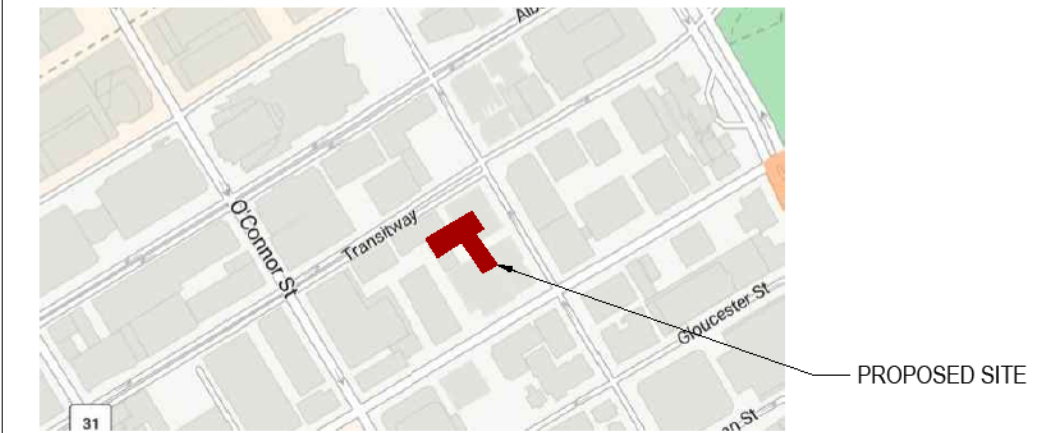


PROPERTY INFORMATION BASED ON SURVEY BY STANTEC GEOMATICS LTD. DATED DECEMBER 6, 2023.  
1331 CLYDE AVENUE, SUITE 300 OTTAWA, ONTARIO, K2C 3G4

KEY PLAN



PROPERTY DESCRIPTION

EXISTING 13-STORY OFFICE BUILDING - CONVERSION TO RESIDENTIAL	
CITY OF OTTAWA PIN NUMBER	04115-0304
MUNICIPAL ADDRESS	130 Slater Street
PROPOSED USE	MIXED-USE COMMERCIAL/RESIDENTIAL APARTMENT BUILDING
<b>SITE INFORMATION</b>	
LOT AREA	1563.62 m <sup>2</sup>
LOT FRONTAGE	40.28 m
LOT DEPTH	45.64 m

BUILDING INFORMATION

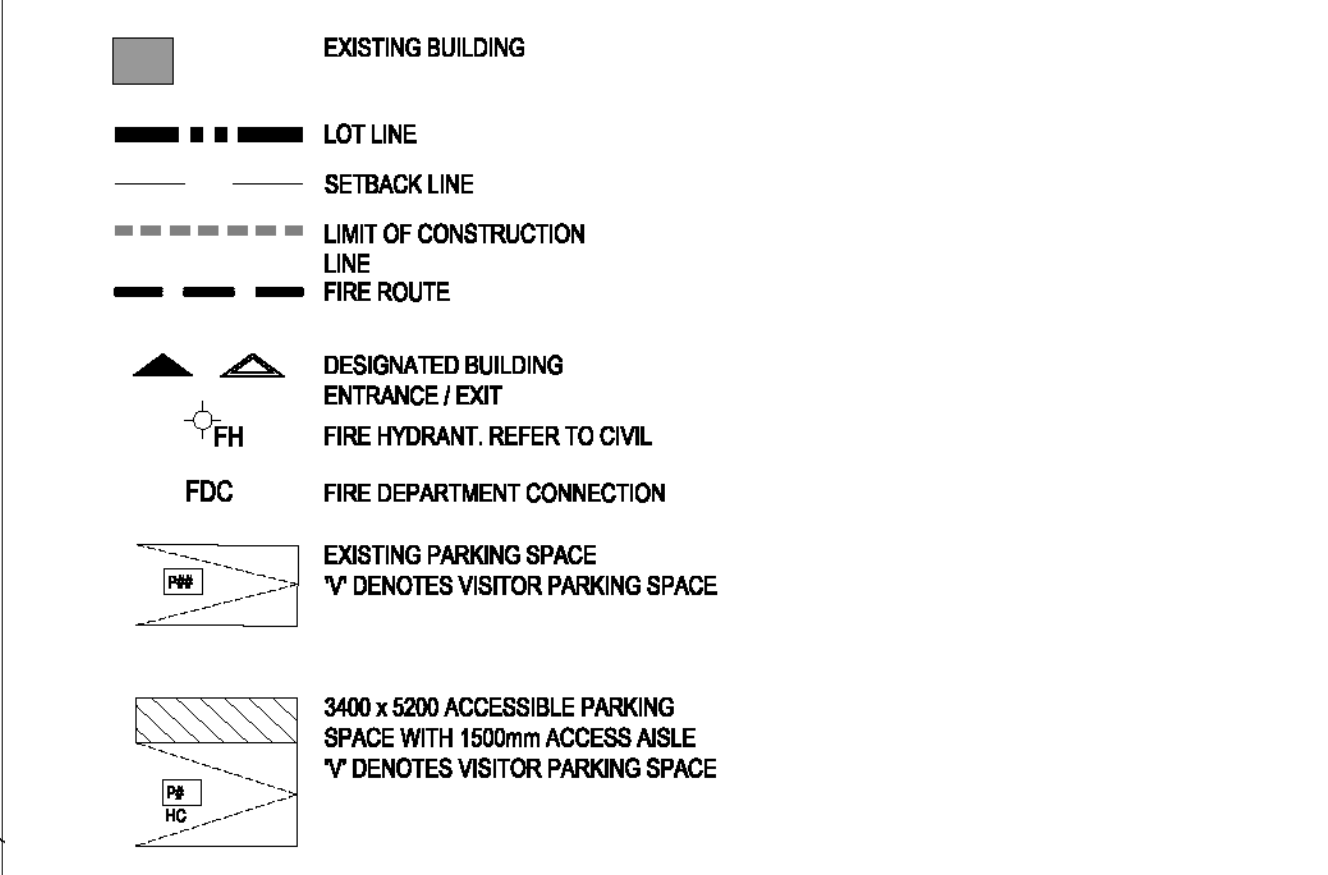
BUILDING AREA	1092 m <sup>2</sup>
GROSS AREA (OBC)	12849 m <sup>2</sup>
GROSS FLOOR AREA	8845.3 m <sup>2</sup>
GROSS FLOOR AREA TO BE CONVERTED FROM OFFICE TO RESIDENTIAL	8537.4 m <sup>2</sup>

