

Zoning Confirmation Report

130 Slater Street

1.0 Overview

1.1 Introduction

Fotenn Consultants Inc. (“Fotenn”) has been retained by KTS Ontario Properties to prepare a Zoning Confirmation Report in support of a Site Plan Control application on the lands known municipally as 130 Slater Street in the City of Ottawa (the “subject property”).

1.2 General Site Information

Legal Description	PT LTS 48,49 PL 3922, S SLATER ST, AS IN CR521893; T/W CR521893; OTTAWA
Zoning By-law (2008-250)	MD S37
Zoning Overlay	Mature Neighbourhoods Overlay
City of Ottawa Official Plan (2022)	Downtown Core Transect; Mainstreet Corridor - Hub
Central and East Downtown Core Secondary Plan	Downtown Mixed-Use

1.3 Proposed Development

This proposal seeks to convert the existing office uses within the building at 130 Slater Street to residential uses through an in-situ conversion, in which the existing building is to remain. As part of this off-to-residential conversion, the retail spaces at-grade are being retained and will remain accessible via the sidewalk along Slater Street. The existing building on the property represents a common fabric element of the City’s downtown area, and as part of the general trends being seen across the City, the desire to see office space converted to residential uses has materialized through this application.

This application seeks to establish 204 residential units within the existing 13-storey building. The existing building includes 40 vehicular parking spaces, 18 of which are located in a below-grade parking garage, and the remainder are surface spaces located at-grade. As part of the proposed conversion, additional bicycle parking is to be provided across the building, resulting in approximately 285 spaces distributed across the basement, sub-basement, and ground floors.

2.0 Zoning Compliance

2.1 City of Ottawa Comprehensive Zoning By-law (2008-250)

The subject property is zoned Mixed-Use Downtown, Schedule 37 (MD S37) with the Mature Neighbourhoods Overlay in the City of Ottawa Comprehensive Zoning By-law (2008-250), as shown in Figure 1 below. The purpose of the Mixed-Use Downtown zone is to:

- / Support the Central Area, as designated in the Official Plan (2003), as the central place in the region for employment and shopping while also allowing residential, cultural and entertainment uses;
- / Ensure that the Character Areas in the Central Area, namely the Core Area, the Parliamentary Precinct, the ByWard Market, the Rideau/Congress Centre, the Canal Area, Lowertown, Upper Town, Sandy Hill West, LeBreton Flats and the four Business Improvement Areas, Rideau, Sparks, ByWard Market and Bank Streets, continue to serve as primary business or shopping areas and maintain their distinct character;
- / Facilitate more intense, compatible and complementary development to ensure that the active, pedestrian-oriented environment at street level, particularly along Bank Street, Sparks Street and Rideau Street is sustained; and,
- / Impose development standards that will protect the visual integrity and symbolic primacy of the Parliament Buildings and be in keeping with the existing scale, character and function of the various Character Areas and Business Improvement Areas in the Central Area while having regard to the heritage structures of the Central Area.

