

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN KEYNOTES:

- OTTAWA HYDRO SETBACK / CLEARANCES
- PROPOSED RETAINING WALL
- EXISTING HYDRO TRANSFORMER ON CONCRETE PAD
- PLAYGROUND AREA
- SNOW STORAGE
- NEW LANDSCAPE STAIR
- NOT IN USE
- BOLLARDS ALONG PROPOSED WOONERF, TYP.
- EASEMENT
- PARKING GARAGE SIGNAL
- DEPRESSED CURB
- EXISTING (NONCOMPLIANT) BIKE RACKS TO REMAIN. EXISTING RACKS NOT INCLUDED IN NEW BIKE PARKING COUNT
- NOT IN USE
- AREA DRAIN. REFER TO CIVIL DOCUMENTS

SITE PLAN LEGEND:

- EXISTING BUILDING (NOT IN SCOPE)
- FIRE ACCESS ROUTE
- EXTENT OF EASEMENT
- ASPHALT PAVING - NEW
- ASPHALT PAVING - EXISTING
- CONCRETE SIDEWALK - NEW
- CONCRETE SIDEWALK - EXISTING
- GRASS - NEW
- GRASS - EXISTING
- PAVER TYPE 1 - NEW
- CONCRETE PAD

- EMERGENCY EXIT
- SERVICE DOORS
- GROUND LEVEL SUITE ENTRANCE
- BUILDING MAIN ENTRANCE (PRINCIPAL FIRE FIGHTING ENTRANCE)
- PROPERTY LINE / EASEMENT

- FENCE PER LANDSCAPE
- NEW DOMESTIC WATER
- NEW SANITARY
- NEW STORM
- NEW ELECTRICAL SERVICE (BELOW GRADE)
- GAS

- CATCH BASIN
- CATCH BASIN EXISTING
- LIGHT STANDARD
- LIGHT STANDARD EXISTING
- FIRE HYDRANT
- FIRE HYDRANT EXISTING
- MANHOLE
- MANHOLE EXISTING
- UTILITY POLE
- UTILITY POLE EXISTING
- SIAMESE CONNECTION
- DROPPED CURB

STAMP

3	2024-10-08	Issued for SPC
2	2024-07-15	Issued for SPC
1	2024-07-19	Issued for 66%

