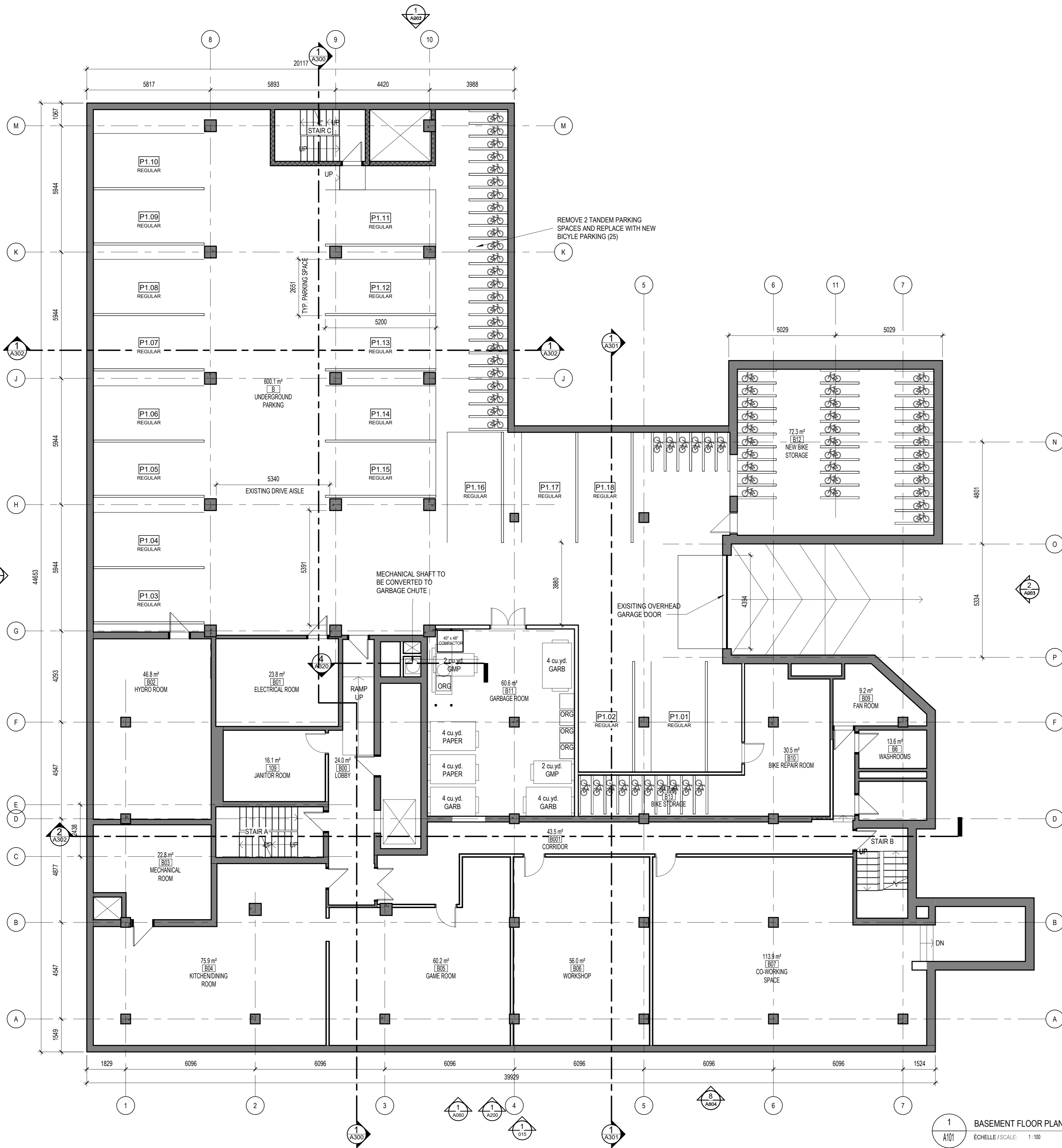


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| <p>PRELIMINARY NOT FOR CONSTRUCTION</p> | | | |
| <p>Ingenieur / Engineer (Mechanical & Electrical / Mechanical & Electrical)</p> | | | |
| <p>Ingenieur / Engineer (Structure / Structure)</p> | | | |
| <p>Client / Client</p> | | | |
| <p>KTS PROPERTIES</p> | | | |
| <p>Architecte / Architect Collectif d'architectes</p> <p>Fig 1 3550, Saint-Armande O. Montreal QC H4C 1A6 T. 514-861-6122</p> <p>Fig 2 190 Somerset St W #206 Ottawa ON K2P 1G4 T. 613-695-6122 www.figur.ca</p> | | | |
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| <p>Project / Project</p> <p style="text-align: center;">13 STOREY APARTMENT BUILDING CONVERSION</p> <p style="text-align: center;">130 SLATER ST OTTAWA, ON K1P 6E2</p> | | | |
| <p>Title / Title</p> <p style="text-align: center;">SUB-BASEMENT FLOOR PLAN</p> | | | |
| <p>Dessiné par / Drawn by KJ, AM, SF</p> | | <p>No. projet / Project number 2332</p> | |
| <p>Vérifié par / Verified by RC</p> | | <p>No. dessin / Drawing number Revision / Revision</p> | |
| <p>Echelle / Scale As indicated</p> | | <p>Date de création du dessin / Drawing creation date 11/22/24</p> | |
| <p>1 A100</p> | | <p style="text-align: right;">A100</p> | |



1 BASEMENT FLOOR PLAN
Echelle / Scale: 1:100

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(Mécanique & Électrique / Mechanical & Electrical)

Ingenieur / Engineer
(Structure / Structure)

Client / Client

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PROPERTIES

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Fig 2
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**13 STOREY APARTMENT
BUILDING CONVERSION**