TOTAL GFA BREAKDOWN	AREA TYPE	AREA	AMENITY SPACE BREAKDOWN		
			FLOOR LEVEL	INTERIOR	EXTERIOR
AMENITY		1219.5 m <sup>2</sup>			
BIKE PARKING		236.5 m <sup>2</sup>			
CIRCULATION		1712.4 m <sup>2</sup>			
COMMERCIAL		307.9 m <sup>2</sup>			
RESIDENTIAL		8537.4 m <sup>2</sup>			
SERVICE		173.7 m <sup>2</sup>			
EXISTING CIRCULATION		801.7 m <sup>2</sup>			
EXISTING SERVICE		613.4 m <sup>2</sup>			
EXISTING PARKING		632.6 m <sup>2</sup>			
<b>TOTAL</b>		<b>14235.1 m<sup>2</sup></b>	<b>777.8 m<sup>2</sup></b>	<b>124.7 m<sup>2</sup></b>	<b>ALL</b>

UNIT BREAKDOWN		UNIT MIX
LEVEL		
LEVEL 2:	17 UNITS	7x STUDIO, 1x STUDIO BF, 6x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
LEVEL 3:	17 UNITS	6x STUDIO, 1x STUDIO BF, 7x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
LEVEL 4:	17 UNITS	6x STUDIO, 1x STUDIO BF, 7x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
LEVEL 5:	17 UNITS	6x STUDIO, 1x STUDIO BF, 7x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
LEVEL 6:	17 UNITS	6x STUDIO, 1x STUDIO BF, 7x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
LEVEL 7:	17 UNITS	6x STUDIO, 1x STUDIO BF, 7x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
LEVEL 8:	17 UNITS	6x STUDIO, 1x STUDIO BF, 7x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
LEVEL 9:	17 UNITS	6x STUDIO, 1x STUDIO BF, 7x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
LEVEL 10:	17 UNITS	6x STUDIO, 1x STUDIO BF, 7x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
LEVEL 11:	17 UNITS	6x STUDIO, 1x STUDIO BF, 7x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
LEVEL 12:	17 UNITS	6x STUDIO, 1x STUDIO BF, 7x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
LEVEL 13:	17 UNITS	6x STUDIO, 1x STUDIO BF, 7x 1BD, 1x 1BD-DEN BF, 1x 2BD-DEN, 1x 2BD BF
<b>TOTAL:</b>	<b>204 UNITS</b>	<b>73x STUDIO, 12x STUDIO BF, 83x 1BD, 12x 1BD-DEN BF, 12x 2BD-DEN, 12x 2BD BF</b>

