

OWNER/APPLICANT:
REZY PROPERTIES INC.
285 MCLEOD ST
OTTAWA, ON
K2P 1A1
613-233-0349

PROJECT MANAGEMENT:
AKG MANAGEMENT INC.
690 EALESBON ROAD, BOX 45011
OTTAWA, ON
K2M 2G9
613-983-2290

ARCHITECT:
COLIZZA BRUNI ARCHITECTURE INC.
76 CHAMBERLAIN AVENUE
OTTAWA, ON
K1S 1V9
613-236-2944

MECHANICAL & ELECTRICAL ENGINEERING:
COSMEL CORP.
178, GRÆBER BLVD, SUITE 105
GATINEAU, QC
J8T 6Z6
819-205-3283

STRUCTURAL ENGINEERING:
GOODEVE STRUCTURAL INC.
77 AURIGA DR.
NEPEAN, ON
K2E 7Z7
613-226-4558

CIVIL ENGINEERING:
STANTEC
1331 CLYDE AVE, SUITE 300
OTTAWA, ON
K2C 3G4
613-722-4420

GEOTECHNICAL ENGINEERING:
PATTERSON GROUP
9 AURIGA DR.
OTTAWA, ON
K2E 7T9
613-226-7381

LANDSCAPE ARCHITECTURE:
STANTEC
1331 CLYDE AVE, SUITE 300
OTTAWA, ON
K2C 3G4
613-722-4420

SURVEYOR:
ANNIS O'SULLIVAN VOLLEBEKK LTD.
ONTARIO LAND SURVEYORS
14 CONCOURSE GATE, SUITE 500,
NEPEAN, ON
K2E 7S6
613-727-0850

PLANNER:
FOTENI PLANNING & DESIGN
396 COOPER ST SUITE 300,
OTTAWA, ON
K2P 2H7
613-730-5709

- NOTES:**
- REFER TO LANDSCAPE PLAN FOR VEGETATION TYPE AND LOCATION
 - ALL NEW EXTERIOR HARD SURFACES, PATHS, AND DRIVES TO BE EQUIPPED WITH SNOW MELTING
 - PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PERFORMED ON THE 4TH DAY OF APRIL, 2018 BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

- LEGEND:**
- NEW SOFT SCAPE
 - NEW HARD SCAPE
 - NEW RIVER STONE
 - PROPERTY LINE
 - FLOOR DRAIN
 - WINDOW WELL DRAIN
 - SOFFIT LIGHT
 - WALL MOUNTED LIGHT
 - UNIT PANEL CONTROLLED
 - PEDESTAL LIGHTING 32"
 - AFF ABOVE FINISHED FLOOR
 - AFG ABOVE FINISHED GRADE

DEVELOPMENT INFORMATION

| ZONING: RSB H(18) | TOTAL # OF UNITS: 31 | |
|---------------------------------|---------------------------------------|----------|
| | REQUIREMENT | PROVIDED |
| MIN. LOT WIDTH | 30.83m | |
| MIN. LOT AREA | 832.1 m ² | |
| MAX. LOT COVERAGE | 67% | |
| MAX. BUILDING HEIGHT | 10m - 13m WITHIN 9m OF FRONT LOT LINE | |
| MIN. FRONT YARD SETBACK | 1.65m | |
| MIN. REAR YARD SETBACK | 5.7m | |
| MIN. INTERIOR SIDE YARD SETBACK | 1.2m | |
| MIN. SIDE YARD SETBACK | 1.2m | |
| TOTAL PARKING | 7+1V | 8 UIG |
| INDOOR PARKING | 7+1V | 7+1V UIG |
| OUTDOOR PARKING | N/A | 0 |
| VISITOR PARKING | 1 | 1 |
| BARRIER-FREE PARKING | 0 | 0 |
| BICYCLE PARKING | 31 | 31 |