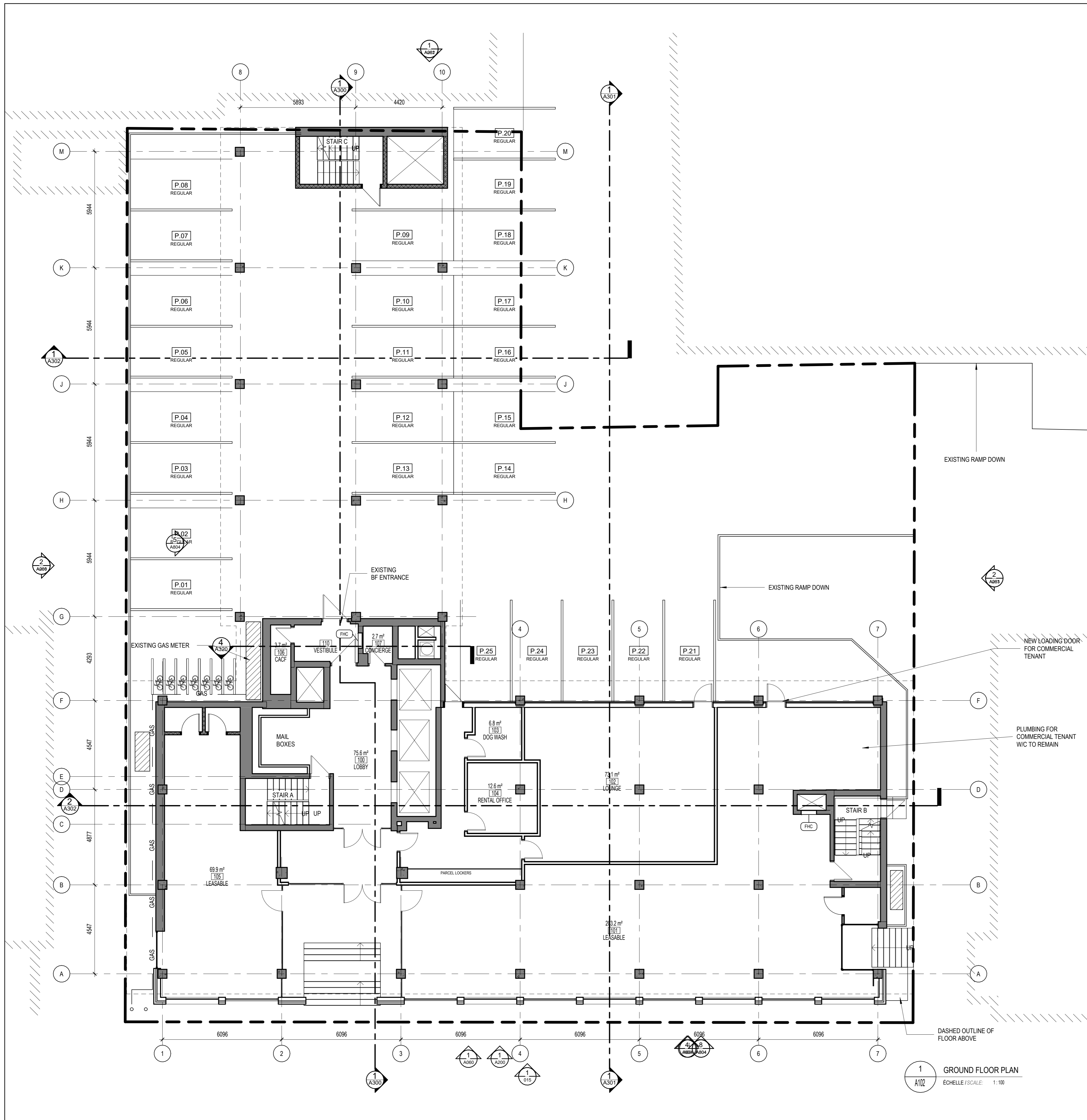
130 SLATER ST
OTTAWA, ON
K1P 6E2

BASEMENT FLOOR PLAN

Dessiné par / Drawn by: KJ, AM, SF
Vérifié par / Verified by: RC
Echelle / Scale: As indicated
Date de création du dessin / Drawing creation date: 1/12/24

No. projet / Project number: 2332
No. dessin / Drawing number: RC
Révision / Revision:

A101



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LEGEND

| | |
|-----------|--|
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Project / Project