ZONING TABLE		
MD S37 (MIXED-USE DOWNTOWN)		
CITY OF OTTAWA ZONING BY-LAW No. 2008-250	REQUIRED	PROPOSED
MINIMUM LOT AREA	NO MINIMUM	+/- 1560m <sup>2</sup> (EXISTING UNCHANGED)
FRONT YARD SETBACK	NO MINIMUM	+/- 0.95m (EXISTING UNCHANGED)
MINIMUM SIDE YARD SETBACK	NO MINIMUM	0m (EXISTING UNCHANGED)
MINIMUM REAR YARD SETBACK	NO MINIMUM	0m (EXISTING UNCHANGED)
MAXIMUM BUILDING HEIGHT	150m ABOVE SEA LEVEL	+/- 48m TO T/O PH (EXISTING)
VEHICLE PARKING REQUIREMENTS (AREA Z, SCHEDULE 1A)	0 SPACES	21 SPACES (18 PARKING GARAGE, 3 ABOVE)
VISITOR PARKING REQUIREMENTS (AREA Z, SCHEDULE 1A)	0.1 / UNIT, EXCLUDING THE FIRST 12 UNITS = 19 SPACES	19 SPACES (ALL ABOVE GRADE)
AMENITY AREA REQUIREMENTS	8m <sup>2</sup> PER UNIT x 204 UNITS = 1224 m <sup>2</sup>	TOTAL = 1344.3 m <sup>2</sup>
BICYCLE PARKING SPACES	0.5 PER UNIT = 102 SPACES	285 SPACES

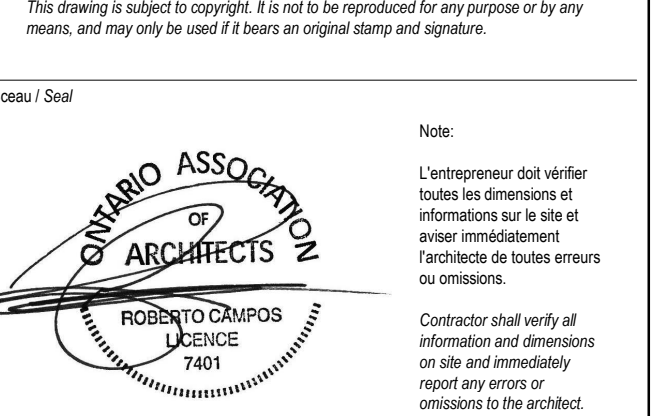
LEGEND



No.	Date	Émis pour / Object
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1 2024.05.02 PHASE 3 PRE-CONSULT - SPC  
2 2024.06.04 PHASE 3 PRE-CONSULT RESUBMISSION - SPC

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13 STOREY APARTMENT BUILDING CONVERSION

