLWAY
K	KITCHEN
L	LIVING ROOM
LA	LAUNDRY ROOM
LC	LINEN CLOSET
MB	MASTER BEDROOM
MECH	MECHANICAL ROOM
S	STUDY
SA	STORAGE AREA
T	TERRACE
WIC	WALK IN CLOSET
WR	WASHROOM
UR	UTILITY ROOM

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PROJECT NAME  
**283 & 285 McLEOD STREET**

OTTAWA, ON

DRAWING TITLE  
**THIRD FLOOR PLAN**

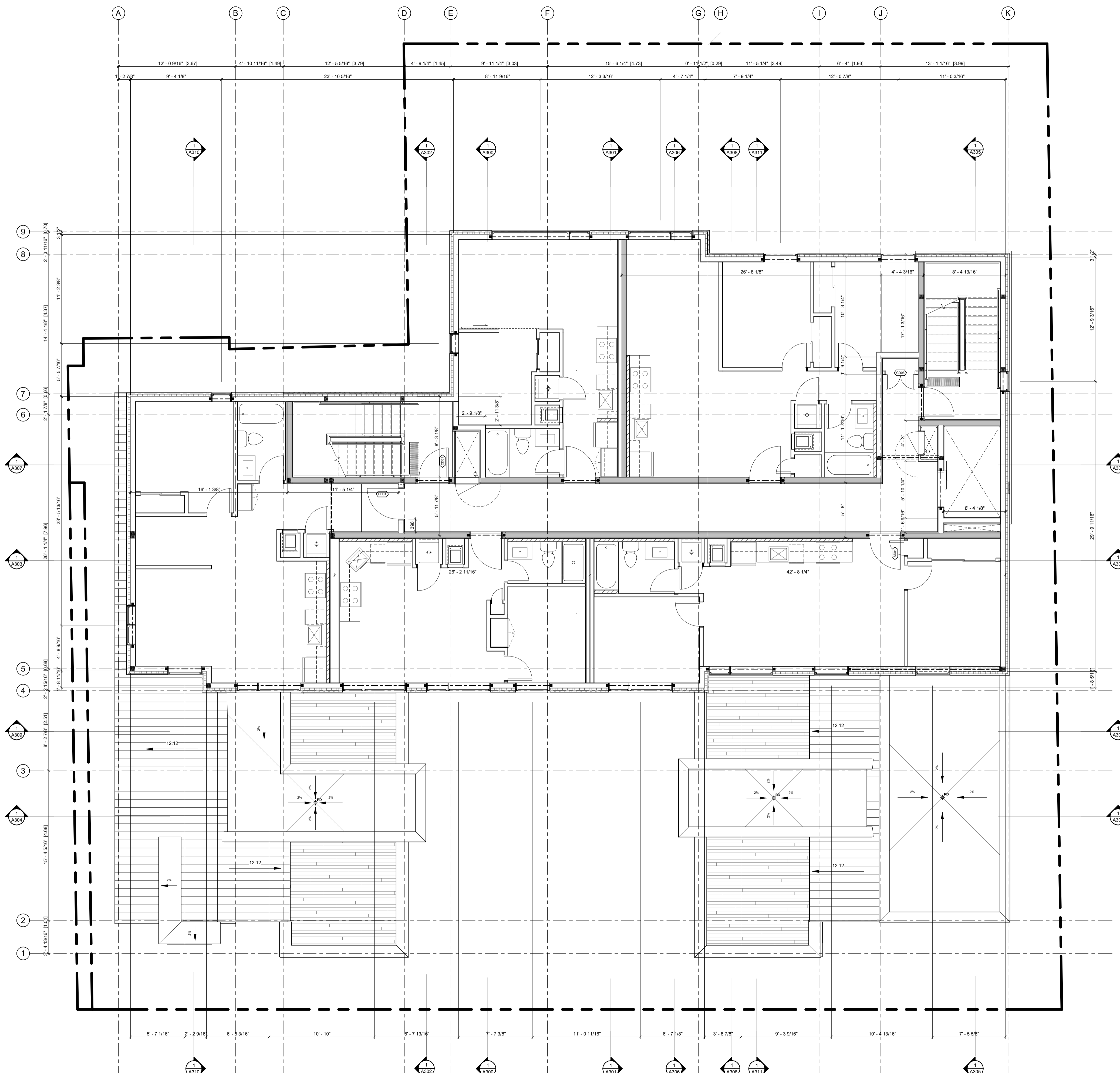
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DATE  
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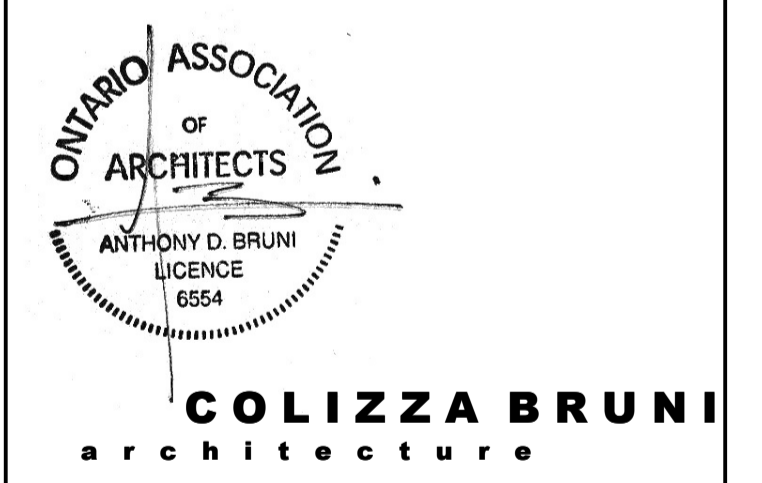
PROJECT NO.  
 01917

DRAWING NO.  
**A104**



ABBREVIATIONS	
B	BEDROOM
CL	CLOSET
DR	DINING ROOM
D	DEN
DK	DECK
H	HALLWAY
K	KITCHEN
LA	LIVING ROOM
LC	LAUNDRY ROOM
LI	LINEN CLOSET
MB	MASTER BEDROOM
MECH	MECHANICAL
RM	ROOM
S	STUDY
SA	STORAGE AREA
T	TERRACE
WIC	WALK IN CLOSET
WR	WASHROOM
UT	UTILITY ROOM

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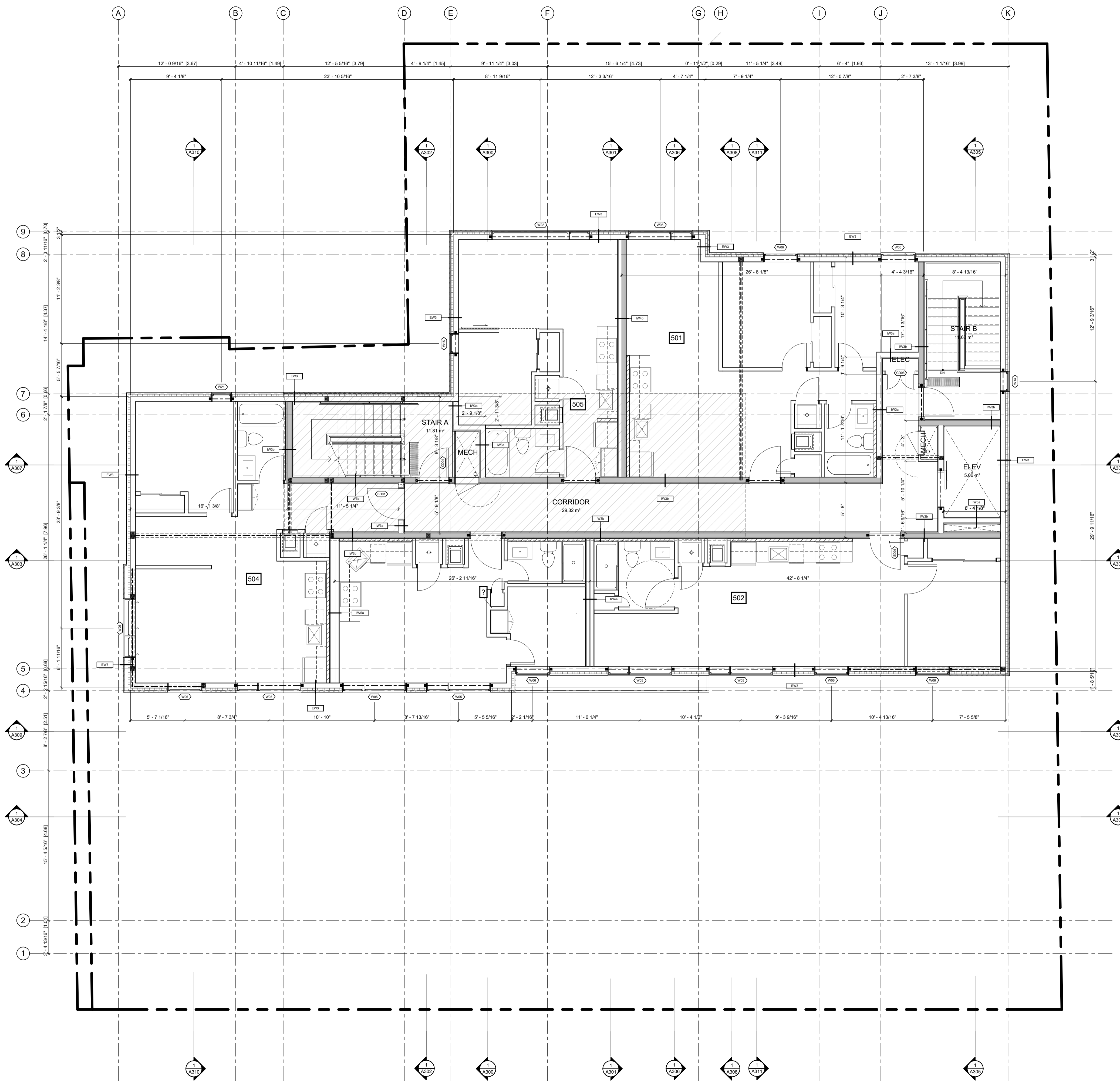
PROJECT NAME  
**283 & 285 McLEOD STREET**  
 OTTAWA, ON