**13 STOREY APARTMENT
BUILDING CONVERSION**

130 SLATER ST
OTTAWA, ON
K1P 6E2

Title / Title

GROUND FLOOR PLAN

Drawn by / Drawn by
KJ, AM, SF

Project / Project number
2332

Verified by / Verified by
RC

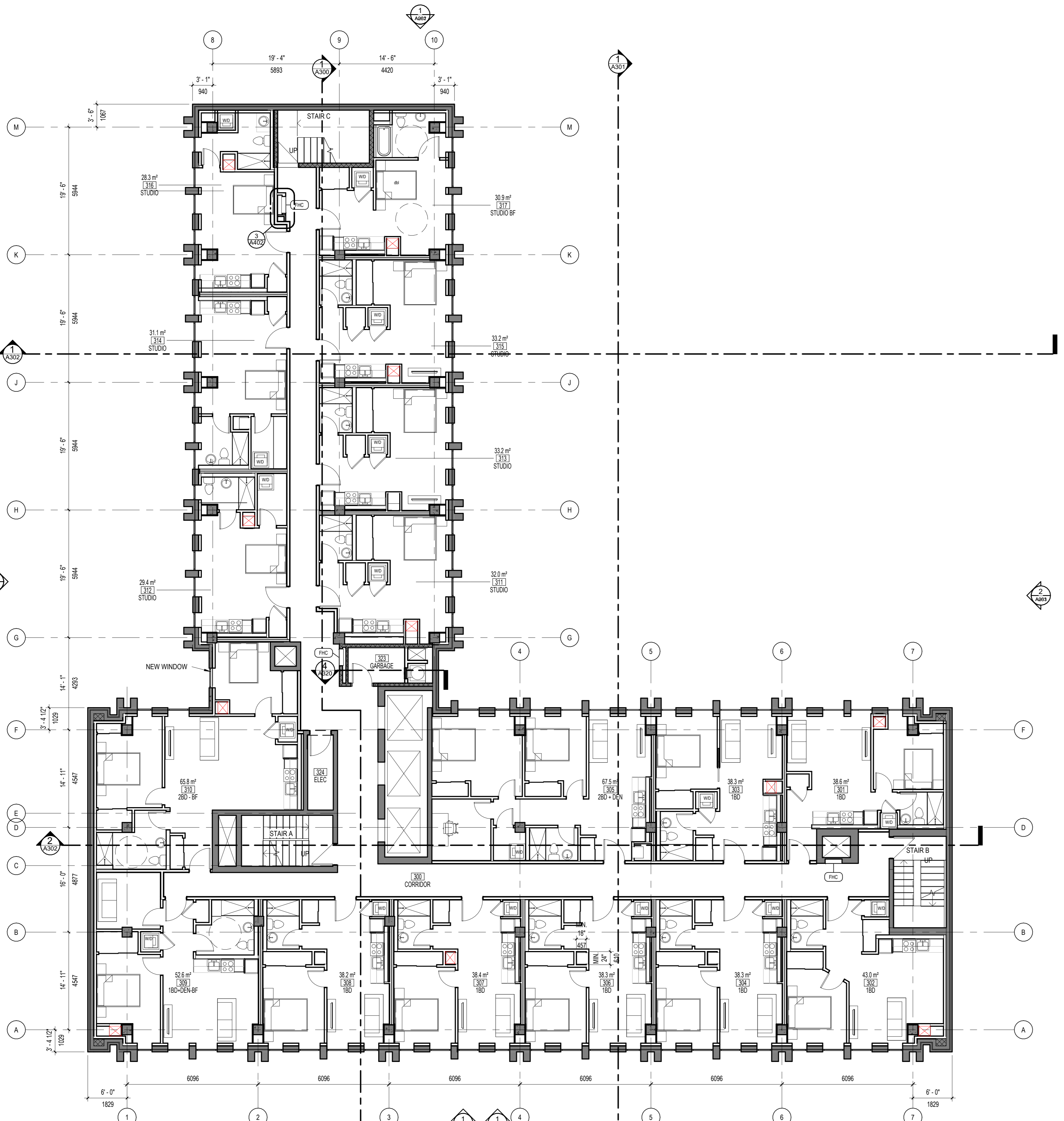
No. dessin / Drawing number

Revision / Revision

Echelle / Scale
As indicated

Date de création du dessin / Drawing creation date
1/12/24

A102



1 LEVEL 2-13 TYP. FLOOR PLAN
 A104 ÉCHELLE / SCALE: 1:100

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 - PARTITION WALL
 - CONCRETE BLOCK WALL
 - TYPE WALL
 - NUMBER OF WALL TYPE
 - FIRE RATING
 - NUMBER AND CEILING HEIGHT
 - ROOF TYPE
 - NUMBER AND ROOM NAME
 - NUMBER WINDOW
 - REVISION NUMBER
 - CENTRE LINE
 - SCUPPER
 - DUAL STACKED BIKE PARKING STALL 1500mm x 500mm
 - BIKE PARKING STALL 1800mm x 600mm