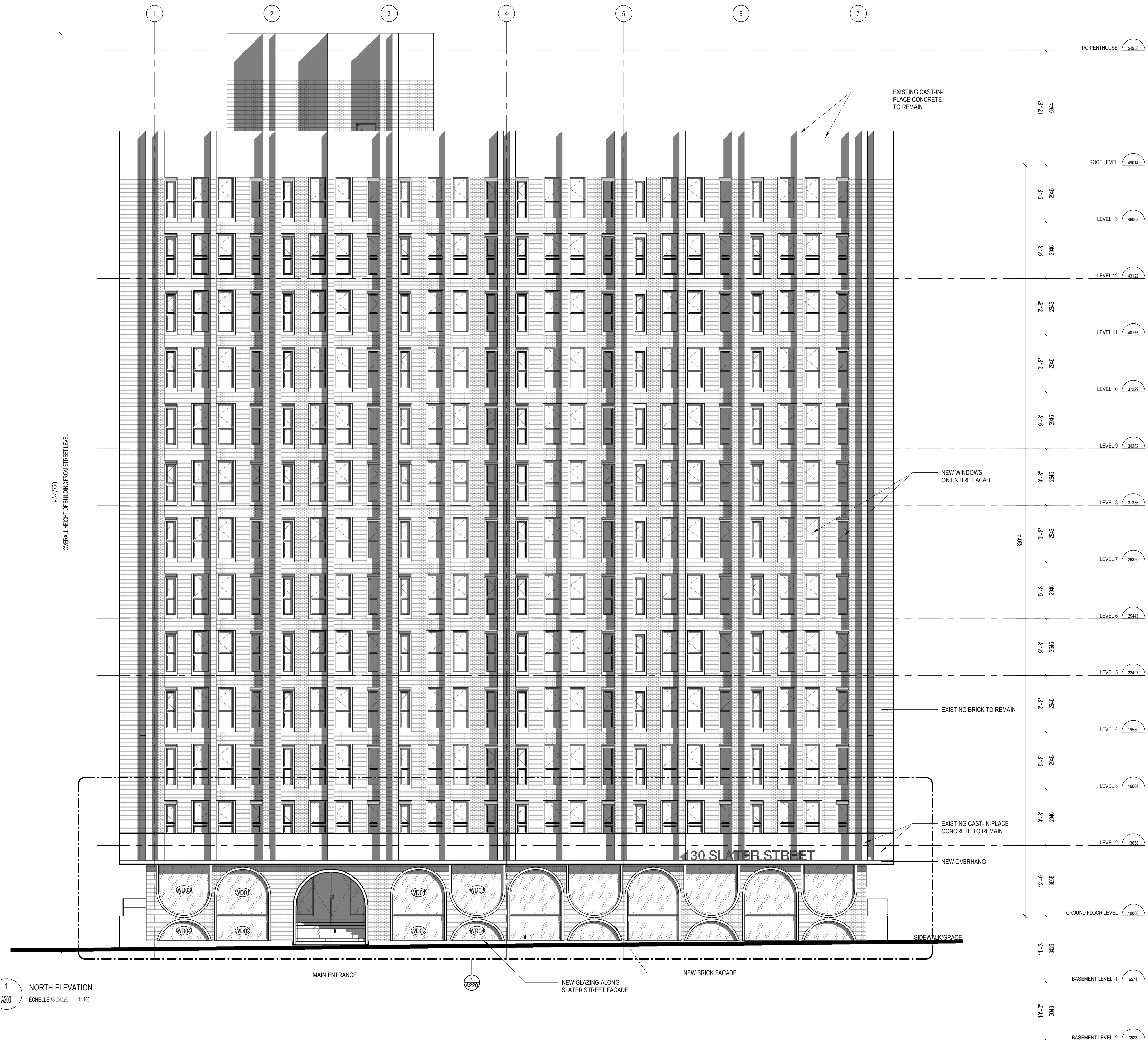
130 SLATER ST OTTAWA, ON K1P 6E2

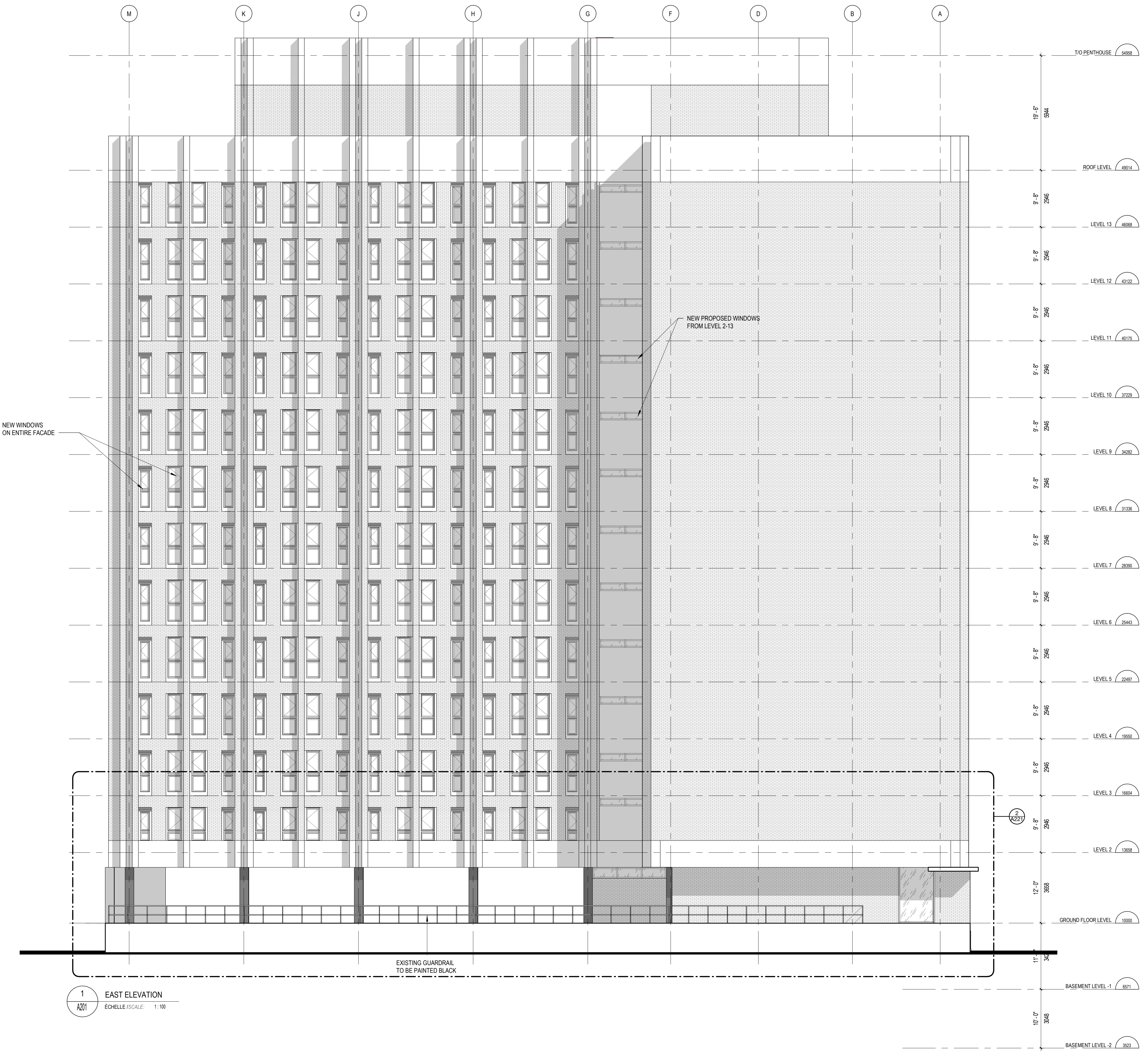
SITE PLAN

1:250

06/04/2024

A006





No. Date Émis pour / Object