DRAWING TITLE  
**FOURTH FLOOR PLAN**

SCALE  
 AS NOTED  
 DRAWN BY  
 BS  
 DATE  
 24/09/04  
 PROJECT NO.  
 01917

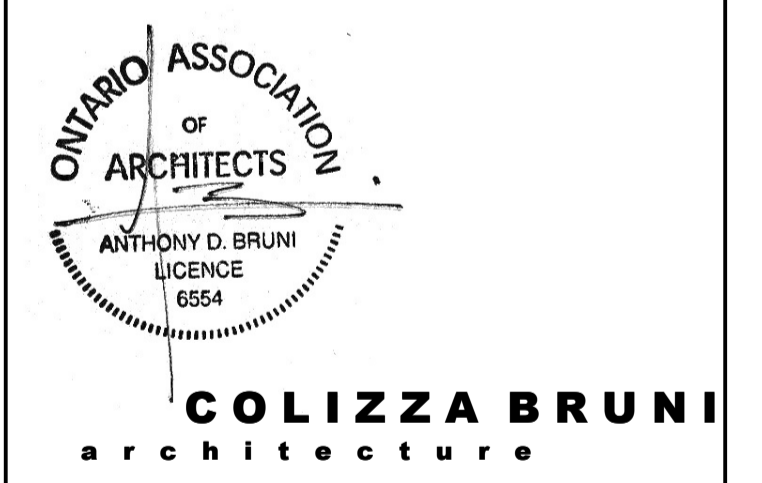
DRAWING NO.  
**A105**

1  
 A105 T/O FOURTH FLOOR SUBFLOOR - SPC  
 3/16" = 1'-0"



ABBREVIATIONS	
B	BEDROOM
CL	CLOSET
DR	DINING ROOM
D	DEN
DK	DECK
H	HALLWAY
K	KITCHEN
L	LIVING ROOM
LA	LAUNDRY ROOM
LC	LINEN CLOSET
MB	MASTER BEDROOM
MECH	MECHANICAL ROOM
RM	ROOM
S	STUDY
SA	STORAGE AREA
T	TERRACE
WIC	WALK IN CLOSET
WR	WASHROOM
UT	UTILITY ROOM

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09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



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PROJECT NAME  
**283 & 285 McLEOD STREET**

OTTAWA, ON

DRAWING TITLE  
**FIFTH FLOOR PLAN**

SCALE  
 AS NOTED

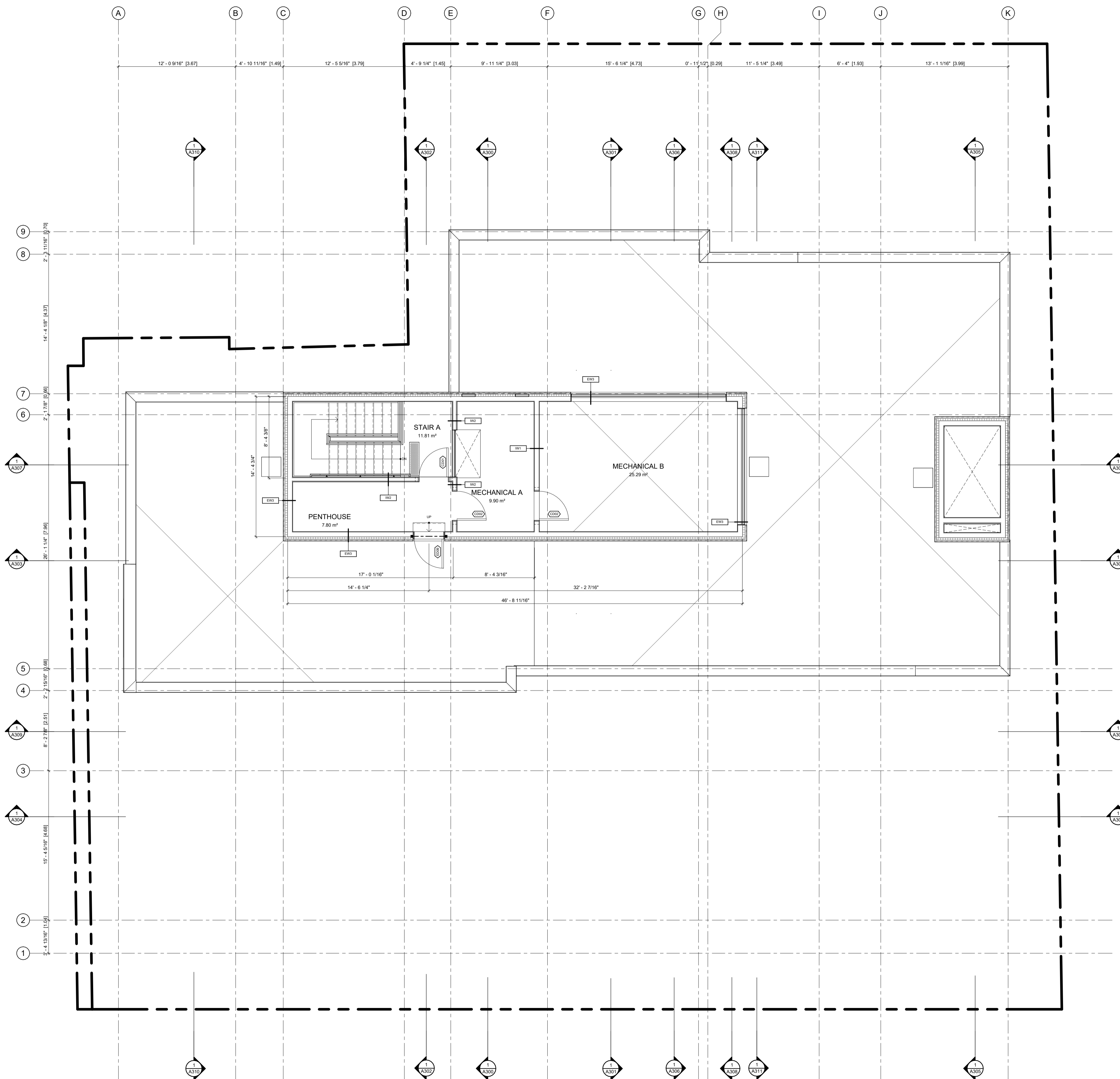
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DATE  
 24/09/04

PROJECT NO.  
 01917

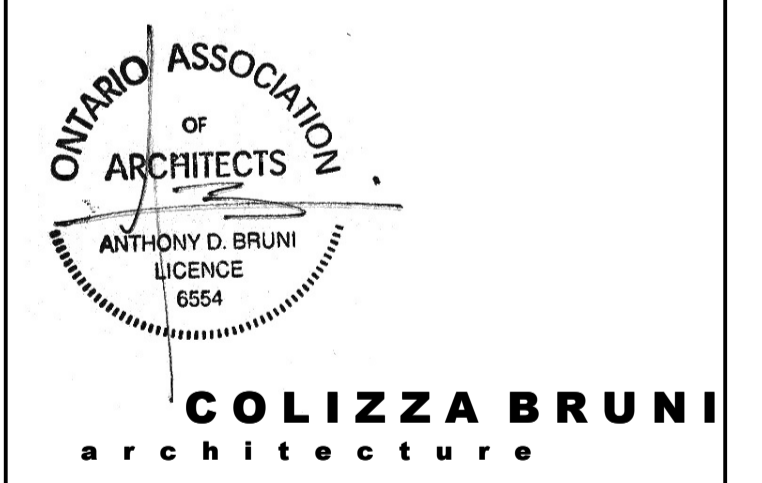
DRAWING NO.  
**A106**

1  
**A106**  
 T/O FIFTH FLOOR SUBFLOOR - SPC  
 3/16" = 1'-0"



ABBREVIATIONS	
B	BEDROOM
CL	CLOSET
DR	DINING ROOM
D	DEN
DK	DECK
H	HALLWAY
K	KITCHEN
L	LIVING ROOM
LA	LAUNDRY ROOM
LC	LINEN CLOSET
MB	MASTER BEDROOM
MECH	MECHANICAL ROOM
RM	ROOM
S	STUDY
SA	STORAGE AREA
T	TERRACE
WIC	WALK IN CLOSET
WR	WASHROOM
UT	UTILITY ROOM

NO.	REV DATE	REV DESCRIPTION
01	24-01-23	ISSUED FOR SPC SUBMISSION
02	24-03-21	RE-ISSUED FOR SPC SUBMISSION
03	24-04-12	RE-ISSUED FOR SPC SUBMISSION
04	24-05-03	ISSUED FOR PERMIT SUBMISSION
05	24-05-10	RE-ISSUED FOR SPC SUBMISSION
06	24-07-31	ISSUED FOR PERMIT RESPONSE 1
07	24-08-01	ISSUED FOR PRELIMINARY TENDER
08	24-08-20	RE-ISSUED FOR SPC SUBMISSION
09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



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PROJECT NAME  
**283 & 285 McLEOD STREET**