UNIT BREAKDOWN

| UNIT TYPE | AREA | CONFIGURATION | # OF UNITS | # OF BEDROOMS | OCCUPANT LOAD |
|--------------|-----------------------|---------------|------------|---------------|---------------|
| A | 80.14 m ² | 2 BR | 1 | 2 | 4 |
| B | 44.46 m ² | 1 BR | 1 | 1 | 2 |
| B1 (BF) | 61.97 m ² | 2 BR | 4 | 8 | 16 |
| C | 28.66 m ² | 1 BR | 5 | 5 | 10 |
| D | 58.00 m ² | 1 BR & DEN | 1 | 1 | 2 |
| D1 (BF) | 72.03 m ² | 2 BR | 1 | 2 | 4 |
| D2 | 56.14 m ² | 1 BR & DEN | 1 | 1 | 2 |
| D3 | 57.90 m ² | 1 BR & DEN | 1 | 1 | 2 |
| E | 68.72 m ² | 2 BR | 1 | 2 | 4 |
| F | 83.65 m ² | 2 BR | 1 | 2 | 4 |
| G | 47.65 m ² | 1 BR | 1 | 1 | 2 |
| G1 (BF) | 54.83 m ² | 1 BR | 1 | 1 | 2 |
| G2 (BF) | 56.66 m ² | 1 BR | 1 | 1 | 2 |
| H | 36.62 m ² | BACHELOR | 1 | 1 | 2 |
| H1 (BF) | 37.91 m ² | BACHELOR | 1 | 1 | 2 |
| H2 | 47.79 m ² | BACHELOR | 1 | 1 | 2 |
| I | 75.71 m ² | 2 BR | 1 | 2 | 4 |
| J | 66.66 m ² | 2 BR | 1 | 2 | 4 |
| K | 47.48 m ² | BACHELOR | 1 | 1 | 2 |
| L | 33.73 m ² | BACHELOR | 1 | 1 | 2 |
| M | 105.81 m ² | 2 BR & DEN | 1 | 2 | 4 |
| N | 46.08 m ² | 1 BR | 1 | 1 | 2 |
| O | 51.90 m ² | 1 BR | 1 | 1 | 2 |
| P | 48.74 m ² | 1 BR | 1 | 1 | 2 |
| TOTAL | | | 31 | 42 | 84 |

BARRIER-FREE UNIT %

| CONFIGURATION | UNITS | BEDROOMS | LOAD | % OF UNITS | % OF TOTAL | BF |
|---------------|-------|----------|------|------------|------------|----|
| 1 BR | 2 | 2 | 4 | 6% | Yes | |
| 2 BR | 5 | 10 | 20 | 24% | Yes | |
| BACHELOR | 1 | 1 | 2 | 2% | Yes | |
| 1 BR | 10 | 10 | 20 | 24% | No | |
| 1 BR & DEN | 3 | 3 | 6 | 7% | No | |
| 2 BR | 6 | 10 | 20 | 24% | No | |
| 2 BR & DEN | 1 | 2 | 4 | 5% | No | |
| BACHELOR | 4 | 4 | 8 | 10% | No | |

UNIT FLOOR AREA BY LEVEL

| FLOOR LEVEL | AREA | # OF UNITS | # OF BDRMS | OCC LOAD |
|---------------------------|------------------------------|------------|------------|-----------|
| T/O BASEMENT SLAB | 97.98 m ² | 2 | 2 | 4 |
| T/O MAIN FLOOR SLAB | 349.74 m ² | 6 | 9 | 18 |
| T/O SECOND FLOOR SUBFLOOR | 397.70 m ² | 7 | 10 | 20 |
| T/O THIRD FLOOR SUBFLOOR | 390.38 m ² | 6 | 9 | 18 |
| T/O FOURTH FLOOR SUBFLOOR | 251.21 m ² | 5 | 6 | 12 |
| T/O FIFTH FLOOR SUBFLOOR | 249.99 m ² | 5 | 6 | 12 |
| TOTAL | 1737.00 m² | 31 | 42 | 84 |

GROSS FLOOR AREA ABOVE/BELOW GRADE

| | | |
|-------------------------------|------------------------|-----|
| ABOVE GRADE GFA OF APARTMENTS | 1639.02 m ² | 84% |
| ABOVE GRADE REMAINING GFA | 316.81 m ² | 16% |
| BELOW GRADE GFA OF APARTMENTS | 97.98 m ² | 21% |
| BELOW GRADE REMAINING GFA | 354.26 m ² | 73% |