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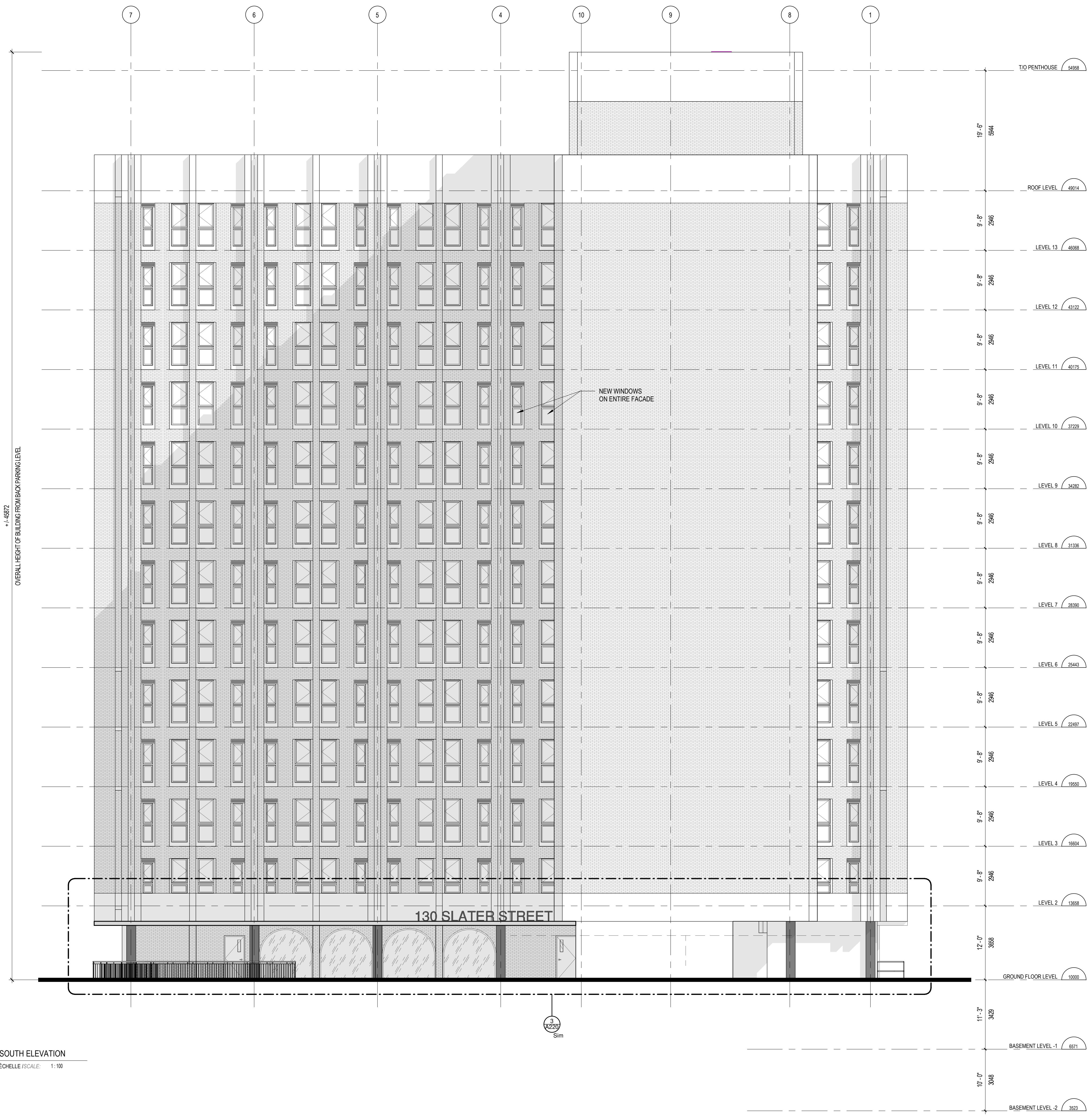
Project / Project  
**13 STOREY APARTMENT  
BUILDING CONVERSION**  
 130 SLATER ST  
 OTTAWA, ON  
 K1P 6E2