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

Ingenieur / Engineer
 (Mécanique & Électrique) / Mechanical & Electrical

Ingenieur / Engineer
 (Structure) / Structure

Client / Client

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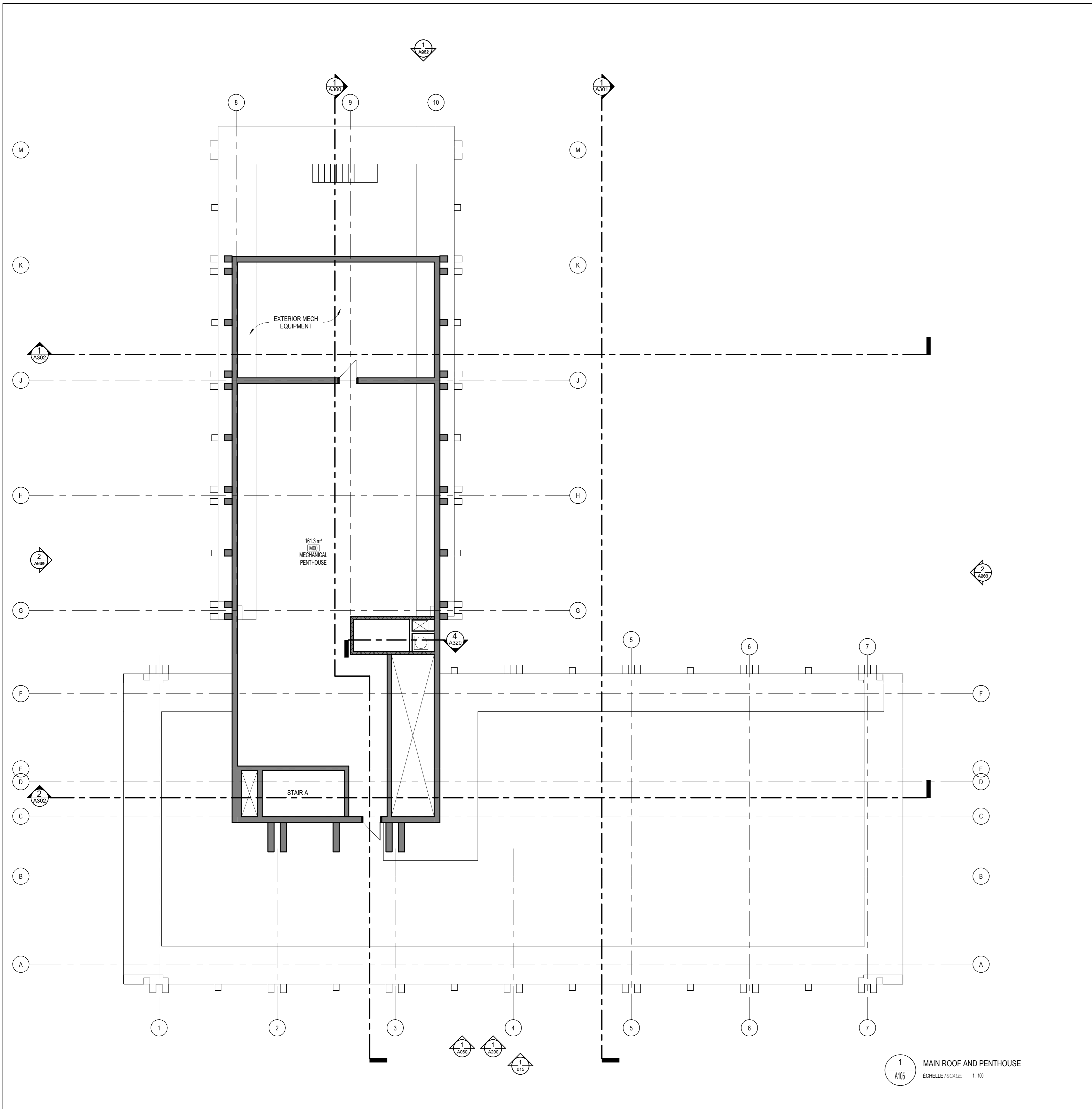
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Notes:
 L'entrepreneur doit vérifier toutes les dimensions et informations sur le site et en informer immédiatement l'architecte de toutes erreurs ou omissions.
 Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

Project / Project
13 STOREY APARTMENT BUILDING CONVERSION
 130 SLATER ST
 OTTAWA, ON
 K1P 6E2

Title / Titre
LEVEL 2-13 TYP. FLOOR PLAN

Dessiné par / Drawn by
 KJ, AM, SF
 Vérifié par / Verified by
 RC
 Échelle / Scale
 As indicated
 No. projet / Project number
 2332
 No. dessin / Drawing number
 Révision / Revision
 1/1224
A104