OTTAWA, ON

DRAWING TITLE  
**PENTHOUSE PLAN**

SCALE  
 AS NOTED

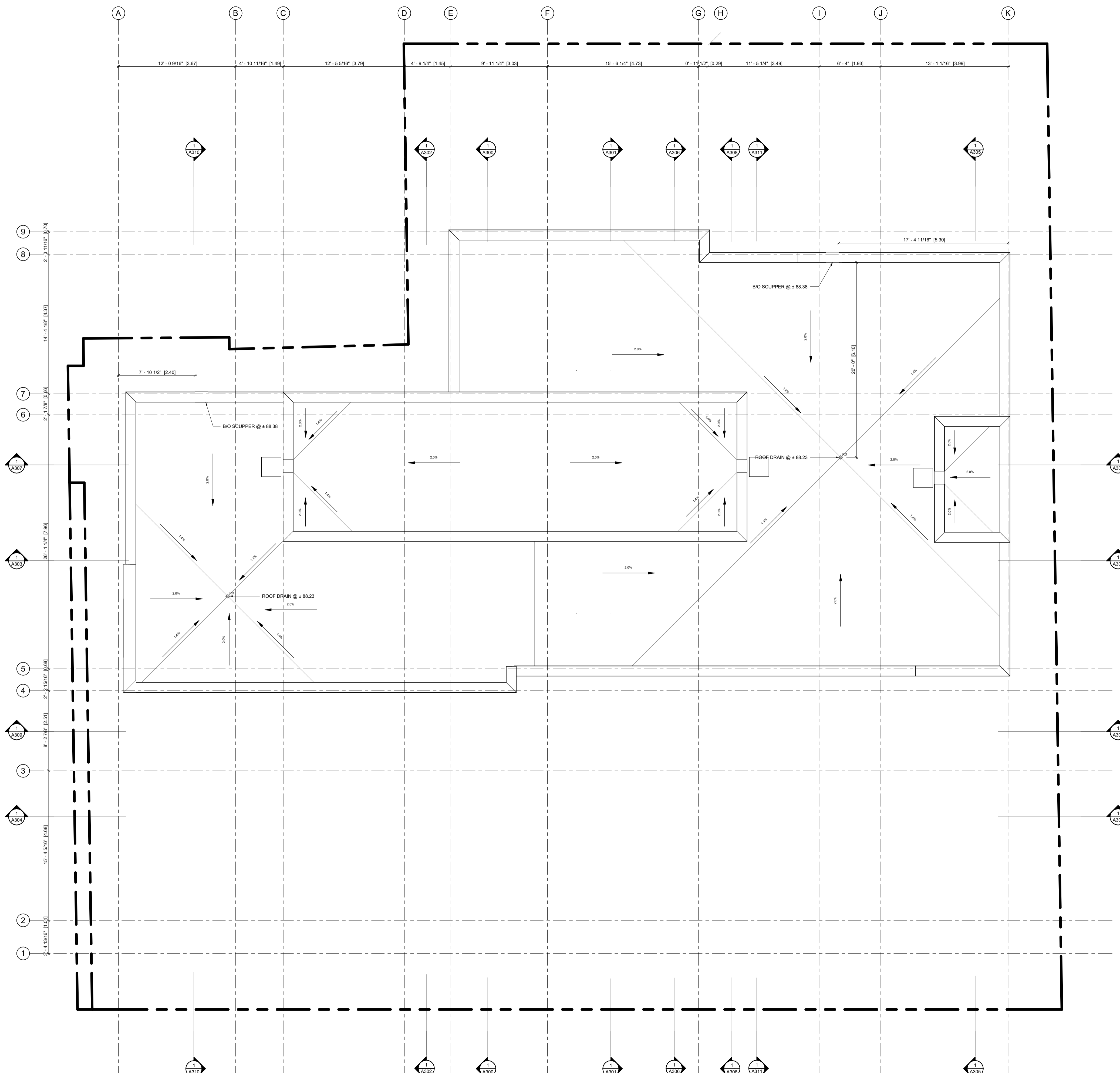
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 BS

DATE  
 24/09/04

PROJECT NO.  
 01917

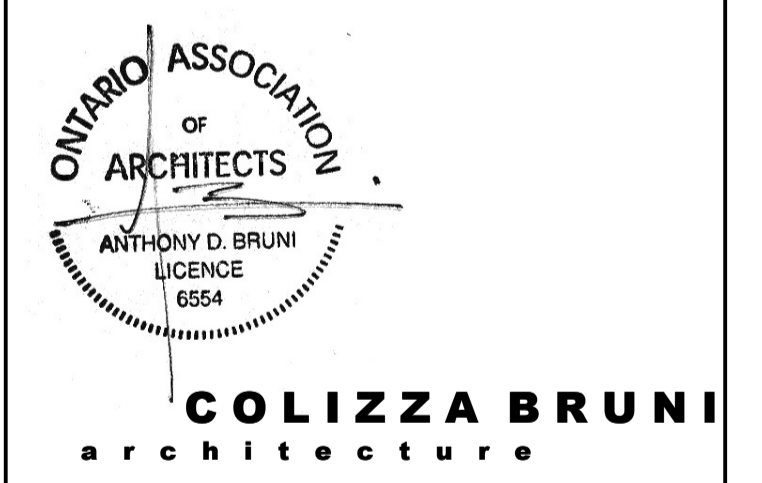
DRAWING NO.  
**A107**





ABBREVIATIONS	
B	BEDROOM
CL	CLOSET
DR	DINING ROOM
D	DEN
DK	DECK
H	HALLWAY
K	KITCHEN
L	LIVING ROOM
LA	LAUNDRY ROOM
LC	LINEN CLOSET
MB	MASTER BEDROOM
MECH	MECHANICAL ROOM
RM	ROOM
S	STUDY
SA	STORAGE AREA
T	TERRACE
WIC	WALK IN CLOSET
WR	WASHROOM
UR	UTILITY ROOM

NO.	REV DATE	REV DESCRIPTION
01	24-01-23	ISSUED FOR SPC SUBMISSION
02	24-03-21	RE-ISSUED FOR SPC SUBMISSION
03	24-04-12	RE-ISSUED FOR SPC SUBMISSION
04	24-05-03	ISSUED FOR PERMIT SUBMISSION
05	24-05-10	RE-ISSUED FOR SPC SUBMISSION
06	24-07-31	ISSUED FOR PERMIT RESPONSE 1
07	24-08-01	ISSUED FOR PRELIMINARY TENDER
08	24-08-20	RE-ISSUED FOR SPC SUBMISSION
09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



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PROJECT NAME  
**283 & 285 McLEOD STREET**  
 OTTAWA, ON

DRAWING TITLE  
**ROOF PLAN**

SCALE  
 AS NOTED  
 DRAWN BY  
 BS  
 DATE  
 24/09/04  
 PROJECT NO.  
 01917

DRAWING NO.  
**A108**

**1** ROOF PLAN - SPC  
 A108 3/16" = 1'-0"

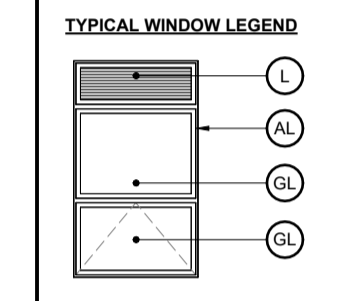


**GENERAL NOTES:**

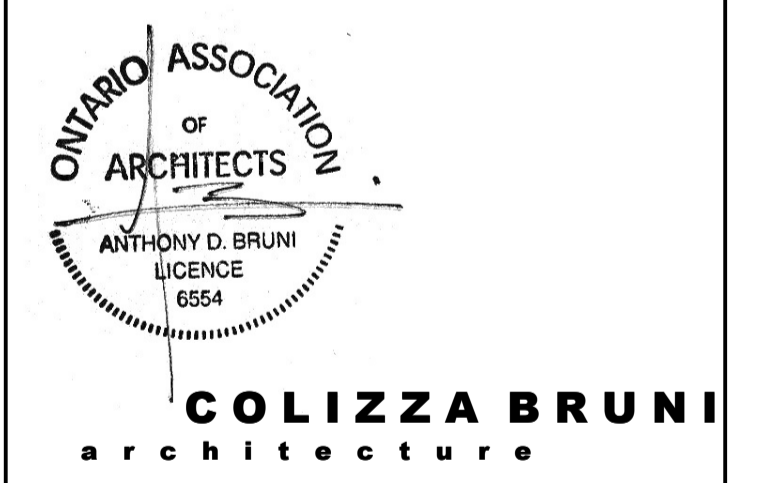
- ADD 1" TO OVERALL DIMENSIONS FOR WINDOW & DOOR ROUGH STUD OPENINGS (RSG) UNLESS NOTED OTHERWISE
- WINDOW & DOOR (COLOUR: BLACK EXTERIOR, WHITE INTERIOR)
- SOFFITS TO BE PRE-FINISHED METAL VENTED. COLOUR: BLACK
- INSTALL LIGHT AT EXTERIOR DOORS
- ALL PRE-FINISHED METALS 4" OR LESS TO BE MIN. 26 GA. 4"-8" TO BE MIN. 24 GA. 8" OR GREATER TO BE MIN. 22 GA.
- AN ASTERISK (\*) WITHIN WINDOW TAG DENOTES REQUIREMENT OF SPRINKLER-PROTECTED WINDOW SYSTEM IN ACCORDANCE WITH CANULC-S136:2021 AS PER CBC 3.1.8.15.
- BIRD SAFE DESIGN MEASURES INCLUDE:
  - NO GLASS RAILINGS TO BE USED THROUGHOUT PROJECT
  - ALL VENTILATION LOUVRES, GRATES AND PIPES TO HAVE SCREENS SPECIFIED TO PREVENT ENTRY FROM BIRDS
  - REDUCTION OF TRANSPARENT/REFLECTING MATERIALS
  - AVOIDING EXPANSES OF GLAZING
  - VARIED MATERIALITY
  - EXTERIOR LIGHTING DESIGN.