Titre / Title  
**EXTERIOR ELEVATIONS - EAST**

Dessiné par / Drawn by No. projet / Project number  
 KJ, AM, SF 2332  
 Vérifié par / Verified by No. dessin / Drawing number Révision / Revision  
 RC  
 Echelle / Scale  
 1 : 100

Date de création du dessin / Drawing creation date  
 06/04/2024

**A201**



1 SOUTH ELEVATION  
 A202 ECHELLE / SCALE: 1:100

No. Date Émis pour / Object

- 2024.05.02 PHASE 3 PRE-CONSULT - SPC
- 2024.06.04 PHASE 3 PRE-CONSULT RESUBMISSION - SPC

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Project / Project

**13 STOREY APARTMENT  
 BUILDING CONVERSION**

130 SLATER ST  
 OTTAWA, ON  
 K1P 6E2

Titre / Title

**EXTERIOR ELEVATIONS - SOUTH**

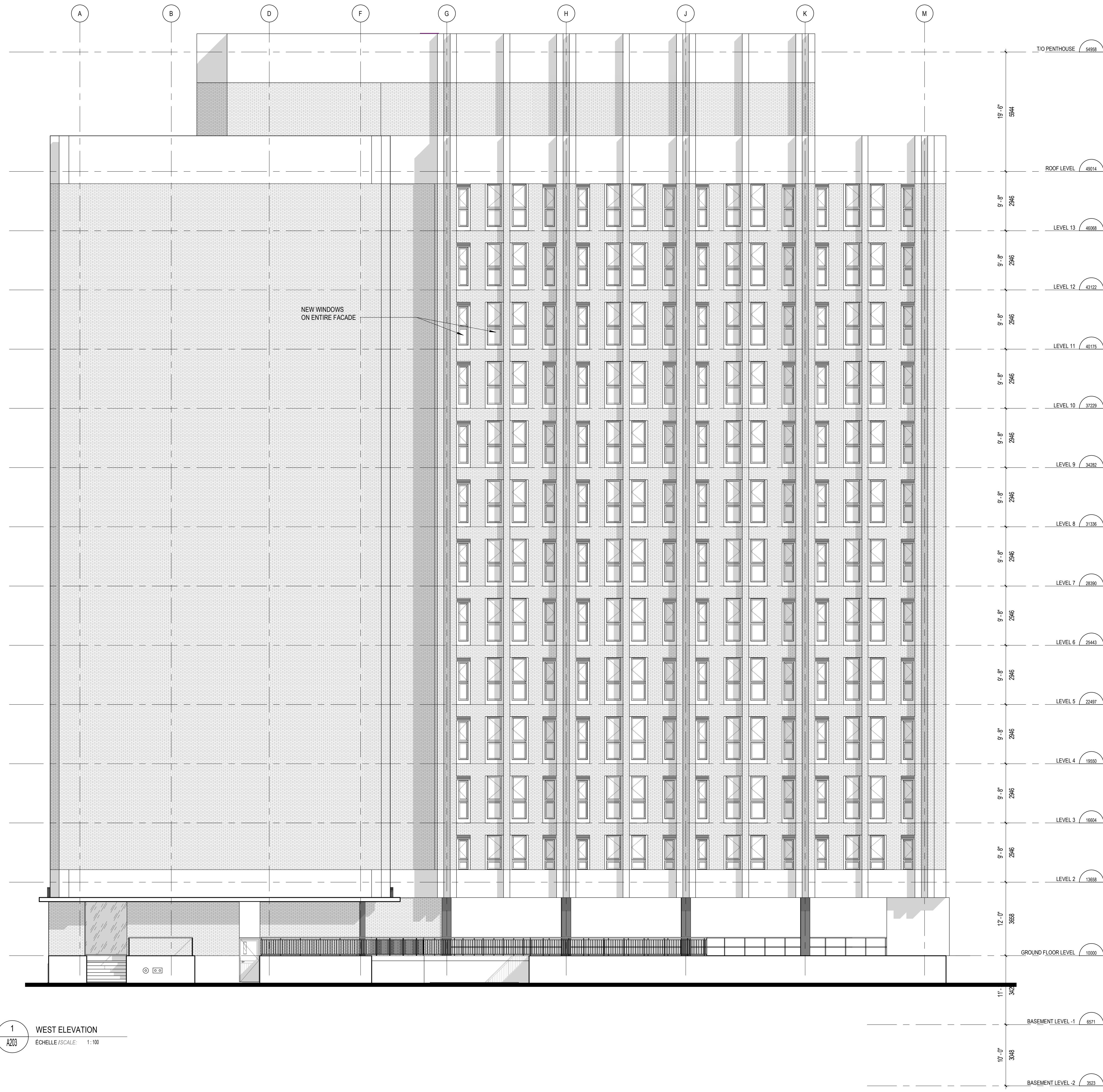
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Echelle / Scale  
 1:100