| GENERAL NOTES | | LEGEND | | No. Date Émis pour / Object | |
|--|--|---|--|---|--|
| <p>THE REFERENCE PLANS ARE MEANT TO PROVIDE AN OVERVIEW OF THE BUILDING LAYOUT IN ITS ENTIRETY. THESE ARE TO BE USED FOR GENERAL CONTEXT AND ARE NOT SCALED FOR CONSTRUCTION. ALWAYS REFER TO ENLARGED 1:50 SCALE PLANS FOR CONSTRUCTION INFORMATION. IN THE CASE OF A DISCREPANCY BETWEEN REFERENCE PLANS AND CONSTRUCTION PLANS, ALWAYS FOLLOW INFORMATION PROVIDED IN CONSTRUCTION PLANS.</p> | | <p>ALI ALIGN DESIGNATED SURFACES</p> <p>DIM CLEAR INDICATED CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES</p> <p>FD FLOOR DRAIN (REFER TO MECH.)</p> <p>RD ROOF DRAIN (REFER TO MECH.)</p> <p>EP ELECTRICAL PANEL (REFER TO ELEC.)</p> <p>TACTILE ATTENTION INDICATOR AS PER OBC 3.8.3.18</p> <p>BARRIER-FREE OPERATOR - REFER TO ELEC.</p> <p>FDC FIRE DEPARTMENT CONNECTION COORD w/ MECH</p> <p>FHC FIRE HOSE CABINET. COORD w/ MECH</p> <p>CONCRETE REFER TO STRUCTURE</p> <p>NEW WALL</p> <p>EXISTING WALL</p> <p>PARTITION WALL</p> <p>CONCRETE BLOCK WALL</p> <p>TYPE WALL</p> <p>NUMBER OF WALL TYPE</p> <p>FIRE RATING</p> <p>NUMBER AND CEILING HEIGHT</p> <p>ROOF TYPE</p> <p>NUMBER AND ROOM NAME</p> <p>NUMBER WINDOW</p> <p>REVISION NUMBER</p> <p>CENTRE LINE</p> <p>SCUPPER</p> <p>DUAL STACKED BIKE PARKING STALL 1500mm x 500mm</p> <p>BIKE PARKING STALL 1800mm x 600mm</p> | | <p>PRELIMINARY NOT FOR CONSTRUCTION</p> <p>Ingenieur / Engineer (Mécanique & Électrique / Mechanical & Electrical)</p> <p>Ingenieur / Engineer (Structure / Structure)</p> <p>Client / Client</p> <p>KTS PROPERTIES</p> <p>Architecte / Architect Collectif d'architectes</p> <p>figuri</p> <p>Droit d'auteur / Copyright</p> <p>Note: L'entrepreneur doit vérifier toutes les dimensions et informations sur le site et en cas d'erreur, l'architecte de toutes erreurs ou omissions. Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.</p> <p>Projet / Project</p> <p>13 STOREY APARTMENT BUILDING CONVERSION</p> <p>130 SLATER ST OTTAWA, ON K1P 6E2</p> <p>Titre / Title</p> <p>PENTHOUSE FLOOR PLAN</p> <p>Dessiné par / Drawn by KJ, AM, SF No. projet / Project number 2332</p> <p>Vérifié par / Verified by RC No. dessin / Drawing number Révision / Revision</p> <p>Echelle / Scale As indicated</p> <p>Date de création du dessin / Drawing creation date 1/12/24</p> <p>A105</p> | |
| <p>1. GENERAL CONTRACTOR MUST INFORM THE ARCHITECT OF ALL SPECIFIC CONDITIONS OF THE PROJECT THAT MAY AFFECT, HARM, OR IMPEDE THE EXECUTION OR COMPLETION OF THE WORK REQUIRED BY THE CONTRACT.</p> <p>2. INCLUDE IN CONTRACT ALL WORK, SPECIFIED OR NOT ON THE PLANS AND SPECIFICATIONS, THAT IS GENERALLY INCLUDED IN STANDARD INDUSTRY PRACTICE AND IS REQUIRED FOR WORK CONNECTED TO THIS PROJECT.