**MATERIALS LEGEND**

MV - MASONRY VENEER (COLOUR: RED)  
 MS - METAL SIDING, W/ WEST ADOOR SERIES, 22 GA (COLOUR: EBONY 9822, INSTALLED VERTICALLY)  
 CB - CEMENT BOARD BY KOL, EXPOSED FASTENER SYSTEM (COLOUR: TELEGREY 7038 SMOOTH)  
 CP - CEMENT PARKING  
 SR - SLOPED STEEL ROOFING (COLOUR: BLACK OR CHARCOAL GREY)  
 GL - INSULATED GLAZING UNITS  
 L - INTEGRATED PREFINISHED MECHANICAL LOUVRE (COLOUR: BLACK)  
 AL - PREFINISHED ANNOXIDIZED ALUMINUM WINDOW FRAME (COLOUR: BLACK)  
 C - CANOPY



NO.	REV DATE	REV DESCRIPTION
01	24-01-23	ISSUED FOR SPC SUBMISSION
02	24-03-21	RE-ISSUED FOR SPC SUBMISSION
03	24-04-12	RE-ISSUED FOR SPC SUBMISSION
04	24-05-03	ISSUED FOR PERMIT SUBMISSION
05	24-05-10	RE-ISSUED FOR SPC SUBMISSION
06	24-07-31	ISSUED FOR PERMIT RESPONSE 1
07	24-08-01	ISSUED FOR PRELIMINARY TENDER
08	24-08-20	RE-ISSUED FOR SPC SUBMISSION
09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



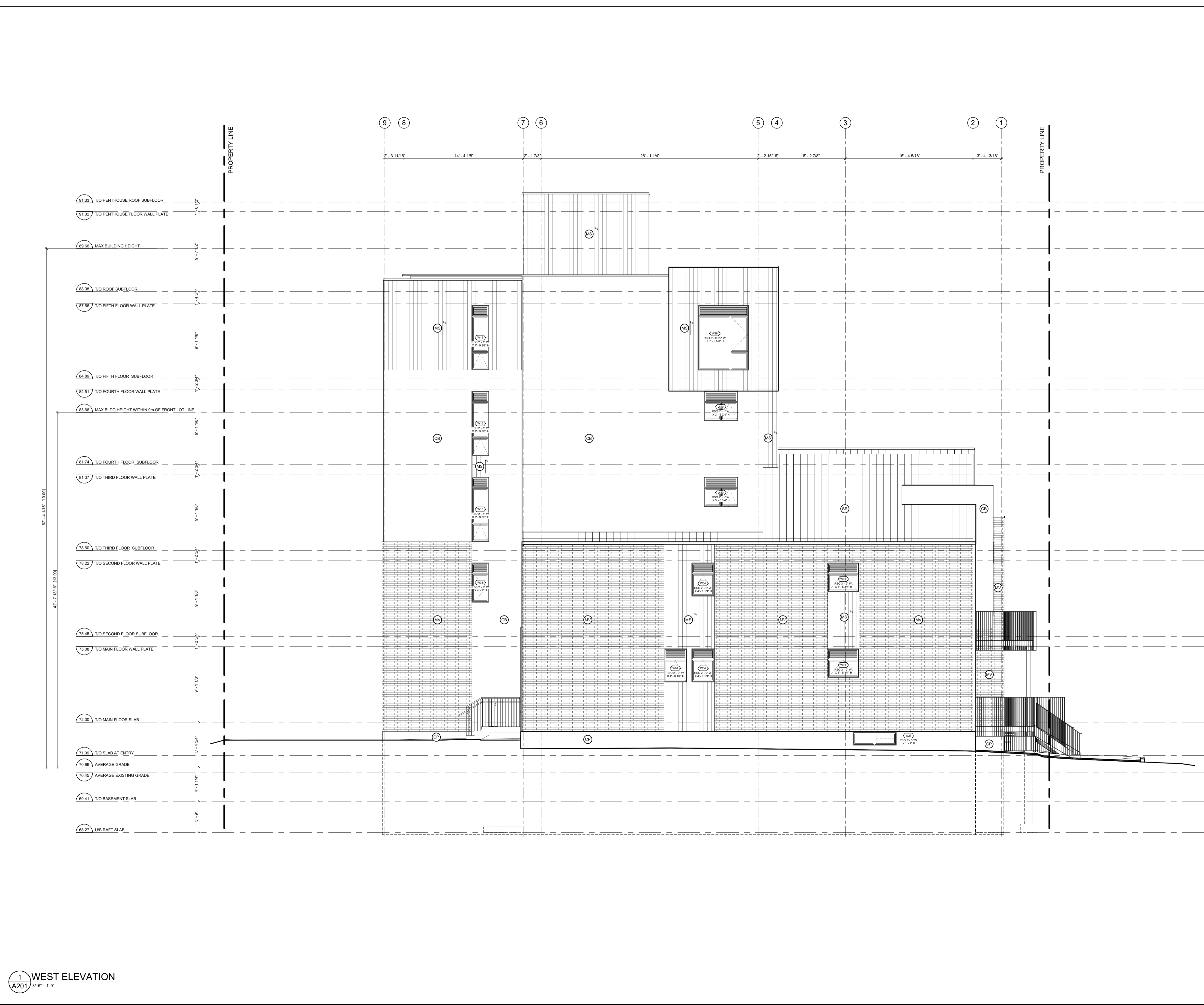
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PROJECT NAME  
**283 & 285 McLEOD STREET**

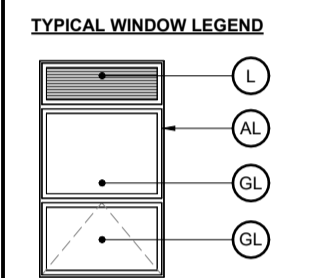
OTTAWA, ON  
 DRAWING TITLE  
**SOUTH ELEVATION**

SCALE  
 AS NOTED  
 DRAWN BY  
 BS  
 DATE  
 24/09/04  
 PROJECT NO.  
 01917

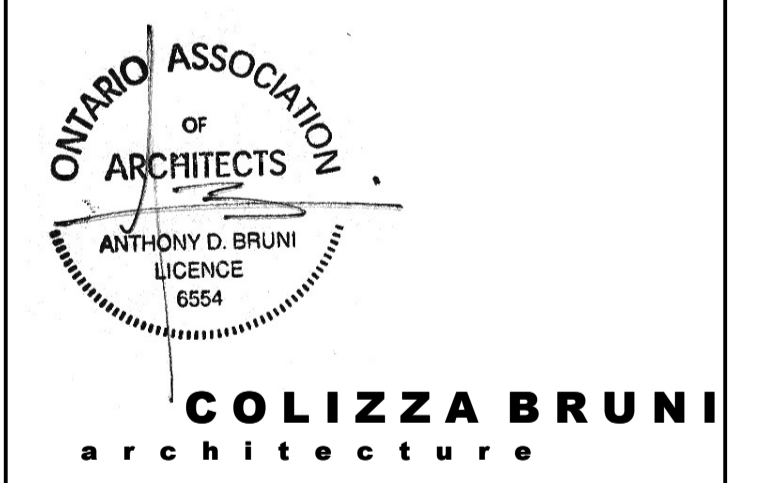
DRAWING NO.  
**A200**



- GENERAL NOTES:**
- ADD 1" TO OVERALL DIMENSIONS FOR WINDOW & DOOR ROUGH STUD OPENINGS (P/CI) UNLESS NOTED OTHERWISE
  - WINDOW & DOOR (COLOUR: BLACK EXTERIOR, WHITE INTERIOR)
  - SOFFITS TO BE PRE-FINISHED METAL VENTED. COLOUR: BLACK
  - INSTALL LIGHT AT EXTERIOR DOORS
  - ALL PRE-FINISHED METALS 4" OR LESS TO BE MIN. 26 GA. 4"-8" TO BE MIN. 24 GA. 8" OR GREATER TO BE MIN. 22 GA.
  - AN ASTERISK (\*) WITHIN WINDOW TAG DENOTES REQUIREMENT OF SPRINKLER-PROTECTED WINDOW SYSTEM IN ACCORDANCE WITH CANULC-S136:2021 AS PER CBC 3.1.8.15.
  - BIRD SAFE DESIGN MEASURES INCLUDE:
    - NO GLASS RAILINGS TO BE USED THROUGHOUT PROJECT
    - ALL VENTILATION LOUVRES, GRATES AND PIPES TO HAVE SCREENS SPECIFIED TO PREVENT ENTRY FROM BIRDS
    - REDUCTION OF TRANSPARENT/REFLECTING MATERIALS
    - AVOIDING EXPANSES OF GLAZING
    - VARIED MATERIALITY
    - EXTERIOR LIGHTING DESIGN.
- MATERIALS LEGEND**
- MV - MASONRY VENEER (COLOUR: RED)
  - MS - METAL SIDING, VICWEST A300R SERIES, 22 GA (COLOUR: EBONY 9822, INSTALLED VERTICALLY)
  - CB - CEMENT BOARD BY KOL, EXPOSED FASTENER SYSTEM (COLOUR: TELEGREY 7038 SMOOTH)
  - CP - CEMENT PAVING
  - SR - SLOPED STEEL ROOFING (COLOUR: BLACK OR CHARCOAL GREY)
  - GL - INSULATED GLAZING UNITS
  - L - INTEGRATED PRE-FINISHED MECHANICAL LOUVRE (COLOUR: BLACK)
  - AL - PRE-FINISHED ANNOXIDIZED ALUMINUM WINDOW FRAME (COLOUR: BLACK)
  - C - CANOPY



NO.	REV DATE	REV DESCRIPTION
01	24-01-23	ISSUED FOR SPC SUBMISSION
02	24-03-21	RE-ISSUED FOR SPC SUBMISSION
03	24-04-12	RE-ISSUED FOR SPC SUBMISSION
04	24-05-03	ISSUED FOR PERMIT SUBMISSION
05	24-05-10	RE-ISSUED FOR SPC SUBMISSION
06	24-07-31	ISSUED FOR PERMIT RESPONSE 1
07	24-08-01	ISSUED FOR PRELIMINARY TENDER
08	24-08-20	RE-ISSUED FOR SPC SUBMISSION
09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



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PROJECT NAME  
**283 & 285 McLEOD STREET**

OTTAWA, ON

DRAWING TITLE  
**WEST ELEVATION**

SCALE  
 AS NOTED

DRAWN BY  
 BS

DATE  
 24/09/04

PROJECT NO.  
 01917

DRAWING NO.  
**A201**



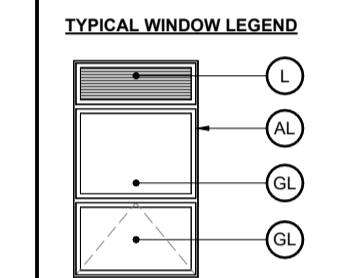
- 91.33 T/O PENTHOUSE ROOF SUBFLOOR
- 91.02 T/O PENTHOUSE FLOOR WALL PLATE
- 89.66 MAX BUILDING HEIGHT
- 88.06 T/O ROOF SUBFLOOR
- 87.66 T/O FIFTH FLOOR WALL PLATE
- 84.89 T/O FIFTH FLOOR SUBFLOOR
- 84.51 T/O FOURTH FLOOR WALL PLATE
- 83.66 MAX BLDG HEIGHT WITHIN 9m OF FRONT LOT LINE
- 81.74 T/O FOURTH FLOOR SUBFLOOR
- 81.37 T/O THIRD FLOOR WALL PLATE
- 78.60 T/O THIRD FLOOR SUBFLOOR
- 78.22 T/O SECOND FLOOR WALL PLATE
- 75.45 T/O SECOND FLOOR SUBFLOOR
- 75.08 T/O MAIN FLOOR WALL PLATE
- 72.30 T/O MAIN FLOOR SLAB
- 71.09 T/O SLAB AT ENTRY
- 70.66 AVERAGE GRADE
- 70.45 AVERAGE EXISTING GRADE
- 69.41 T/O BASEMENT SLAB
- 68.27 U/S RAFT SLAB
- 67.88 T/O ELEVATOR PIT SLAB

