

NOTES

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and omissions to the Architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed by the Architect.

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LEGAL DESCRIPTION

LOTS 559, 560 AND 561 AND PART OF LOTS 579, 580 AND 581 AND PART OF LANE (Closed by Judge's Order Inst. GL52533) REGISTERED PLAN 326 CITY OF OTTAWA AS PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD.

- GENERAL NOTES**
- DRAWING SP01 TO BE READ IN CONJUNCTION WITH GRADING AND DRAINAGE PLAN, SITE SERVICES PLAN AND CIVIL ENGINEERING DRWGS PREPARED BY D.B. GRAY ENGINEERING INC. DRWG C-1 TO 8
 - DRAWING SP01 TO BE READ IN CONJUNCTION WITH LANDSCAPE PLAN L1 PREPARED BY JAMES B. LENNOX & ASSOCIATES, LANDSCAPE ARCHITECTS
 - ALL SNOW TO BE REMOVED FROM SITE AFTER EACH SIGNIFICANT SNOW FALL

- DRAWING NOTES**
- NEW PRIVATE APPROACH WITH PLANTER
 - NEW DEPRESSED CURB
 - NEW CONCRETE SIDEWALK
 - EXISTING CONCRETE SIDEWALK
 - PRECAST CONCRETE UNIT PAVERS
 - PRECAST CONCRETE PAVER UNITS.
 - TYPICAL PARKING SPACE (2600X5200)
 - 100mm PAINT LINES, TYPICAL
 - BIKE RACKS
 - 150mm CONCRETE CURBS
 - ASPHALT PAVING
 - 1.8m SOLID BOARD FENCE
 - LINE OF BUILDING ABOVE SHOWN DOTTED
 - OUTLINE OF BASEMENT BELOW/UNDERGROUND PARKING BELOW
 - WATERPROOF TERRACE ABOVE BASEMENT
 - BARRIER FREE RAMP
 - PRECAST CONCRETE STAIRS
 - HYDRANT
 - PRECAST RETAINING WALL SYSTEM
 - 1.8m HIGH OPAQUE WOOD FENCE
 - OUTLINE OF BALCONY ABOVE
 - OUTLINE OF ENTRANCE CANOPY ABOVE
 - OUTLINE OF PICNIC TABLE

- LEGEND**
- PROPERTY LINE
 - BOARD FENCE
 - PERSON DOOR
 - O/H DOOR
 - PROPOSED PRECAST CONCRETE UNIT PAVERS
 - PROPOSED TIMBER TECH TERRACE
 - CONCRETE
 - FIRE HYDRANT
 - TERRACE DRAIN
 - CATCH BASIN
 - PROPOSED DECIDUOUS TREE
 - HYDRO LINES
 - EXISTING TREE TO REMAIN
 - PROPOSED SHRUB/ORNAMENTAL GRASSES

| NO | DATE | REVISION |
|----|------------|----------------------------|
| 9 | 01/31/2025 | REVISIONS FOR SPA |
| 8 | 01/06/2025 | ISSUED FOR PERMIT REVISION |
| 7 | 12/20/2024 | GENERAL REVISIONS |
| 6 | 11/14/2024 | REVISIONS FOR SPA |
| 5 | 11/08/2024 | REVISIONS FOR SPA |
| 4 | 11/05/2024 | REVISIONS FOR SPA |
| 3 | 08/13/2024 | ISSUED FOR PERMIT R1 |
| 2 | 07/31/2024 | ISSUED FOR PERMIT |
| 1 | 05/09/2024 | ISSUED FOR SPA |