GROSS BUILDING AREA BY LEVEL

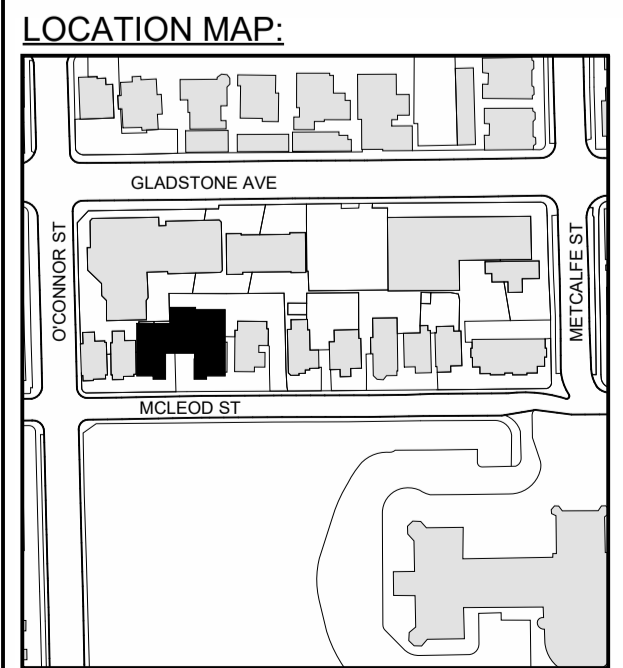
| FLOOR LEVEL | AREA | PERCENTAGE |
|---------------------------|------------------------------|------------|
| T/O BASEMENT SLAB | 493.52 m ² | 19% |
| T/O MAIN FLOOR SLAB | 492.90 m ² | 19% |
| T/O SECOND FLOOR SUBFLOOR | 496.22 m ² | 19% |
| T/O THIRD FLOOR SUBFLOOR | 422.88 m ² | 16% |
| T/O FOURTH FLOOR SUBFLOOR | 333.48 m ² | 13% |
| T/O FIFTH FLOOR SUBFLOOR | 341.66 m ² | 13% |
| TOTAL | 2580.66 m² | |

FLOOR AREA PERCENTAGE

| NAME | AREA | PERCENTAGE |
|-------------------|------------------------------|------------|
| GFA OF APARTMENTS | 1737.00 m ² | 72% |
| REMAINING GFA | 681.07 m ² | 28% |
| TOTAL | 2418.07 m² | |

SITE & L.O.S.

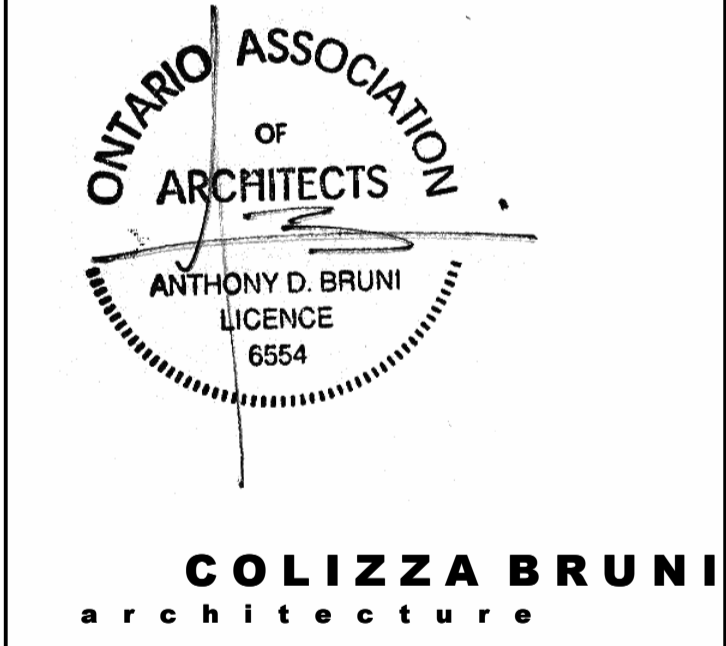
| NAME | AREA | PERCENTAGE REQUIRED | PERCENTAGE PROVIDED |
|--------------|-----------------------------|---------------------|---------------------|
| LANDSCAPE | 283.99 m ² | 30% | 34% |
| BUILDING | 548.03 m ² | N/A | 66% |
| TOTAL | 832.02 m² | | |



GENERAL NOTES

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| NO. | REV DATE | REV DESCRIPTION |
|-----|----------|------------------------------|
| 01 | 24-01-23 | ISSUED FOR SPC SUBMISSION |
| 02 | 24-03-21 | RE-ISSUED FOR SPC SUBMISSION |
| 03 | 24-04-12 | RE-ISSUED FOR SPC SUBMISSION |
| 04 | 24-05-03 | ISSUED FOR PERMIT SUBMISSION |
| 05 | 24-05-10 | RE-ISSUED FOR SPC SUBMISSION |



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PROJECT NAME
283 & 285 McLEOD STREET