**GENERAL NOTES:**

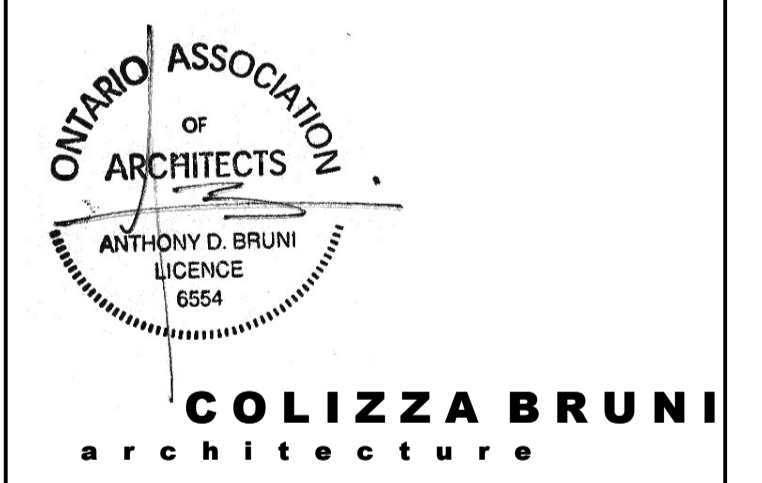
- ADD 1" TO OVERALL DIMENSIONS FOR WINDOW & DOOR ROUGH STUD OPENINGS (R/O) UNLESS NOTED OTHERWISE
- WINDOW & DOOR [COLOUR: 'BLACK' EXTERIOR, 'WHITE' INTERIOR]
- SOFFITS TO BE PRE-FINISHED METAL VENTED. COLOUR: BLACK
- INSTALL LIGHT AT EXTERIOR DOORS
- ALL PRE-FINISHED METALS 4" OR LESS TO BE MIN. 26 GA. 4"-8" TO BE MIN. 24 GA. 8" OR GREATER TO BE MIN. 22 GA.
- AN ASTERISK (\*) WITHIN WINDOW TAG DENOTES REQUIREMENT OF SPRINKLER-PROTECTED WINDOW SYSTEM IN ACCORDANCE WITH CANULC-S136:2021 AS PER CBC 3.1.8.15.
- BIRD SAFE DESIGN MEASURES INCLUDE:
  - a. NO GLASS RAILINGS TO BE USED THROUGHOUT PROJECT
  - b. ALL VENTILATION LOUVRES, GRATES AND PIPES TO HAVE SCREENS SPECIFIED TO PREVENT ENTRY FROM BIRDS
  - c. REDUCTION OF TRANSPARENT REFLECTING MATERIALS
  - d. AVOIDING EXPANSES OF GLAZING
  - e. VARIOUS MATERIALITY
  - f. EXTERIOR LIGHTING DESIGN.

**MATERIALS LEGEND**

- MV - MASONRY VENEER [COLOUR: RED]
- MS - METAL SIDING, VIOWEST ADS00R SERIES, 22 GA [COLOUR: EBONY 982, INSTALLED VERTICALLY]
- CB - CEMENT BOARD BY KOL, EXPOSED FASTENER SYSTEM [COLOUR: TELEGREY 7038 SMOOTH]
- CP - CEMENT PARGING
- SR - SLOPED STEEL ROOFING [COLOUR: BLACK OR CHARCOAL GREY]
- GL - INSULATED GLAZING UNITS
- L - INTEGRATED PRE-FINISHED MECHANICAL LOUVER [COLOUR: BLACK]
- AL - PRE-FINISHED ANNOXIDIZED ALUMINUM WINDOW FRAME [COLOUR: BLACK]
- C - CANOPY



NO.	REV DATE	REV DESCRIPTION
01	24-01-23	ISSUED FOR SPC SUBMISSION
02	24-03-21	RE-ISSUED FOR SPC SUBMISSION
03	24-04-12	RE-ISSUED FOR SPC SUBMISSION
04	24-05-03	ISSUED FOR PERMIT SUBMISSION
05	24-05-10	RE-ISSUED FOR SPC SUBMISSION
06	24-07-31	ISSUED FOR PERMIT RESPONSE 1
07	24-08-01	ISSUED FOR PRELIMINARY TENDER
08	24-08-20	RE-ISSUED FOR SPC SUBMISSION
09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



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PROJECT NAME  
**283 & 285 McLEOD STREET**