</p> <p>3. ALL WORK SHALL BE DONE ACCORDING TO GOOD PRACTICE AND CONSTRUCTION INDUSTRY STANDARDS. THE WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE WORK. SUBSTANTIAL COMPLETION SHALL BE DETERMINED ACCORDING TO THE ACCEPTANCE OF THE WORK BY THE ARCHITECT.</p> <p>4. EACH SUB-CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL NOTIFY THE ARCHITECT OR OWNER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, NOTES, & FIELD CONDITIONS BEFORE COMMENCING ANY WORK. THE DIMENSIONS ON THESE DOCUMENTS MUST BE READ AND NOT MEASURED OR SCALED.</p> <p>5. THE GENERAL CONTRACTOR SHALL SUPPLY ALL LABOUR AND MATERIALS NECESSARY TO COMPLETE THE WORK SPECIFIED ON THE ARCHITECTURAL PLANS AND WORK STEMMING FROM DIRECTIVES OF THE CLIENT AND OWNER.</p> <p>6. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO AVOID ANY DAMAGE TO PROPERTY AND PERSONS.</p> <p>7. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STRUCTURAL SUPPORTS WHEREVER NECESSARY TO PROPERLY SUPPORT, BRACE, OR REINFORCE ALL FINISHES, FRAMES, OR EQUIPMENT, ETC.</p> <p>8. THE GENERAL CONTRACTOR MUST CONCEAL NEW PIPING AND ELECTRICAL CONDUITS WITHIN NEW PARTITIONS, UNLESS OTHERWISE NOTED.</p> <p>9. THE GENERAL CONTRACTOR SHALL INSTALL PAINTED STEEL LINTELS FOR ALL OPENINGS IN MASONRY WALLS. THE GENERAL CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE PROPERTY SURROUNDING THE SITE FROM DAMAGE OR DEBRIS RESULTING FROM WORK. ALL SECURITY DEVICES SHALL BE OF SOLID CONSTRUCTION TO PROVIDE THE PROTECTION NECESSARY. THE WORK AND ADJACENT PROPERTIES INCLUDE, BUT ARE NOT LIMITED TO, THE STRUCTURE, THE FINISHING, ALL ACCESSORIES, SITE BETTERMENT, ALL EQUIPMENT, AND HARDWARE.</p> <p>11. ERECT ALL SHORING, CROSS-BRACING, AND OTHER SUPPORTS REQUIRED TO PREVENT SUBSIDENCE, MISALIGNMENTS AND MOVEMENT OF THE WORK SHOULD THE QUALITY OF THE MATERIALS OR THE WORK SPECIFIED IN THE DRAWINGS NOT CORRESPOND TO THE THAT WHICH IS DESCRIBED IN THE SPECIFICATIONS, THE BETTER QUALITY MATERIAL SHALL BE SUPPLIED.</p> <p>13. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING INCLUDING GRASS AND OTHER PLANTS FOR 30 DAYS AFTER INSTALLATION, AND MUST REPLACE ALL ELEMENTS THAT HAVE NOT ADAPTED BY THE END OF THIS PERIOD.</p> <p>14. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEASUREMENTS OF EXISTING CONDITIONS ON SITE WITHIN THE SCOPE OF WORK OF THE PROJECT, AND ALL POSSIBLE IMPLICATIONS ELSEWHERE.</p> <p>15. FOR ALL ENGINEERING ASPECTS, STRUCTURE, MECHANICAL, OR ELECTRICAL, THE GENERAL CONTRACTOR MUST REFER TO ENGINEERING DOCUMENTS.</p> <p>16. ALL SUITE DOORS TO BE 5" (127mm) OFF ADJACENT WALL FACE UNO. ALL SWING DOORS WITHIN SUITE TO BE 4" (102mm) OFF ADJACENT WALL FACE, AND ALL LAUNDRY CLOSET DOORS TO BE CENTERED ON INTERIOR WALLS OF CLOSET UNO.</p> <p>17. REFER TO FINISH PLANS FOR ALL FINISH INFORMATION.</p> <p>18. REFER TO A600 SERIES FOR KITCHEN AND VANITY TYPES AS LABELED ON THE PARTIAL PLANS.</p> <p>19. DIMENSIONS ARE GENERALLY TO FACE OF DRYWALL.</p> | | | | | |