CLIENT: **V.I.P. CONSTRUCTION AND ENGINEERING**

Stamp: **Engineers who build**

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PROJECT

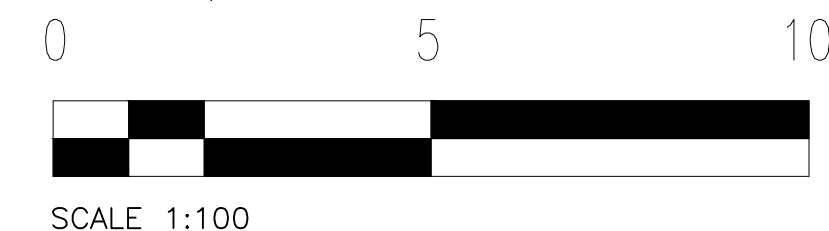
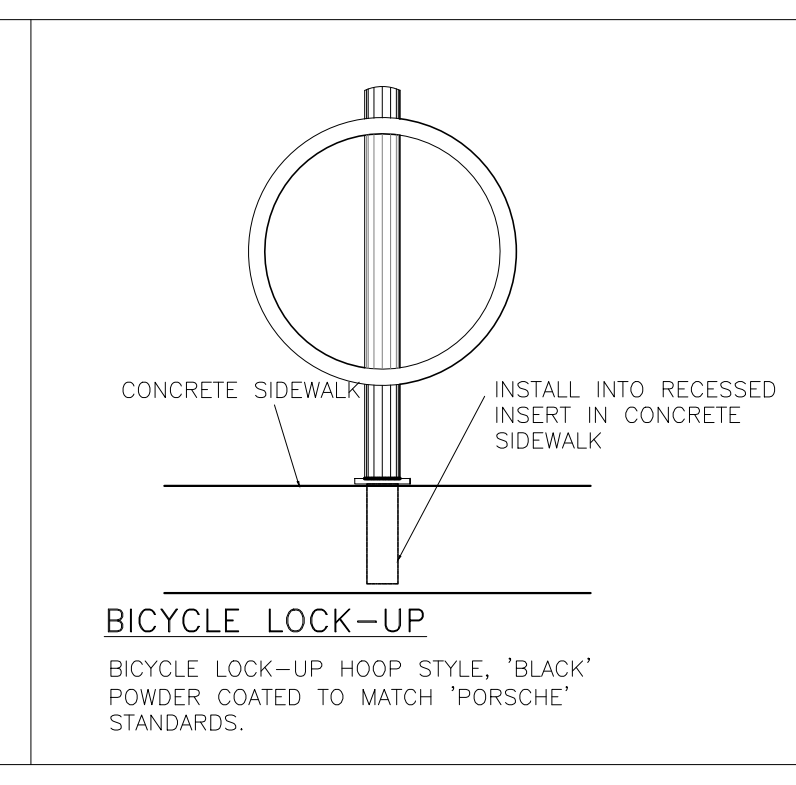
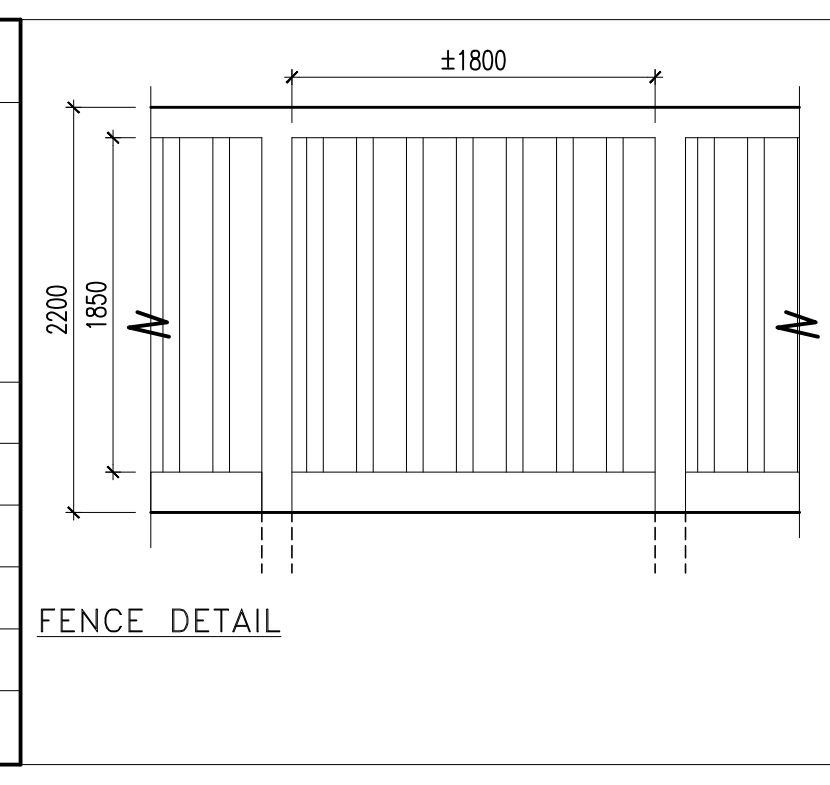
2928 BANK STREET APARTMENT BUILDING

OTTAWA ONTARIO

SITE PLAN

| | | |
|------------------|-----------------|-------------------------|
| PROJECT NO. 2210 | DRAWN BY: DP | SCALE: 1:100 |
| NORTH ARROW: | DATE: MAR. 2024 | DRAWING NO. SP01 |

| AM2 H(30) | REQUIRED | PROVIDED | NOTES | AM2 H(30) | REQUIRED | PROVIDED | NOTES | AM2 H(30) | REQUIRED | PROVIDED | NOTES |
|----------------------------|------------|-----------------------|-------|------------------------------------|-------------------------------------------------------|------------------------------|-------|-----------------------|----------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|
| MINIMUM LOT AREA | N/A | 1307.22M ² | | MINIMUM WIDTH OF LANDSCAPED BUFFER | 3M ABUTTING A STREET 1.5 NOT ABUTTING A STREET | 1.6M | | AMENITY SPACE | 6M ² PER UNIT, 50% COMMUNAL, AGGREGATED MINIMUM AREA OF 54 M ² = 150 M ² (75 M ² COMMUNAL) | INDOOR COMMUNAL AMENITY = 55M ² OUTDOOR AMENITY = 51.6 M ² TOTAL COMMUNAL: 106.6 M ² BALCONIES = 113.4 M ² TOTAL 220M ² | TOTAL 220M ² |
| FRONT YARD | 3M MINIMUM | 3M | | PARKING REQUIREMENTS (RESIDENT) | AREA C (SUBURBAN) = 1.2 SPACES PER DWELLING UNIT = 30 | | MV | TOTAL BUILDING AREA | | 2,451.1 M ² | |
| CORNER SIDE YARD | 3M MINIMUM | 5.2M | | PARKING REQUIREMENTS (VISITOR) | AREA C (SUBURBAN) = 0.2 SPACES PER DWELLING UNIT = 5 | | | BASEMENT AREA | | 621.78 M ² | |
| MINIMUM INTERIOR SIDE YARD | NONE | 2.8M | | BICYCLE PARKING SPACES | 0.5 SPACES PER UNIT = 14 | 30 (7 EXTERIOR, 23 INTERIOR) | | GROUND FLOOR | | 518.65 M ² | |
| MINIMUM REAR YARD | 7.5M | 6.65M | MV | | | | | TYPICAL FLOOR (3 FLR) | | 1,932.45 M ² | |
| MAXIMUM BUILDING HEIGHT | 30M | 14.0M | | | | | | UNIT QUANTITY | GROUND | 4 UNITS, 2-2 BDRM, 2-1 BDRM | |
| | | | | | | | | | TYPICAL FLR (3 FLR) | 7 UNITS, 5-2 BDRM, 2-1 BDRM | |



D07-12-24-0050