OTTAWA, ON

DRAWING TITLE
SITE PLAN

SCALE
AS NOTED

DRAWN BY
BS

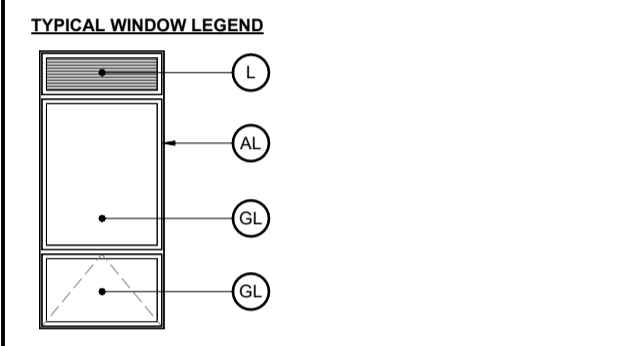
DATE
05/10/24

PROJECT NO.
01917

DRAWING NO.
SP1



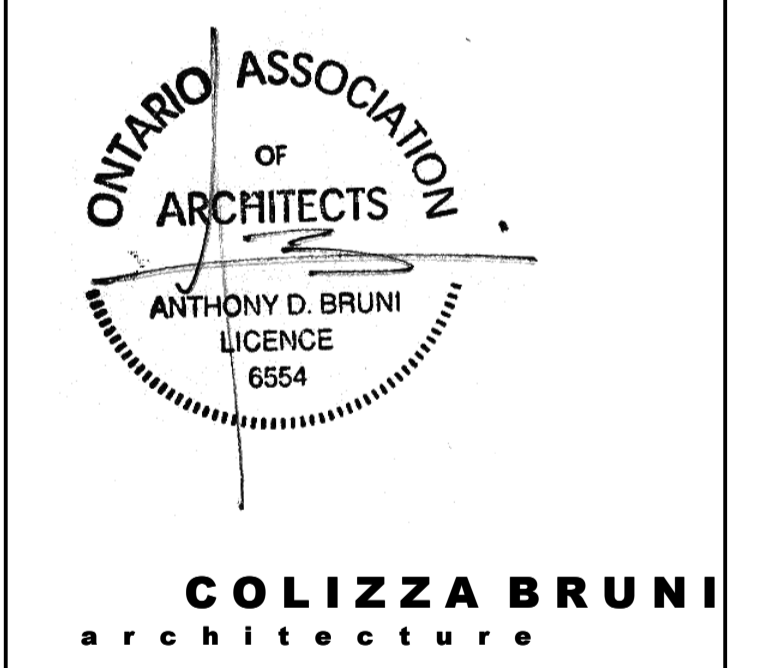
- GENERAL NOTES:**
- ADD 1" TO OVERALL DIMENSIONS FOR WINDOW & DOOR ROUGH STUD OPENINGS (RSG) UNLESS NOTED OTHERWISE
 - WINDOW & DOOR (COLOUR: BLACK EXTERIOR, WHITE INTERIOR)
 - SOFFITS TO BE PRE-FINISHED METAL VENTED. COLOUR: BLACK
 - INSTALL LIGHT AT EXTERIOR DOORS
 - ALL PRE-FINISHED METALS 4" OR LESS TO BE MIN. 26 GA. 4"-6" TO BE MIN. 24 GA. 6" OR GREATER TO BE MIN. 22 GA.
 - AN ASTERISK (*) WITHIN WINDOW TAG DENOTES REQUIREMENT OF SPRINKLER-PROTECTED WINDOW SYSTEM IN ACCORDANCE WITH CANULC-S136-2021 AS PER CBC 3.1.8.15.
 - AN ASTERISK (*) WITHIN WINDOW TAG DENOTES REQUIREMENT OF SPRINKLER-PROTECTED WINDOW SYSTEM IN ACCORDANCE WITH CANULC-S136-2021 AS PER CBC 3.1.8.18.
- MATERIALS LEGEND**
- MV - MASONRY VENEER (COLOUR: RED)
 - SW - SYNTHETIC WOOD RIBBED SIDING AS PER MANUFACTURER, NEW TECHWOOD CANADA. (COLOUR: BLACK OR CHARCOAL GREY, INSTALLED VERTICALLY)
 - CB - CEMENT BOARD BY KOL. (COLOUR: LIGHT GREY)
 - CP - CEMENT PARGING
 - SR - SLOPED STEEL ROOFING (COLOUR: BLACK OR CHARCOAL GREY)
 - GL - INSULATED GLAZING UNITS
 - L - INTEGRATED PRE-FINISHED MECHANICAL LOUVRE (COLOUR: BLACK)
 - AL - PRE-FINISHED ANODIZED ALUMINUM WINDOW FRAME (COLOUR: BLACK)
 - C - CANOPY