REV DATE ISSUE

NOTES

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CLIENT

**BETTER LIVING CO-OPERATIVE**  
OTTAWA  
ONTARIO, CANADA

PROJECT

**BLOCK 3 REDEVELOPMENT**

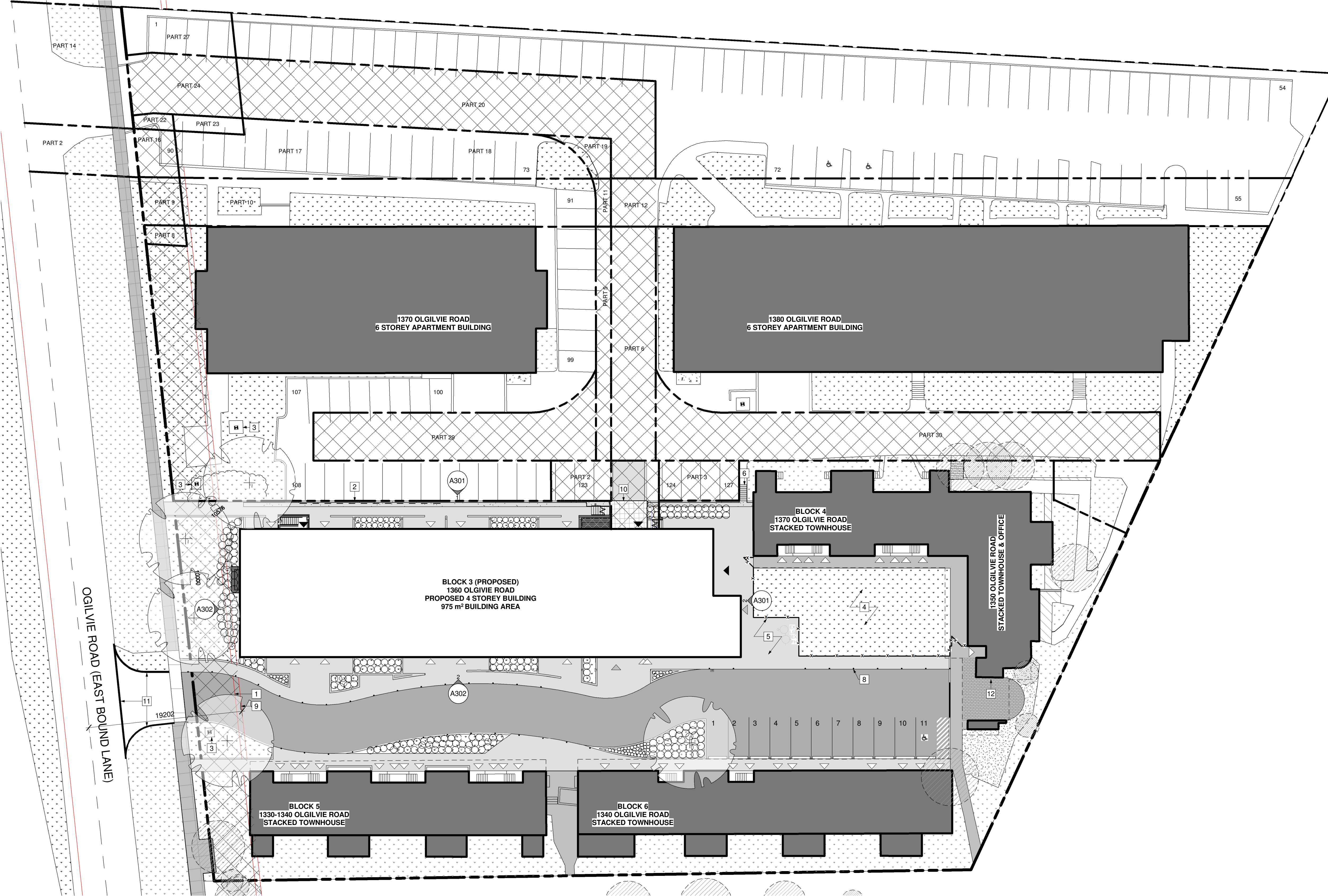
1360 OGLIVIE ROAD  
GLOUCESTER, ON K1J 9M6

TITLE

**OVERALL SITE PLAN**

PROJECT NO: 2022-2040  
DRAWN: KM  
APPROVED: PM  
SCALE: As indicated  
DATE PRINTED: 2024-10-09 5:01:27 PM

REV DRAWING NO.  
**3** **A100**



DEVELOPMENT INFO		ZONING INFO		REQUIRED		PROVIDED	
LEGAL DESCRIPTION	BLOCKS C, D, AND L REGISTERED PLAN 4M-172 CITY OF OTTAWA	MIN. LOT WIDTH	No minimum	47.68m	ZONING PROVISION	REQUIRED	PROVIDED
REFERENCE SURVEY	BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED JULY 5, 2023	MIN. LOT AREA	No minimum	5367m²	GROUND FACADE ACTIVATION	REQUIRED	PROVIDED
MUNICIPAL ADDRESS	1360 OGLIVIE RD, OTTAWA, ON K1J 9M6	MIN. FRONT YARD SETBACK	Minimum: 0m	6.1m	MINIMUM GLAZING OF GROUND FLOOR FACADE	REQUIRED	PROVIDED
SITE AREA	12,912m²	MIN. INTERIOR SIDE YARD SETBACK	No minimum	N/A			
BUILDING AREA	975m²	MIN. REAR YARD SETBACK	7.5m	N/A			
GROSS FLOOR AREA	3,900m²	MAX. HEIGHT	40m	14.15m			
BUILDING HEIGHT	14.15m, 4 STOREYS	AMENITY AREA	468m²	552m²			
ZONE	AM10 H(40)	LANDSCAPED AREA	no minimum	349.5m²			
					AMENITY BREAKDOWN		
					Ground Floor Amenity:	83m²	
					Balconies:	227m²	
					Playground:	242m²	

ACCOMMODATIONS LEGEND						
DWELLING UNIT TYPE	3(NEW)	4	5	6	TOTAL	
1-BEDROOM	26				26	
2-BEDROOM	4	7	6	6	23	
3-BEDROOM	9	7	6	4	26	
4-BEDROOM				1	1	
5-BEDROOM				1	1	
1-B(SENIOR)					0	
2-B(SENIOR)					0	
TOTAL	39	14	12	13	78	

PARKING LEGEND						
DWELLING UNIT TYPE	3(NEW)	4	5	6	TOTAL	TOTAL REQUIRED
APARTMENT (1.2)	39				39	47
STACKED (1.2)	0	14	12	13	39	47
VISITOR PARKING (0.2)						16
						109
						total: 43