OTTAWA, ON

DRAWING TITLE  
**NORTH ELEVATION**

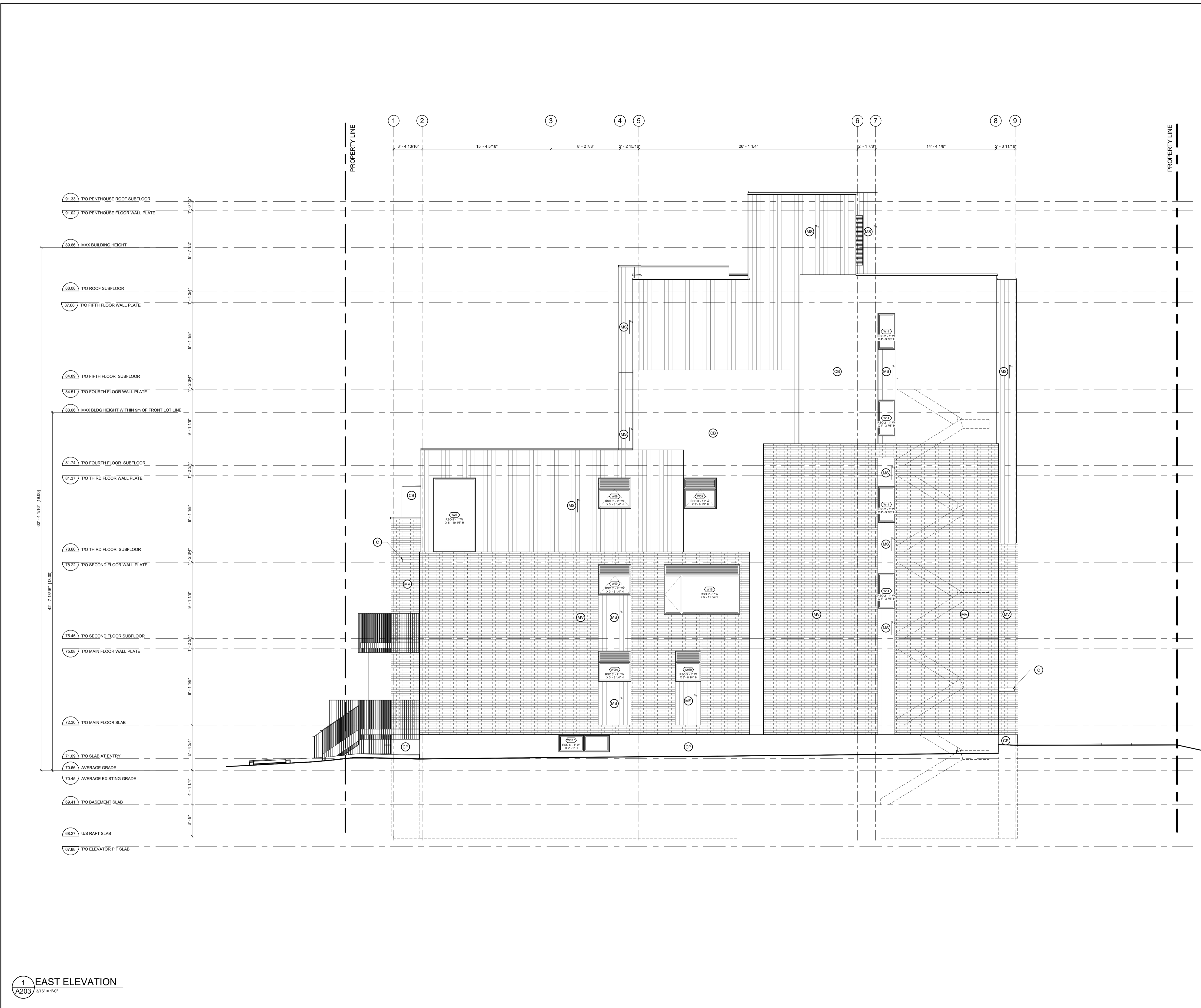
SCALE  
 AS NOTED

DRAWN BY  
 BS

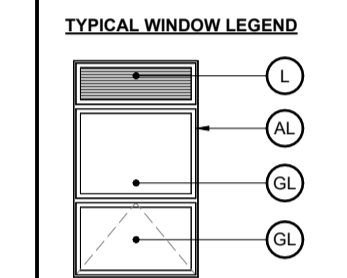
DATE  
 24/09/04

PROJECT NO.  
 01917

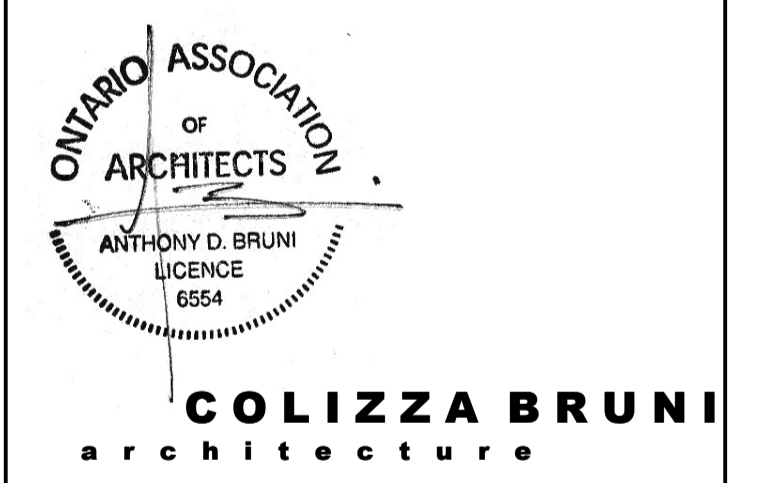
DRAWING NO.  
**A202**



- GENERAL NOTES:**
- ADD 1" TO OVERALL DIMENSIONS FOR WINDOW & DOOR ROUGH STUD OPENINGS (R/O) UNLESS NOTED OTHERWISE
  - WINDOW & DOOR [COLOUR: BLACK EXTERIOR, WHITE INTERIOR]
  - SOFFITS TO BE PRE-FINISHED METAL VENTED. COLOUR: BLACK
  - INSTALL LIGHT AT EXTERIOR DOORS
  - ALL PRE-FINISHED METALS 4" OR LESS TO BE MIN. 26 GA. 4"-8" TO BE MIN. 24 GA. 8" OR GREATER TO BE MIN. 22 GA.
  - AN ASTERISK (\*) WITHIN WINDOW TAG DENOTES REQUIREMENT OF SPRINKLER-PROTECTED WINDOW SYSTEM IN ACCORDANCE WITH CANULC-S136.2021 AS PER CBC 3.1.6.15.
  - BIRD SAFE DESIGN MEASURES INCLUDE:
    - NO GLASS RAILINGS TO BE USED THROUGHOUT PROJECT
    - ALL VENTILATION LOUVRES, GRATES AND PIPES TO HAVE SCREENS SPECIFIED TO PREVENT ENTRY FROM BIRDS
    - REDUCTION OF TRANSPARENT REFLECTING MATERIALS
    - AVOIDING EXPANSES OF GLAZING
    - VARIED MATERIALITY
    - EXTERIOR LIGHTING DESIGN.
- MATERIALS LEGEND**
- MV - MASONRY VENEER [COLOUR: RED]
  - MS - METAL SIDING, VIOWEST ADS00R SERIES, 22 GA [COLOUR: EBONY 9822, INSTALLED VERTICALLY]
  - CB - CEMENT BOARD BY KOL, EXPOSED FASTENER SYSTEM [COLOUR: TELEGREY 7038 SMOOTH]
  - CP - CEMENT PAVING
  - SR - SLOPED STEEL ROOFING [COLOUR: BLACK OR CHARCOAL GREY]
  - GL - INSULATED GLAZING UNITS
  - L - INTEGRATED PRE-FINISHED MECHANICAL LOUVRE [COLOUR: BLACK]
  - AL - PRE-FINISHED ANNOXIDIZED ALUMINUM WINDOW FRAME [COLOUR: BLACK]
  - C - CANOPY



NO.	REV DATE	REV DESCRIPTION
01	24-01-23	ISSUED FOR SPC SUBMISSION
02	24-03-21	RE-ISSUED FOR SPC SUBMISSION
03	24-04-12	RE-ISSUED FOR SPC SUBMISSION
04	24-05-03	ISSUED FOR PERMIT SUBMISSION
05	24-05-10	RE-ISSUED FOR SPC SUBMISSION
06	24-07-31	ISSUED FOR PERMIT RESPONSE 1
07	24-08-01	ISSUED FOR PRELIMINARY TENDER
08	24-08-20	RE-ISSUED FOR SPC SUBMISSION
09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



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PROJECT NAME  
**283 & 285 McLEOD STREET**

OTTAWA, ON

DRAWING TITLE  
**EAST ELEVATION**

SCALE  
 AS NOTED

DRAWN BY  
 BS

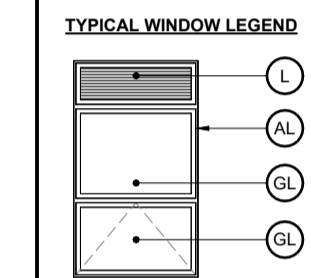
DATE  
 24/09/04

PROJECT NO.  
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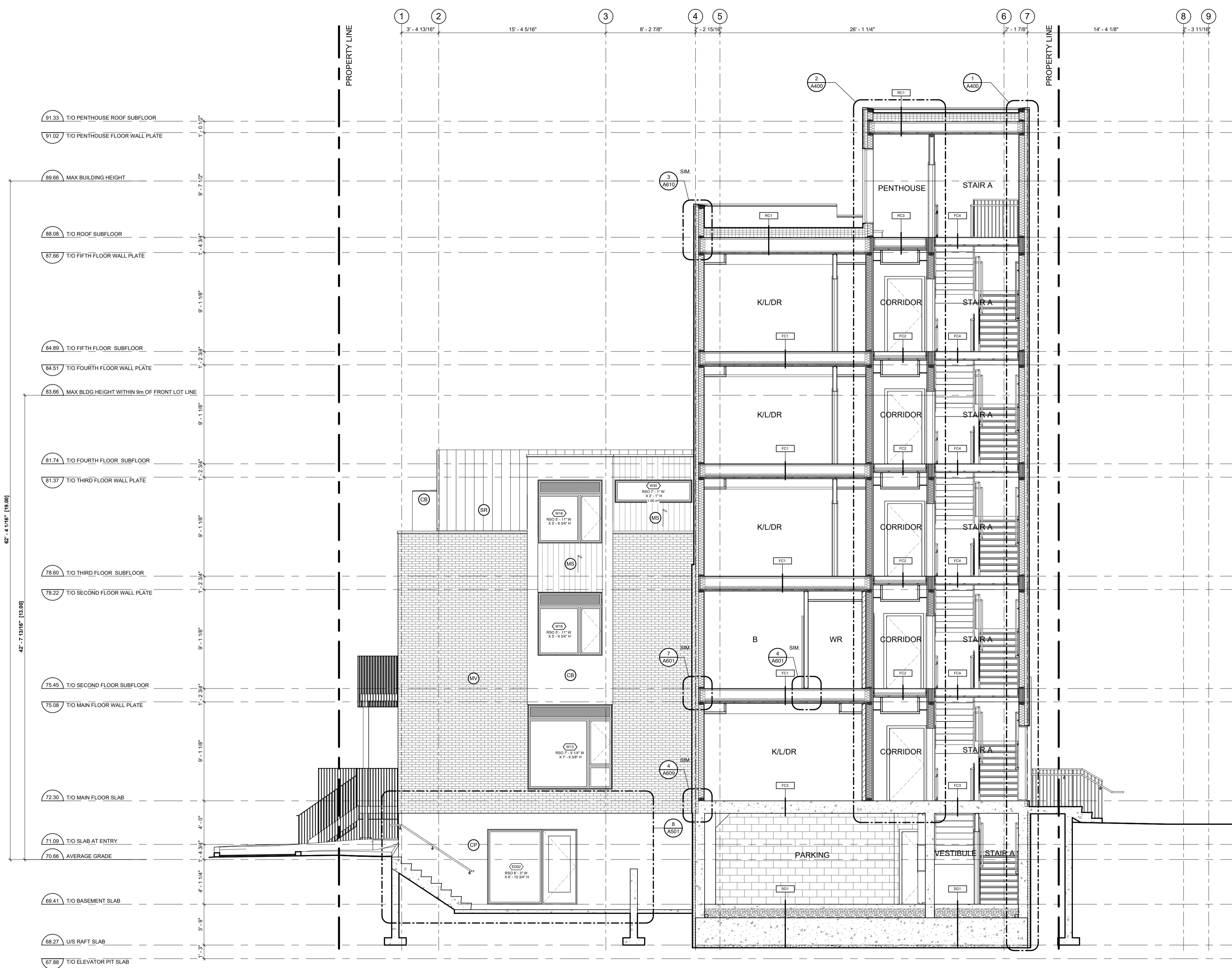
DRAWING NO.  
**A203**

- GENERAL NOTES:**
- ADD 1" TO OVERALL DIMENSIONS FOR WINDOW & DOOR ROUGH STUD OPENINGS (R/O) UNLESS NOTED OTHERWISE
  - WINDOW & DOOR (COLOUR: BLACK EXTERIOR, WHITE INTERIOR)
  - SOFFITS TO BE PRE-FINISHED METAL VENTED. COLOUR: BLACK
  - INSTALL LIGHT AT EXTERIOR DOORS
  - ALL PRE-FINISHED METALS 4" OR LESS TO BE MIN. 26 GA. 4"-8" TO BE MIN. 24 GA. 8" OR GREATER TO BE MIN. 22 GA.
  - AN ASTERISK (\*) WITHIN WINDOW TAG DENOTES REQUIREMENT OF SPRINKLER-PROTECTED WINDOW SYSTEM IN ACCORDANCE WITH CANULC-S136.2021 AS PER CBC 3.1.8.15.
  - BIRD SAFE DESIGN MEASURES INCLUDE:
    - NO GLASS RAILINGS TO BE USED THROUGHOUT PROJECT
    - ALL VENTILATION LOUVRES, GRATES AND PIPES TO HAVE SCREENS SPECIFIED TO PREVENT ENTRY FROM BIRDS
    - REDUCTION OF TRANSPARENT/REFLECTING MATERIALS
    - AVOIDING EXPANSES OF GLAZING
    - VARIED MATERIALITY
    - EXTERIOR LIGHTING DESIGN.