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| 03 | 24-04-12 | RE-ISSUED FOR SPC SUBMISSION |
| 04 | 24-05-03 | ISSUED FOR PERMIT SUBMISSION |
| 05 | 24-05-10 | RE-ISSUED FOR SPC SUBMISSION |



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PROJECT NAME
283 & 285 McLEOD STREET

OTTAWA, ON

DRAWING TITLE
SOUTH ELEVATION

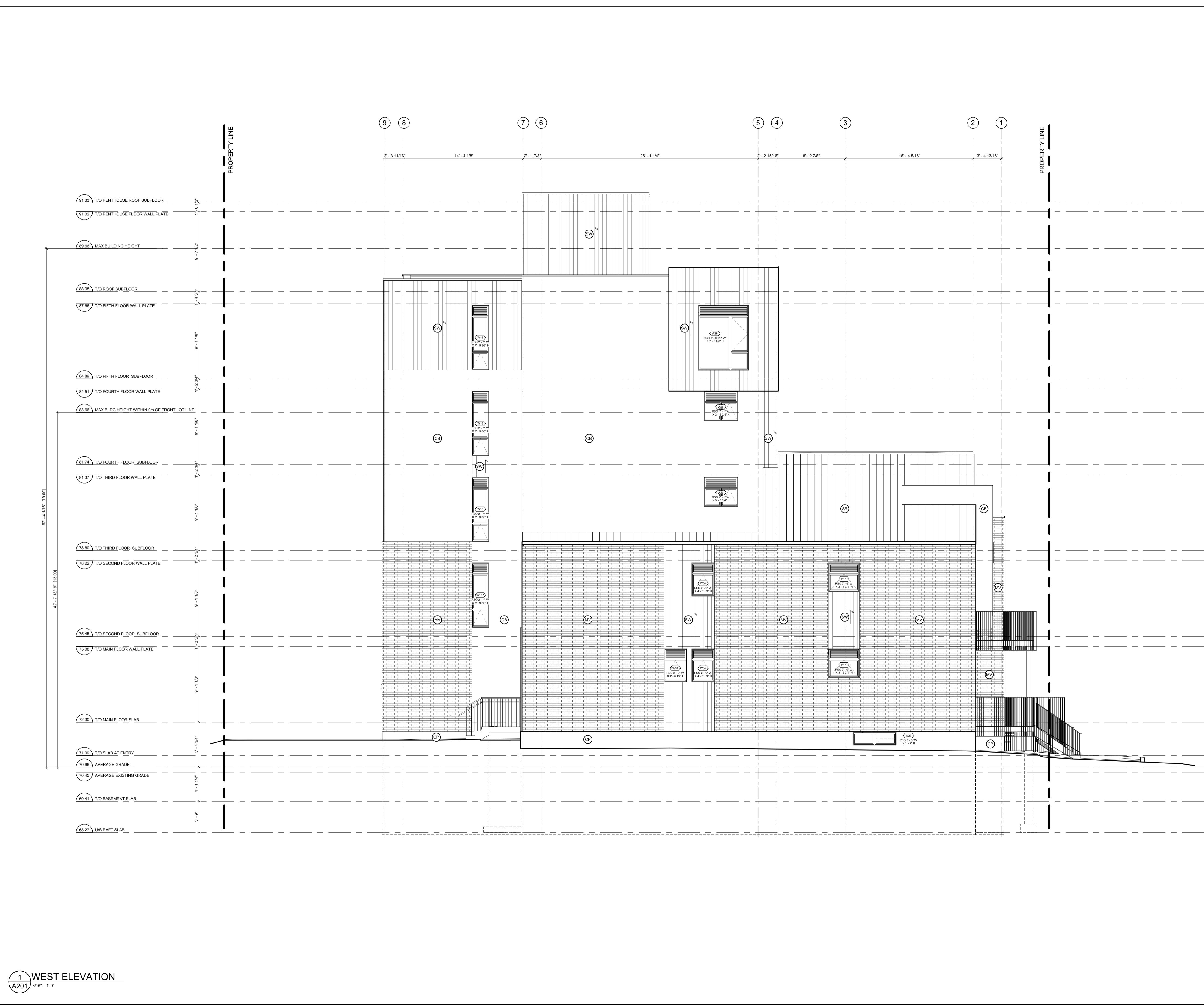
SCALE
 AS NOTED

DRAWN BY
 BS

DATE
 05/10/24

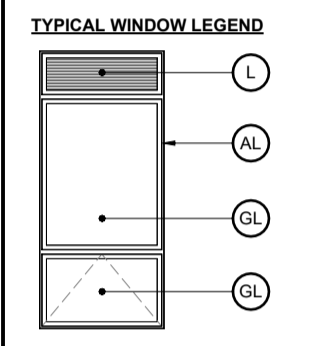
PROJECT NO.
 01917

DRAWING NO.
A200



- GENERAL NOTES:**
- ADD 1" TO OVERALL DIMENSIONS FOR WINDOW & DOOR ROUGH STUD OPENINGS (R/S/O) UNLESS NOTED OTHERWISE
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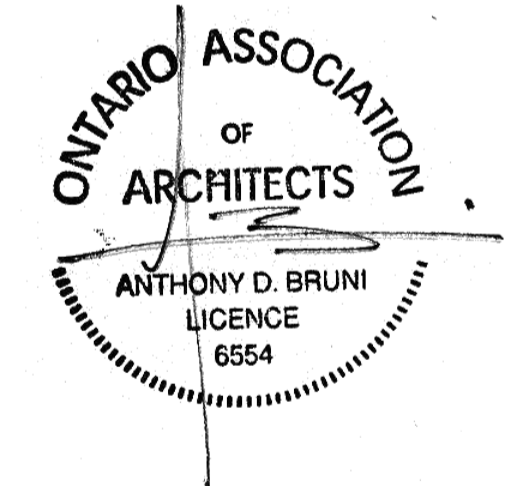
- MATERIALS LEGEND**
- MV - MASONRY VENEER (COLOUR: RED)
 - SW - SYNTHETIC WOOD RIBBED SIDING AS PER MANUFACTURER, NEW TECHWOOD CANADA. (COLOUR: BLACK OR CHARCOAL GREY, INSTALLED VERTICALLY)
 - CB - CEMENT BOARD BY KOOL. (COLOUR: LIGHT GREY)
 - CP - CEMENT PARGING
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 - GL - INSULATED GLAZING UNITS
 - L - INTEGRATED PRE-FINISHED MECHANICAL LOUVRE (COLOUR: BLACK)