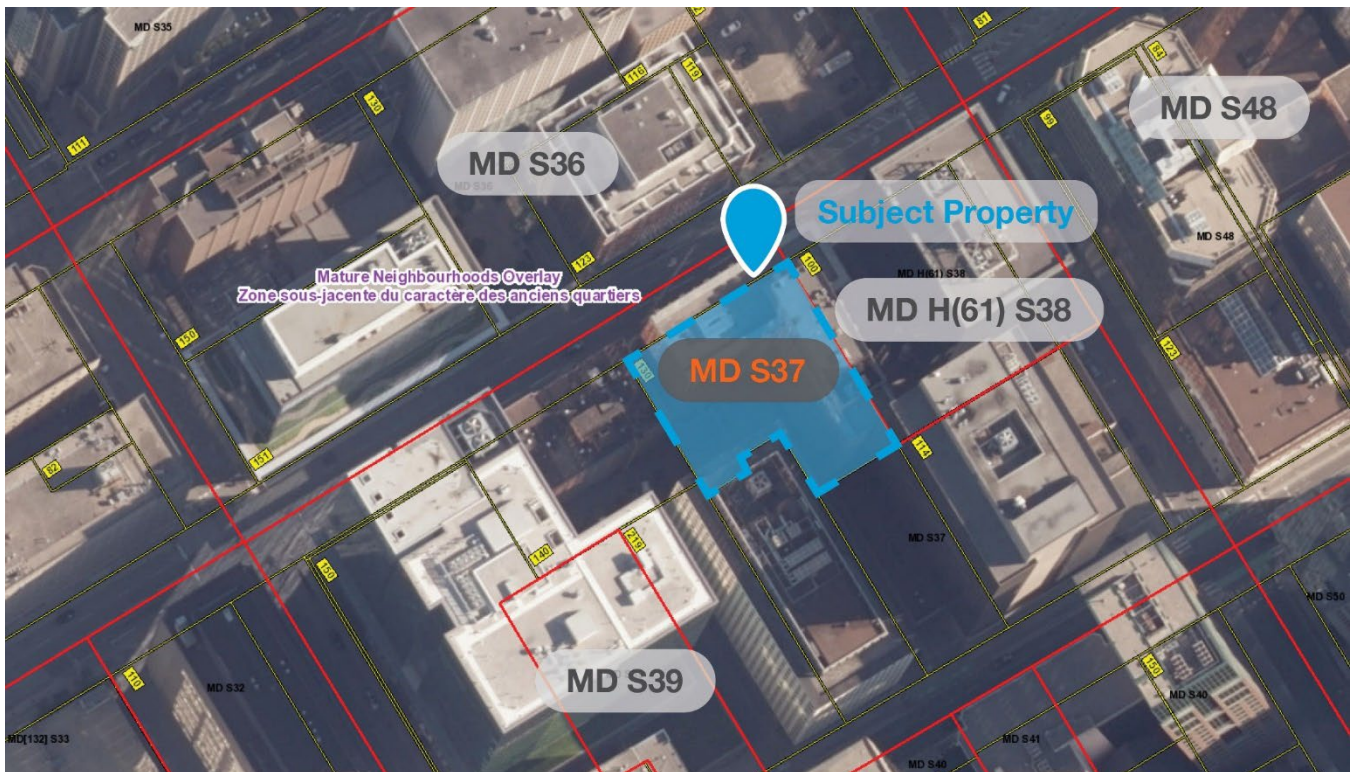


Figure 1: Aerial zoning map of the subject property.

The following uses are permitted in the MD zone:

Residential Uses		
/	apartment dwelling, low rise	
/	apartment dwelling, mid rise	
/	apartment dwelling, high rise	
/	dwelling unit	
/	group home	
/	rooming house	
/	stacked dwelling	
Non-Residential Uses		
/	amusement centre*	/ recreational and athletic facility*
/	animal care establishment	/ home-based business
/	animal hospital	/ home-based day care
/	artist studio*	/ hotel*
/	bank*	/ instructional facility*
/	bank machine*	/ library*
/	bar*	/ medical facility*
/	bed and breakfast	/ municipal service centre*
/	broadcasting studio	/ museum*
/	catering establishment	/ nightclub*
/	cinema*	/ office
/	click and collect facility	/ park
/	community centre*	/ parking garage
/	community health and resource centre*	/ payday loan establishment*
/	convenience store*	/ personal brewing facility*
/	court house	/ personal service business*
/	day care	/ place of assembly*
/	diplomatic mission	/ place of worship
/	emergency service	/ post office*
		/ production studio
		/ retail food store*
		/ retail store*
		/ retirement home
		/ retirement home, converted
		/ school
		/ service and repair shop*
		/ shelter
		/ sports arena
		/ storefront industry
		/ technology industry
		/ theatre*
		/ training center
		/ urban agriculture

* At least 50% of the ground floor of any building must be occupied by one or more of the identified uses.

The application proposes the conversion of the office uses to residential uses within the existing building. The table below evaluates the proposed development against the provisions of the MD S37 zone:

Zoning Mechanisms	Provisions	Proposed	Compliance
Minimum lot area	No minimum	1,560m ² (Existing)	YES
Minimum lot width	No minimum	40.3 metres (Existing)	YES
Minimum front yard setback	No minimum	0.95 metres (Existing)	YES

Minimum interior side yard setbacks	No minimum		0 metres (Existing)	YES
Minimum rear yard setback	No minimum		0 metres (Existing)	YES
Building height	As per Schedule 37 of the Zoning By-law		46 metres (Existing)	YES
Maximum floor space index	Not applicable unless otherwise shown		N/A	YES
Minimum width of landscaped area	No minimum, except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces or outdoor commercial patio, the whole yard must be landscaped		N/A	YES
Minimum Parking Requirements (Area Z)	Residential & Retail	None Required	Below-Grade: 18 spaces Surface: 3 spaces Total: 21 spaces (Existing)	YES
Parking Space Dimensions	Minimum width: 2.6 metres Minimum length: 5.2 metres		2.6 metres x 5.2 metres (Existing)	YES
Aisle Width	3.5 metres		5.3 metres (Existing)	YES
Driveway Width	3 metres for single traffic		3.96 metres (219 Laurier Ave. W) 2.6 metres (Slater Street) (Existing)	YES
Visitor Parking Requirement	0.1 spaces per dwelling unit - Minus first 12 units	19 spaces	19 spaces (Existing - Above Grade)	YES