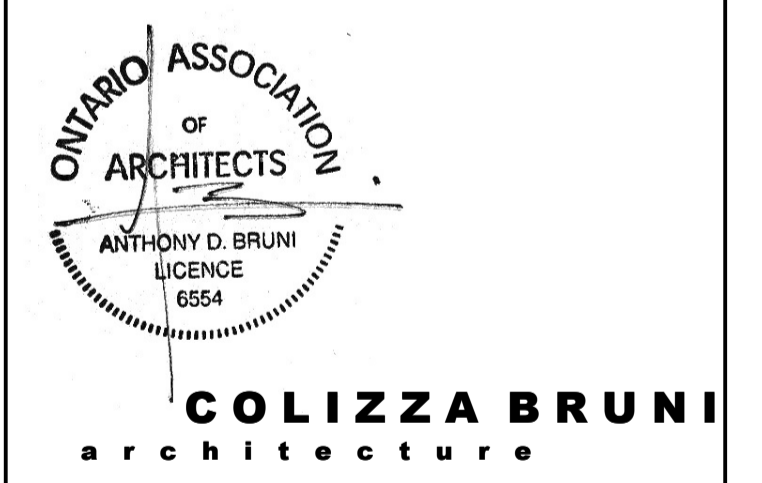
- MATERIALS LEGEND**
- MV - MASONRY VENEER (COLOUR: RED)
  - MS - METAL SIDING, VIOLETT AD300R SERIES, 22 GA (COLOUR: EBONY 9822, INSTALLED VERTICALLY)
  - CB - CEMENT BOARD BY KOL, EXPOSED FASTENER SYSTEM (COLOUR: TELEGREY 7038 SMOOTH)
  - CP - CEMENT PAVING
  - SR - SLOPED STEEL ROOFING (COLOUR: BLACK OR CHARCOAL GREY)
  - GL - INSULATED GLAZING UNITS
  - L - INTEGRATED PRE-FINISHED MECHANICAL LOUVRE (COLOUR: BLACK)
  - AL - PRE-FINISHED ANNOXIDIZED ALUMINUM WINDOW FRAME (COLOUR: BLACK)
  - C - CANOPY



NO.	REV DATE	REV DESCRIPTION
01	24-01-23	ISSUED FOR SPC SUBMISSION
02	24-03-21	RE-ISSUED FOR SPC SUBMISSION
03	24-04-12	RE-ISSUED FOR SPC SUBMISSION
04	24-05-03	ISSUED FOR PERMIT SUBMISSION
05	24-05-10	RE-ISSUED FOR SPC SUBMISSION
06	24-07-31	ISSUED FOR PERMIT RESPONSE 1
07	24-08-01	ISSUED FOR PRELIMINARY TENDER
08	24-08-20	RE-ISSUED FOR SPC SUBMISSION
09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



- 91.33 T/O PENTHOUSE ROOF SUBFLOOR
- 91.02 T/O PENTHOUSE FLOOR WALL PLATE
- 89.86 MAX BUILDING HEIGHT
- 88.08 T/O ROOF SUBFLOOR
- 87.66 T/O FIFTH FLOOR WALL PLATE
- 84.89 T/O FIFTH FLOOR SUBFLOOR
- 84.51 T/O FOURTH FLOOR WALL PLATE
- 83.86 MAX BLDG HEIGHT WITHIN 9M OF FRONT LOT LINE
- 81.74 T/O FOURTH FLOOR SUBFLOOR
- 81.37 T/O THIRD FLOOR WALL PLATE
- 78.80 T/O THIRD FLOOR SUBFLOOR
- 78.22 T/O SECOND FLOOR WALL PLATE
- 75.46 T/O SECOND FLOOR SUBFLOOR
- 75.08 T/O MAN FLOOR WALL PLATE
- 72.30 T/O MAN FLOOR SLAB
- 71.09 T/O SLAB AT ENTRY
- 70.88 AVERAGE GRADE
- 69.41 T/O BASEMENT SLAB
- 68.27 U/S RAFT SLAB
- 67.88 T/O ELEVATOR PIT SLAB



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PROJECT NAME  
**283 & 285 McLEOD STREET**

OTTAWA, ON

DRAWING TITLE  
**BUILDING SECTION**

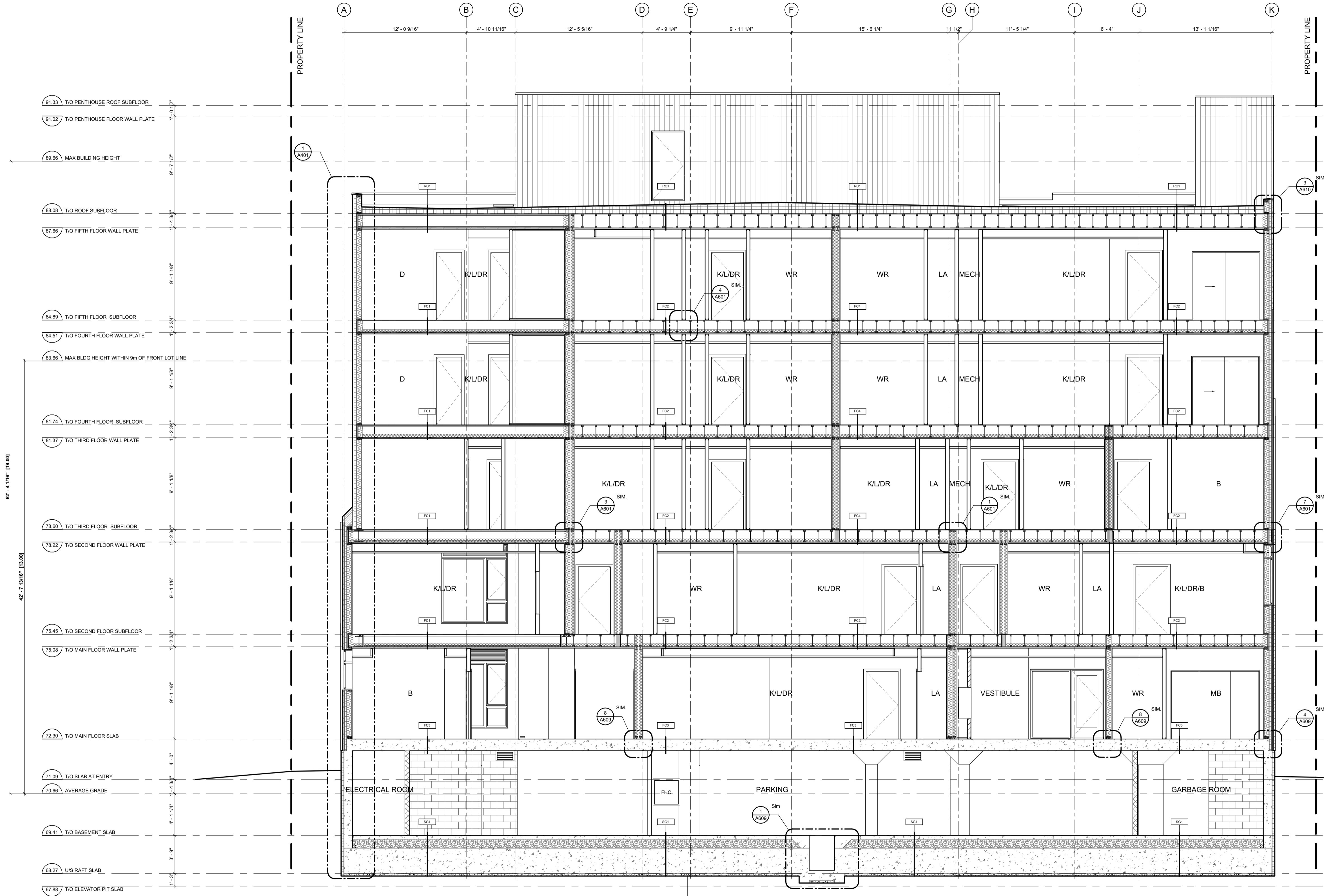
SCALE  
 AS NOTED

DRAWN BY  
 BS

DATE  
 24/09/04

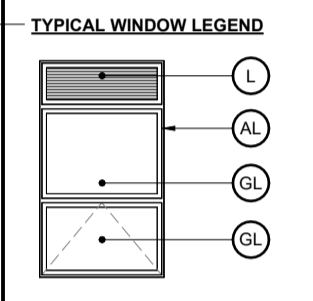
PROJECT NO.  
 01917

DRAWING NO.  
**A302**

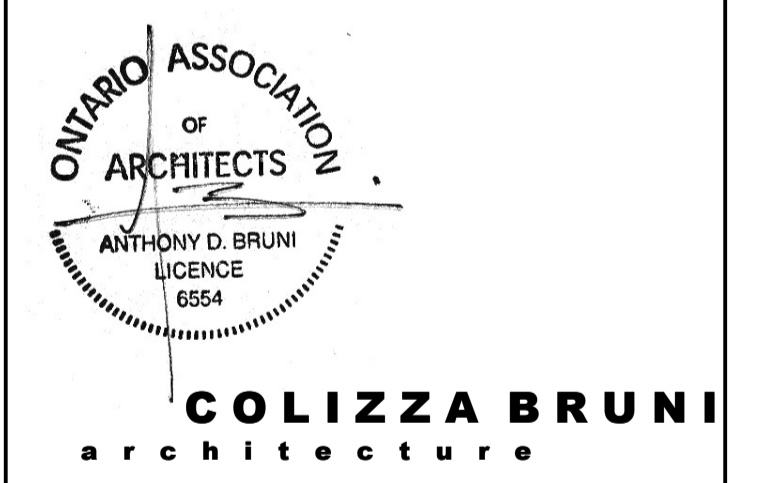


- GENERAL NOTES:**
- ADD 1" TO OVERALL DIMENSIONS FOR WINDOW & DOOR ROUGH STUD OPENINGS (RCI) UNLESS NOTED OTHERWISE
  - WINDOW & DOOR (COLOUR: BLACK EXTERIOR, WHITE INTERIOR)
  - SOFFITS TO BE PRE-FINISHED METAL VENTED. COLOUR: BLACK
  - INSTALL LIGHT AT EXTERIOR DOORS
  - ALL PRE-FINISHED METALS 4" OR LESS TO BE MIN. 26 GA. 4"-8" TO BE MIN. 24 GA. 8" OR GREATER TO BE MIN. 22 GA.
  - AN ASTERISK (\*) WITHIN WINDOW TAG DENOTES REQUIREMENT OF SPRINKLER-PROTECTED WINDOW SYSTEM IN ACCORDANCE WITH CANULC-S136:2021 AS PER CBC 3.1.8.15.
  - BIRD SAFE DESIGN MEASURES INCLUDE:
    - NO GLASS RAILINGS TO BE USED THROUGHOUT PROJECT
    - ALL VENTILATION LOUVRES, GRATES AND PIPES TO HAVE SCREENS SPECIFIED TO PREVENT ENTRY FROM BIRDS
    - REDUCTION OF TRANSPARENT REFLECTING MATERIALS
    - AVOIDING EXPANSES OF GLAZING
    - VARIED MATERIALITY
    - EXTERIOR LIGHTING DESIGN.