 - AL - PRE-FINISHED ANNOXIDIZED ALUMINUM WINDOW FRAME (COLOUR: BLACK)
 - C - GANGPLY



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architecture

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PROJECT NAME
283 & 285 McLEOD STREET

OTTAWA, ON

DRAWING TITLE
WEST ELEVATION

SCALE
AS NOTED

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BS

DATE
05/10/24

PROJECT NO.
01917

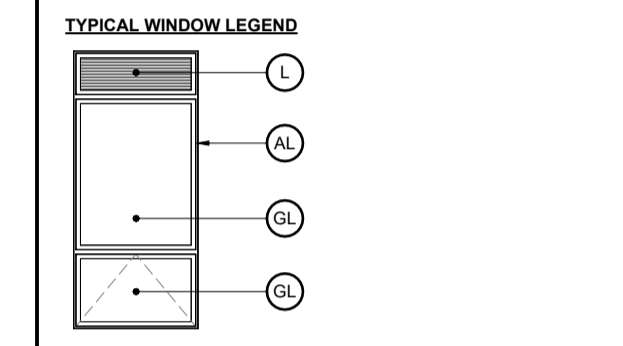
DRAWING NO.
A201



- 91.33 T/O PENTHOUSE ROOF SUBFLOOR
- 91.02 T/O PENTHOUSE FLOOR WALL PLATE
- 89.66 MAX BUILDING HEIGHT
- 88.06 T/O ROOF SUBFLOOR
- 87.66 T/O FIFTH FLOOR WALL PLATE
- 84.89 T/O FIFTH FLOOR SUBFLOOR
- 84.51 T/O FOURTH FLOOR WALL PLATE
- 83.66 MAX BLDG HEIGHT WITHIN 9m OF FRONT LOT LINE
- 81.74 T/O FOURTH FLOOR SUBFLOOR
- 81.37 T/O THIRD FLOOR WALL PLATE
- 78.60 T/O THIRD FLOOR SUBFLOOR
- 78.22 T/O SECOND FLOOR WALL PLATE
- 75.45 T/O SECOND FLOOR SUBFLOOR
- 75.08 T/O MAIN FLOOR WALL PLATE
- 72.30 T/O MAIN FLOOR SLAB
- 71.09 T/O SLAB AT ENTRY
- 70.66 AVERAGE GRADE
- 70.45 AVERAGE EXISTING GRADE
- 69.41 T/O BASEMENT SLAB
- 68.27 U/S RAFT SLAB
- 67.88 T/O ELEVATOR PIT SLAB