Date de création du dessin / Drawing creation date  
 06/04/2024

**A202**



1 WEST ELEVATION  
 A203 ECHELLE / SCALE: 1:100

No.	Date	Émis pour / Object
1	2024.05.02	PHASE 3 PRE-CONSULT - SPC
2	2024.06.04	PHASE 3 PRE-CONSULT RESUBMISSION - SPC

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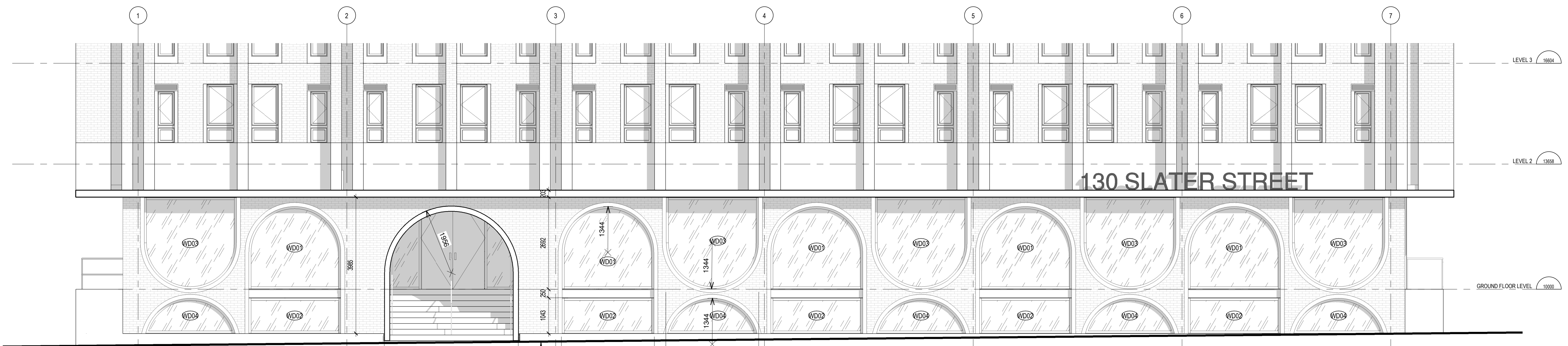
Projet / Project  
**13 STOREY APARTMENT  
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 130 SLATER ST  
 OTTAWA, ON  
 K1P 6E2

Titre / Title  
**EXTERIOR ELEVATIONS - WEST**

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Echelle / Scale 1:100		

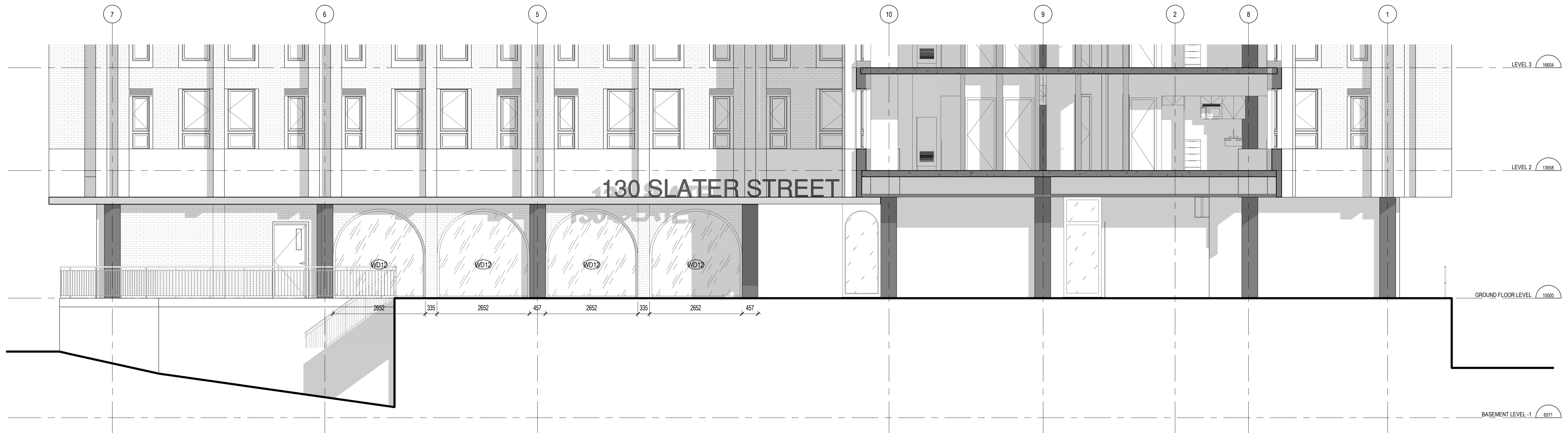
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 06/04/2024