- MATERIALS LEGEND**
- MV - MASONRY VENEER (COLOUR: RED)
  - MS - METAL SIDING, VIOWEST A300R SERIES, 22 GA (COLOUR: EBONY 9822, INSTALLED VERTICALLY)
  - CB - CEMENT BOARD BY KOL, EXPOSED FASTENER SYSTEM (COLOUR: TELEGREY 7038 SMOOTH)
  - CP - CEMENT PARGING
  - SR - SLOPED STEEL ROOFING (COLOUR: BLACK OR CHARCOAL GREY)
  - GL - INSULATED GLAZING UNITS
  - L - INTEGRATED PRE-FINISHED MECHANICAL LOUVER (COLOUR: BLACK)
  - AL - PRE-FINISHED ANNOXIDIZED ALUMINUM WINDOW FRAME (COLOUR: BLACK)
  - C - CANOPY



NO.	REV DATE	REV DESCRIPTION
01	24-01-23	ISSUED FOR SPC SUBMISSION
02	24-03-21	RE-ISSUED FOR SPC SUBMISSION
03	24-04-12	RE-ISSUED FOR SPC SUBMISSION
04	24-05-03	ISSUED FOR PERMIT SUBMISSION
05	24-05-10	RE-ISSUED FOR SPC SUBMISSION
06	24-07-31	ISSUED FOR PERMIT RESPONSE 1
07	24-08-01	ISSUED FOR PRELIMINARY TENDER
08	24-08-20	RE-ISSUED FOR SPC SUBMISSION
09	24-08-29	ISSUED FOR PERMIT RESPONSE 2
10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



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PROJECT NAME  
**283 & 285 McLEOD STREET**

OTTAWA, ON

DRAWING TITLE  
**BUILDING SECTION**

SCALE  
 AS NOTED

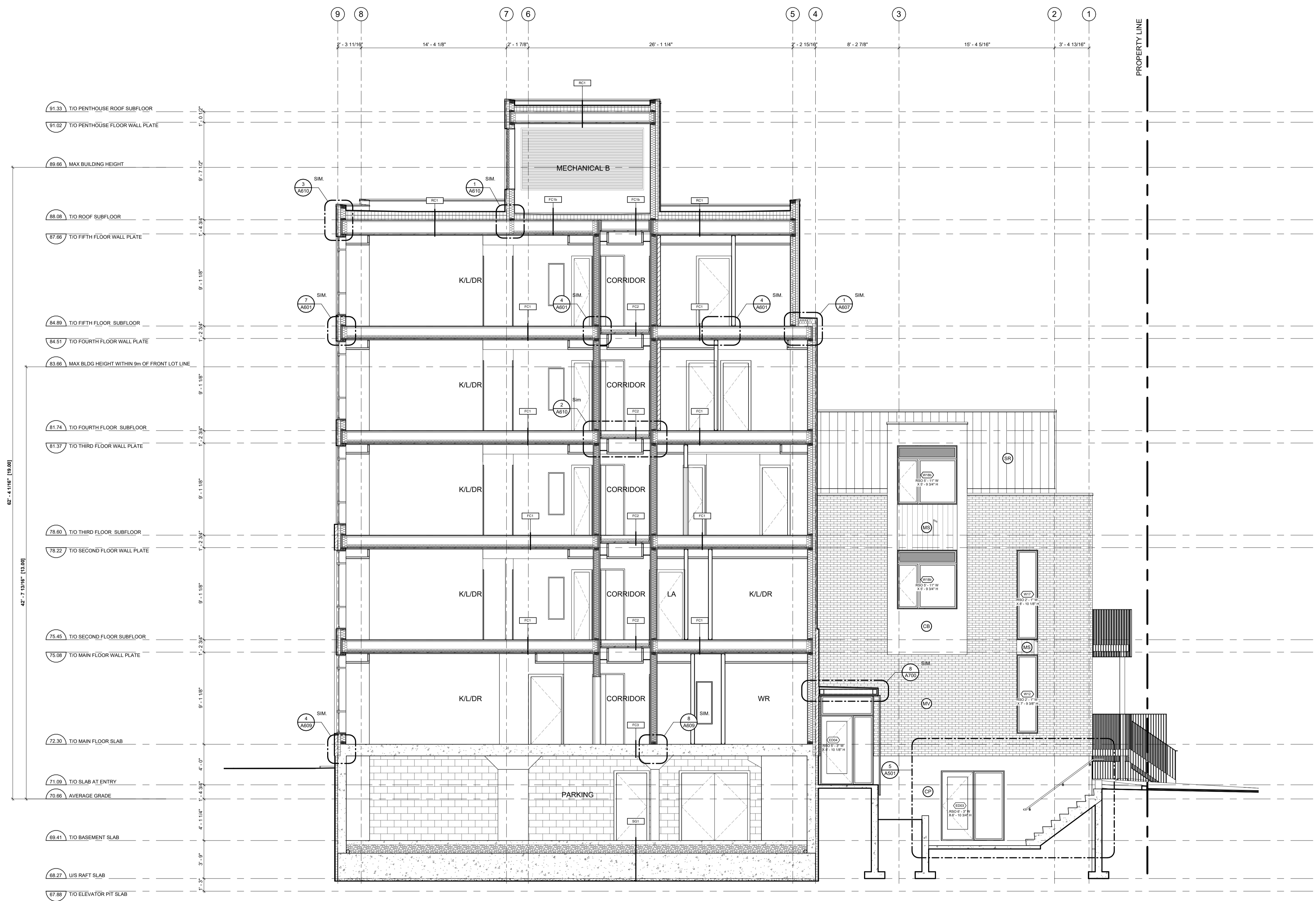
DRAWN BY  
 BS

DATE  
 24/09/04

PROJECT NO.  
 01917

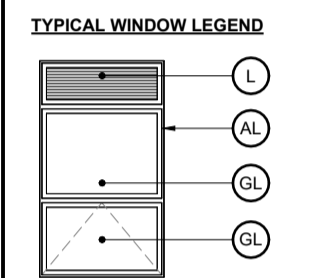
DRAWING NO.  
**A303**

**1 BUILDING SECTION AT GL 5/6**  
 A303 3/16" = 1'-0"

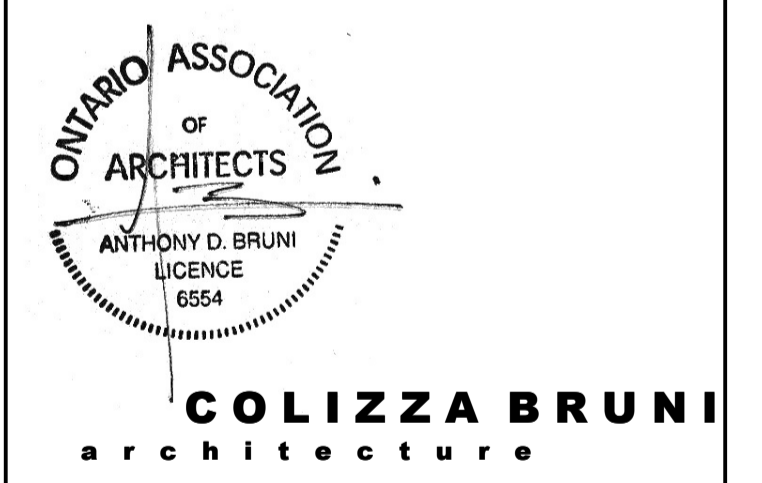


- GENERAL NOTES:**
- ADD 1" TO OVERALL DIMENSIONS FOR WINDOW & DOOR ROUGH STUD OPENINGS (RCO) UNLESS NOTED OTHERWISE
  - WINDOW & DOOR (COLOUR: BLACK EXTERIOR, WHITE INTERIOR)
  - SOFFITS TO BE PRE-FINISHED METAL VENTED. COLOUR: BLACK
  - INSTALL LIGHT AT EXTERIOR DOORS
  - ALL PRE-FINISHED METALS 3/4" OR LESS TO BE MIN. 26 GA. 4"-8" TO BE MIN. 24 GA. 8" OR GREATER TO BE MIN. 22 GA.
  - AN ASTERISK (\*) WITHIN WINDOW TAG DENOTES REQUIREMENT OF SPRINKLER-PROTECTED WINDOW SYSTEM IN ACCORDANCE WITH CANULC-S136.2021 AS PER CBC 3.1.8.15.
  - BIRD SAFE DESIGN MEASURES INCLUDE:
    - NO GLASS RAILINGS TO BE USED THROUGHOUT PROJECT
    - ALL VENTILATION LOUVRES, GRATES AND PIPES TO HAVE SCREENS SPECIFIED TO PREVENT ENTRY FROM BIRDS
    - REDUCTION OF TRANSPARENT REFLECTING MATERIALS
    - AVOIDING EXPANSES OF GLAZING
    - VARIED MATERIALITY
    - EXTERIOR LIGHTING DESIGN.

- MATERIALS LEGEND**
- MV - MASONRY VENEER (COLOUR: RED)
  - MS - METAL SIDING, VIOWEST A300R SERIES, 22 GA (COLOUR: EBONY 9822, INSTALLED VERTICALLY)
  - CB - CEMENT BOARD BY KOL, EXPOSED FASTENER SYSTEM (COLOUR: TELEGREY 7038 SMOOTH)
  - CP - CEMENT PAVING
  - SR - SLOPED STEEL ROOFING (COLOUR: BLACK OR CHARCOAL GREY)
  - GL - INSULATED GLAZING UNITS
  - L - INTEGRATED PRE-FINISHED MECHANICAL LOUVRE (COLOUR: BLACK)
  - AL - PRE-FINISHED ANNOXIDIZED ALUMINUM WINDOW FRAME (COLOUR: BLACK)
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10	24-09-04	RE-ISSUED FOR SPC SUBMISSION



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PROJECT NAME  
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OTTAWA, ON

DRAWING TITLE  
**BUILDING SECTION**

SCALE  
 AS NOTED

DRAWN BY  
 BS

DATE  
 24/09/04

PROJECT NO.  
 01917

DRAWING NO.  
**A306**

**1 BUILDING SECTION AT GL F/G 2**  
 A306 3/16" = 1'-0"