Bicycle Parking Space Rates	Residential	Apartment – High Rise	0.5 spaces per unit (102 spaces)	285 spaces	YES
Amenity Space	6m ² per dwelling unit; Min. 50% Communal		Total: 1,344.3m ² Communal: 100%		YES

As summarized in the table above, the proposed development complies with all applicable zoning provisions. The zoning provisions have been reviewed to ensure that the proposed use on the property does not place greater restrictions on the existing building, relinquishing the Legal Non-Complying rights granted to the existing building. The relevant zoning provisions and compliance can also be found in the accompanying Zoning Compliance Report submitted as part of this application.

Appendix A: Zoning Confirmation Report Checklist

5. Annex 1 - Zoning Confirmation Report Checklist

A. Project Information			
Review Date:		Official Plan designation:	Downtown Core; Mainstreet Corridor - Hub
Municipal Address(es):	200 Elgin Street	Legal Description:	PT LTS 48,49 PL 3922, S SLATER ST, AS IN CR521893; T/W CR521893; OTTAWA
Scope of Work:	Conversion of office building to residential mixed-use building with retail uses at-grade and residential units above.		
Existing Zoning Code:	MD S37	By-law Number:	2008-250
Schedule 1 / 1A Area:	Area Z	Overlays Applicable¹:	Mature Neighbourhoods Overlay

¹ Mature Neighbourhoods Overlay, Floodplain Overlay, and/or Heritage Overlay.

B. Zoning Review			
For Zoning By-law Amendments, please use the proposed zone and subzone requirements, if different than existing.			
Proposed Zone/Subzone (Zoning By-law Amendments only):			
Zoning Provisions ¹	By-law Requirement or Applicable Section, Exception or Schedule Reference	Proposal	Compliant (Y/N)
Principal Land Use(s)	Apartment, High Rise	Apartment, High Rise	Y
Lot Width	None	40.3m	Y
Lot Area	None	1,560m ²	Y
Front Yard Set Back²	No minimum	0.95(existing)	Y
Corner Side Yard Setback	N/A	N/A	Y
Interior Side Yard Setback	No minimum	0 metres (existing)	Y
Rear Yard Setback	No minimum	0 metres (existing)	Y
Lot Coverage Floor Space Index (F.S.I.)	Not applicable unless otherwise shown	94.48% (existing) 4.8 (existing)	Y
Building Height³	As per Schedule 37 of the Zoning By-law	46 metres (existing)	Y
Accessory Buildings Section 55	N/A	N/A	Y



Projections into Height Limit Section 64	N/A	N/A	Y
Projections into Required Yards Section 65	N/A	N/A	Y
Required Parking Spaces Section 101 and 103	None (Area Z)	21 spaces	Y
Visitor Parking spaces Section 102	19 spaces	19 spaces	Y
Size of Space Section 105 and 106	2.6m to 3.1m wide At least 5.2m long	2.6m x 5.2m (Existing)	Y
Driveway Width Section 107	3 metres for single traffic	3.96m (south) 2.6m (west) (Existing)	Y
Aisle Width Section 107	3.5 metres	(Existing)	Y
Location of Parking Section 109	N/A	N/A	Y
Refuse Collection Section 110	N/A	N/A	Y
Bicycle Parking Rates Section 111	0.5 per residential unit: 102 spaces Commercial: 1 per 250m ² 1 spaces	285 spaces	Y
Amenity Space Section 137	6m ² per unit: 1,224m ² (50% Communal)	1,344.3m ²	Y
Other applicable relevant Provision(s)			

¹ This template represents a small selection of applicable provisions. Please consider the lot's geography (i.e. corner/through lot, proximity to water, inside/outside Greenbelt) and proposed land use (i.e. drive through operation, outdoor commercial patio, Planned Unit Development, long semi) and consult the by-law to determine which other sections of the By-law must be met. This can be attached in a separate document.

² Note that different performance standards apply to low-rise residential development inside the Greenbelt. Please reference Section 144 for these standards, where applicable.