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Legend

- ORIGINAL GROUND ELEVATION
- PROPOSED ELEVATION
- PROPOSED ELEVATION EXISTING ELEVATION
- FLOW DIRECTION AND GRADE
- PROPOSED LANDSCAPED CATCHBASIN
- PROPOSED CATCHBASIN
- PROPOSED WELL DRAIN
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DEPRESSED CURB LOCATIONS
- EXISTING FIRE HYDRANT
- EXISTING OVERHEAD WIRES
- CB-T (OTTAWA STD 530)

Notes

1. SITE PLAN PREPARED BY COLEZZA BRUNI ARCHITECTURE, DATED MAY 10, 2024.
2. TOPOGRAPHIC SURVEY SUPPLIED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD. DATED MAY 10, 2018. ADDITIONAL ELEVATION POINTS SUPPLIED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD. ON JANUARY 15, 2024.
3. JOB BENCHMARK: TOP OF HYDRANT SPINDLE LOCATED EAST OF THE SITE ON MCLEOD STREET WITH AN ELEVATION OF 71.43
4. ALL GRANULAR BASE & SUB BASE COURSE MATERIALS SHALL BE COMPACTED AS PER GEOTECHNICAL CONSULTANT RECOMMENDATIONS.
5. ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOD ON MIN. 100mm TOPSOIL.
6. INSPECTIONS: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMANS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED.
7. REFER TO ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
8. CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY.
9. ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTIONS AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER THE 'MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAW' AND THE 'URBAN TREES CONSERVATION BY-LAW' AS AMENDED FROM TIME TO TIME.
10. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH ARCHITECT AND THE CITY OF OTTAWA PRIOR TO TREE CUTTING.
11. SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR 'B' COMPACTED IN 0.15m LAYERS.
12. NO ALTERATION TO EXISTING GRADES OR DRAINAGE PATTERN ON PROPERTY LINE MAY BE MADE WHERE NO PERMISSION TO ENTER ADJACENT PROPERTY EXISTS.
13. NO EXCESS DRAINAGE, DURING AND AFTER CONSTRUCTION, IS TO BE DIRECTED TOWARDS NEIGHBOURING PROPERTIES.
14. ALL RETAINING WALLS GREATER THAN 1.0m IN HEIGHT ARE TO BE DESIGNED, APPROVED, AND STAMPED BY STRUCTURAL ENGINEER.
15. FENCES OR RAILINGS ARE REQUIRED FOR RETAINING WALLS GREATER THAN 0.60m IN HEIGHT.
16. PAVEMENT CONSTRUCTION SHALL BE AS PER GEOTECHNICAL CONSULTANT RECOMMENDATIONS.

Revision	By	Appd.	YY.MM.DD	
5	ISSUED FOR SPC RE-SUBMISSION	ZW	KS	24.08.19
4	ISSUED FOR FORMAL SPC SUBMISSION	JP	KS	24.06.18
3	REVISED PER CITY COMMENTS	JP	KS	24.05.17
2	REVISED PER CITY COMMENTS	AJT	KS	24.04.05
1	ISSUED FOR REVIEW	AJT	KS	24.01.22

File Name:	AJT	ALG	AJT	24.01.22
160401782-08.dwg	Dwn.	Chkd.	Dgn.	YY.MM.DD

Permit-Seal

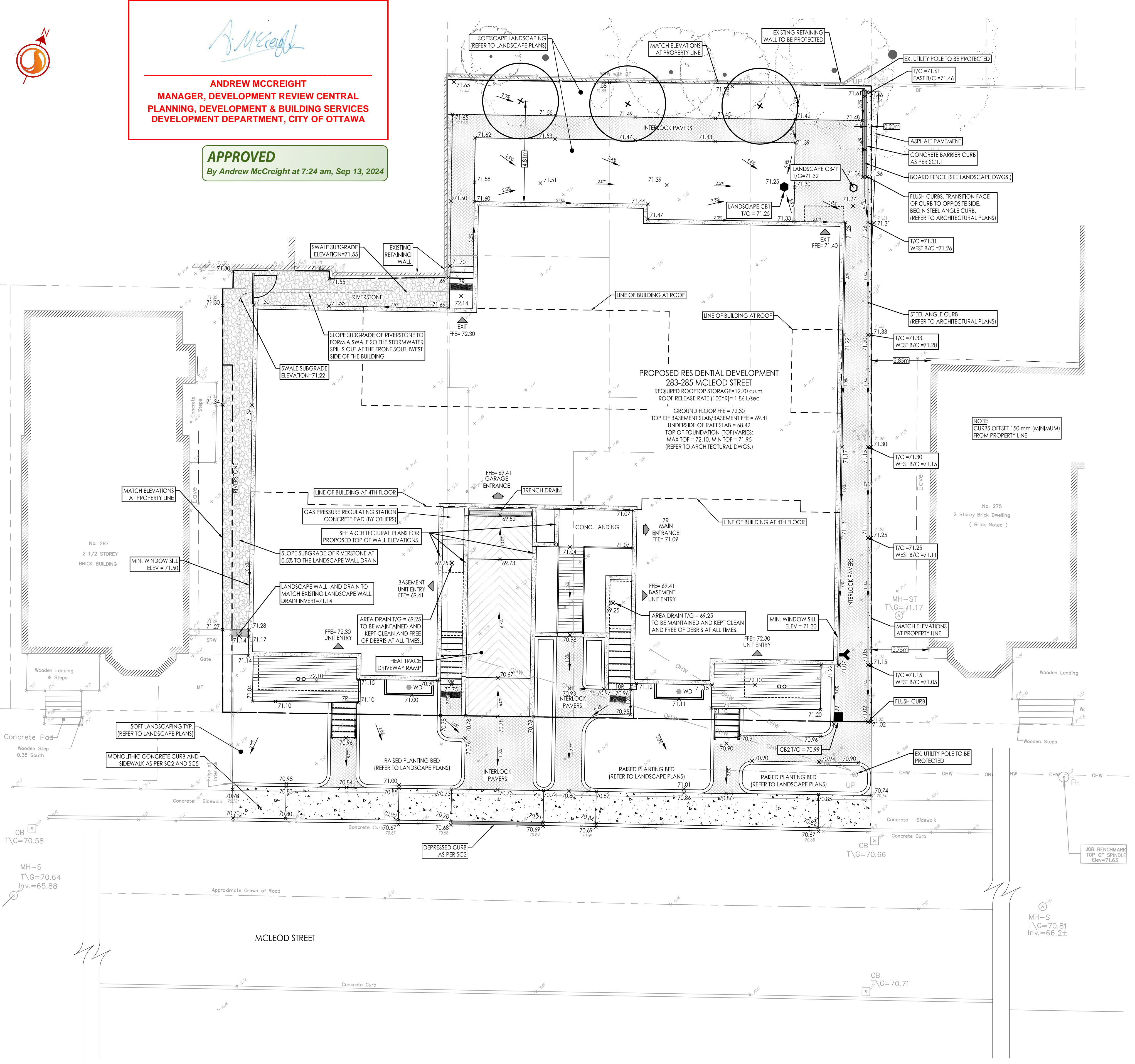
Client/Project
REZY PROPERTIES INC.

CENTRETOWN
283-285 MCLEOD STREET
OTTAWA, ON, CANADA

Title
GRADING PLAN

Project No.	Scale	Sheet	Revision
160401782	1:100	3 of 7	3

Drawing No. **GP-1** 3 of 7 3
Project # 18721



Andrew McCreight
ANDREW MCCREIGHT
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DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Andrew McCreight at 7:24 am, Sep 13, 2024