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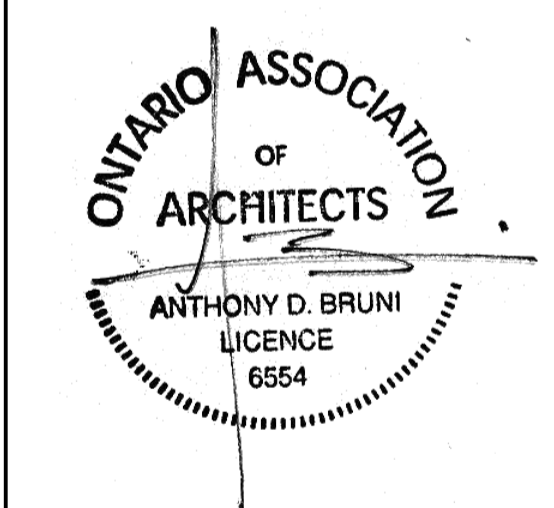
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 - SW - SYNTHETIC WOOD RIBBED SIDING AS PER MANUFACTURER, NEW TECHWOOD CANADA. (COLOUR: BLACK OR CHARCOAL GREY, INSTALLED VERTICALLY)
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 - C - GANGWAY



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PROJECT NAME
283 & 285 McLEOD STREET

OTTAWA, ON

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NORTH ELEVATION

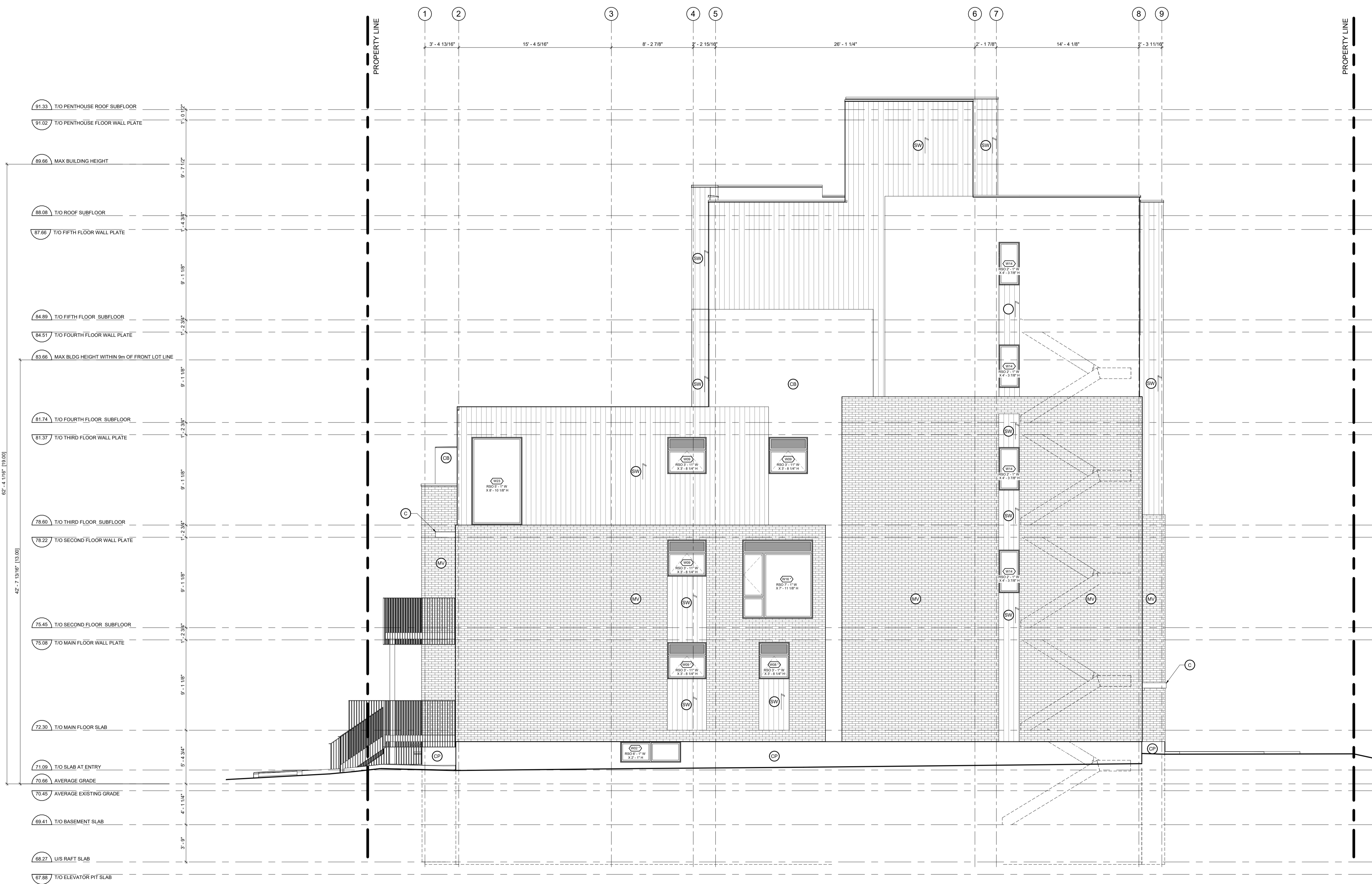
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PROJECT NO.
01917