**A203**



130 SLATER STREET

1 ENLARGED ELEVATION - NORTH  
A220 ÉCHELLE / SCALE: 1:60



130 SLATER STREET

3 ENLARGED ELEVATION - SOUTH  
A220 ÉCHELLE / SCALE: 1:60

No. Date Émis pour / Object

- 1 2024.05.02 PHASE 3 PRE-CONSULT - SPC
- 2 2024.06.04 PHASE 3 PRE-CONSULT RESUBMISSION - SPC

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Projet / Project

**13 STOREY APARTMENT  
BUILDING CONVERSION**

130 SLATER ST  
OTTAWA, ON  
K1P 6E2

Titre / Title

ENLARGED EXTERIOR ELEVATIONS

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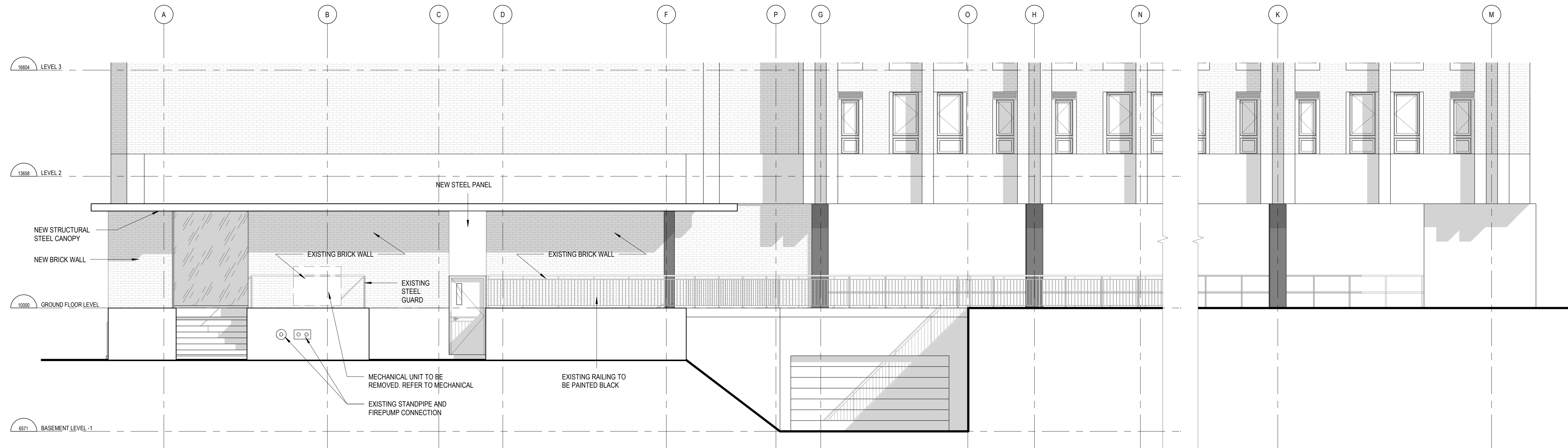
Échelle / Scale

1:60

Date de création du dessin / Drawing creation date

06/04/2024

**A220**



1 ENLARGED ELEVATION - WEST  
ÉCHELLE / SCALE: 1:60



2 ENLARGED ELEVATION - EAST  
ÉCHELLE / SCALE: 1:60

No. Date Émis pour / Object

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ROBERTO RAMOS  
L'ESCRIBE  
7401

PROFESSIONAL ARCHITECT

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Project / Project

13 STOREY APARTMENT  
BUILDING CONVERSION

130 SLATER ST  
OTTAWA, ON  
K1P 6E2

Title / Title

ENLARGED EXTERIOR ELEVATIONS

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1:60

Échelle / Scale

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A221