DRAWING NO.
A202

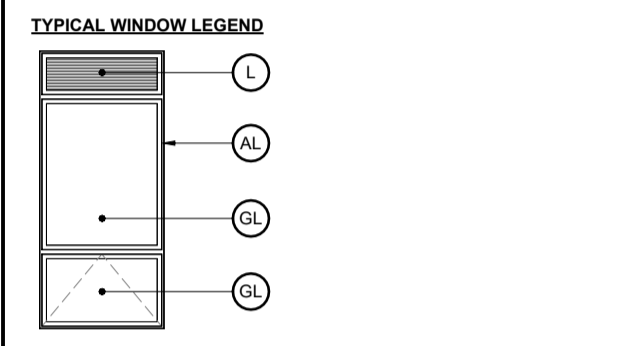


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1 EAST ELEVATION
A203 3/16" = 1'-0"

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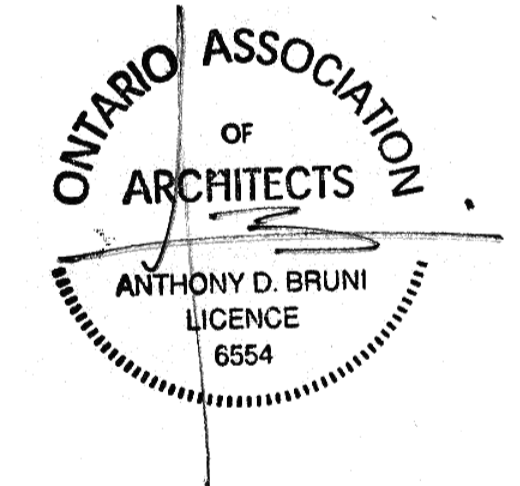
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 - SW - SYNTHETIC WOOD RIBBED SIDING AS PER MANUFACTURER, NEW TECHWOOD CANADA (COLOUR: BLACK OR CHARCOAL GREY, INSTALLED VERTICALLY)
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GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. DO NOT SCALE DRAWINGS. THESE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF COLIZZA BRUNI ARCHITECTURE INCORPORATED. COPYRIGHT RESERVED.

| NO. | REV DATE | REV DESCRIPTION |
|-----|----------|------------------------------|
| 01 | 24-01-23 | ISSUED FOR SPC SUBMISSION |
| 02 | 24-03-21 | RE-ISSUED FOR SPC SUBMISSION |
| 03 | 24-04-12 | RE-ISSUED FOR SPC SUBMISSION |
| 04 | 24-05-03 | ISSUED FOR PERMIT SUBMISSION |
| 05 | 24-05-10 | RE-ISSUED FOR SPC SUBMISSION |



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PROJECT NAME
283 & 285 McLEOD STREET

OTTAWA, ON

DRAWING TITLE
EAST ELEVATION

SCALE
AS NOTED

DRAWN BY
BS

DATE
05/10/24

PROJECT NO.
01917

DRAWING NO.
A203