AMENITY LEGEND						
DWELLING UNITS	3(NEW)	4	5	6	TOTAL	TOTAL REQUIRED
	39	14	12	13	78	468
						552

NOTES:  
1. PARKING FIGURES IN TABLE REFLECT BLC SITE ONLY  
2. TOTAL SITE PARKING(INCLUDING BLC SITE): 170 SPACES

STAMP

REV DATE	ISSUE
4 2024-10-08	Issued for SPC
3 2024-10-07	Issued for Coordination
2 2024-07-15	Issued for SPC
1 2024-07-19	Issued for 66%

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CLIENT  
**BETTER LIVING  
 CO-OPERATIVE**  
 OTTAWA  
 ONTARIO, CANADA

PROJECT  
**BLOCK 3  
 REDEVELOPMENT**  
 1360 OGLIVIE ROAD  
 GLOUCESTER, ON K1J 9M6  
 TITLE

**PROPOSED SITE PLAN**  
 PROJECT NO: 2022-2040  
 DRAWN: KM  
 APPROVED: PM  
 SCALE: 1:200  
 DATE PRINTED: 2024-10-09 5:01:30 PM

SITE PLAN GENERAL NOTES:

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SITE PLAN KEYNOTES:

- 1 OTTAWA HYDRO SETBACK / CLEARANCES
- 2 PROPOSED RETAINING WALL
- 3 EXISTING HYDRO TRANSFORMER ON CONCRETE PAD
- 4 PLAYGROUND AREA
- 5 SNOW STORAGE
- 6 NEW LANDSCAPE STAIR
- 7 NOT IN USE
- 8 BOLLARDS ALONG PROPOSED WOONERF, TYP.
- 9 EASEMENT
- 10 PARKING GARAGE SIGNAL
- 11 DEPRESSED CURB
- 12 EXISTING (NONCOMPLIANT) BIKE RACKS TO REMAIN. EXISTING RACKS NOT INCLUDED IN NEW BIKE PARKING COUNT
- 13 NOT IN USE
- 14 AREA DRAIN. REFER TO CIVIL DOCUMENTS

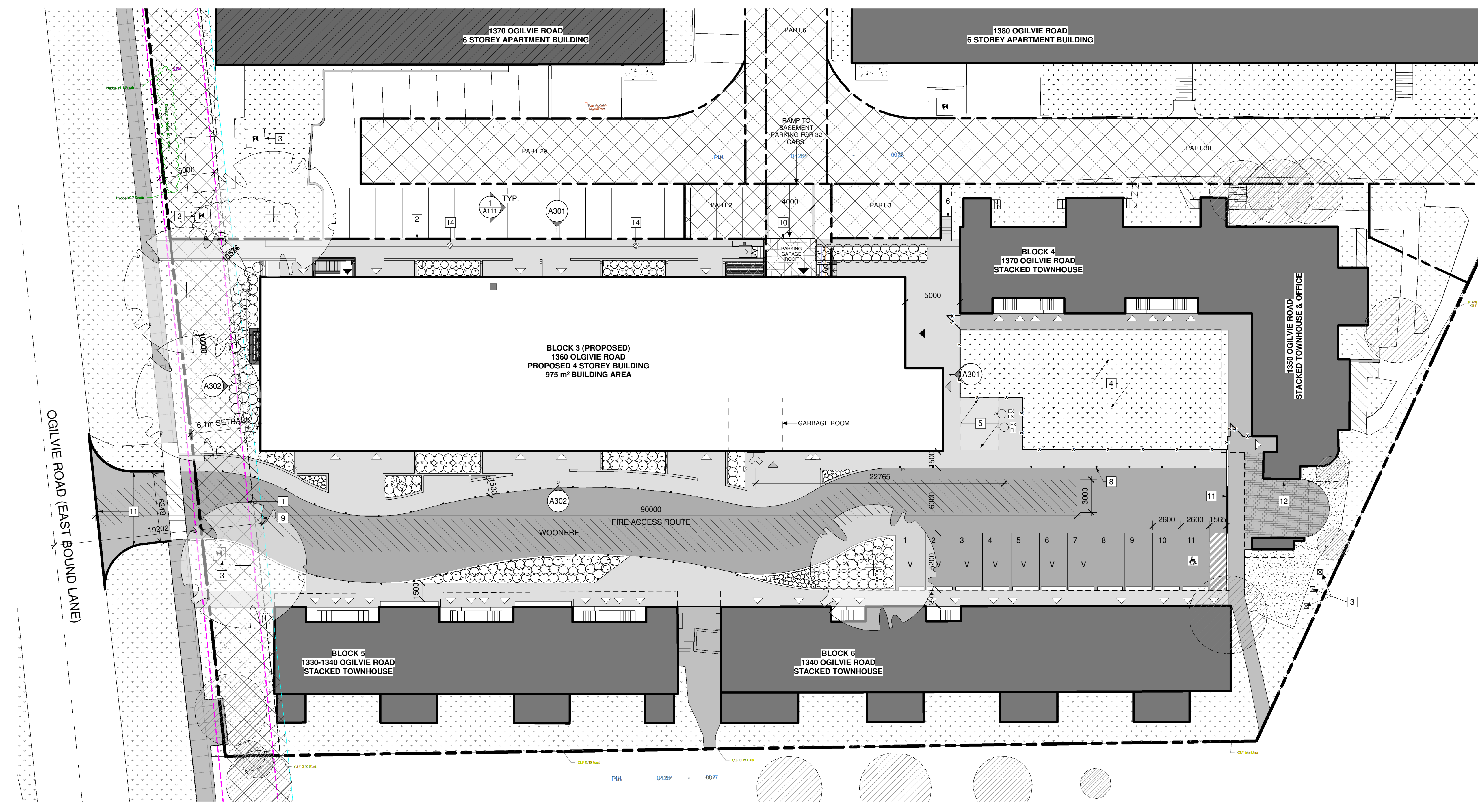
SITE PLAN LEGEND:

- EXISTING BUILDING (NOT IN SCOPE)
- FIRE ACCESS ROUTE
- EXTENT OF EASEMENT
- ASPHALT PAVING - NEW
- ASPHALT PAVING - EXISTING
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- CONCRETE SIDEWALK - EXISTING
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- GRASS - EXISTING
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- CONCRETE PAD

- EMERGENCY EXIT
- SERVICE DOORS
- GROUND LEVEL SUITE ENTRANCE
- BUILDING MAIN ENTRANCE (PRINCIPAL FIRE FIGHTING ENTRANCE)
- PROPERTY LINE / EASEMENT

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- NEW DOMESTIC WATER
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- UTILITY POLE EXISTING
- SIAMESE CONNECTION
- DROPPED CURB



1 PROPOSED SITE PLAN  
A110 1:200

DEVELOPMENT INFO
LEGAL DESCRIPTION
BLOCKS C, D, AND L REGISTERED PLAN 4M-172 CITY OF OTTAWA
REFERENCE SURVEY
BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN VOLLEBECK LTD. DATED JULY 5, 2023
MUNICIPAL ADDRESS
1360 OGLIVIE RD, OTTAWA, ON K1J 9M6
SITE AREA
12,912m <sup>2</sup>
BUILDING AREA
975m <sup>2</sup>
GROSS FLOOR AREA
3,900m <sup>2</sup>
BUILDING HEIGHT
14.15m, 4 STOREYS
ZONE
AM10 H(40)

ZONING INFO	REQUIRED	PROVIDED
MIN. LOT WIDTH	No minimum	47.68m
MIN. LOT AREA	No minimum	5367m <sup>2</sup>
MIN. FRONT YARD SETBACK	Minimum: 0m	6.1m
MIN. INTERIOR SIDE YARD SETBACK	No minimum	N/A
MIN. REAR YARD SETBACK	7.5m	N/A
MAX. HEIGHT	40m	14.15m
AMENITY AREA	468m <sup>2</sup>	552m <sup>2</sup>
LANDSCAPED AREA	no minimum	349.5m <sup>2</sup>

ZONING PROVISION	REQUIRED	PROVIDED
GROUND FACADE ACTIVATION	The ground floor facade facing a public street of a building located within 4.5 m of the front lot line must include: a minimum of one active entrance from each individual occupancy located immediately adjacent to the front lot line	Building is located within 6.1m of the front lot line. No active entrances face Ogilvie Rd.
MINIMUM GLAZING OF GROUND FLOOR FACADE	50% of the surface area of the ground floor facade facing Ogilvie, from the average grade up 4.5 metres, must be comprised of transparent glazing and active customer or resident entrance access doors	7.7 m <sup>2</sup> / 72m <sup>2</sup> = 10.7% glazing

PARKING QUEING + LOADING	REQUIRED	PROVIDED
RESIDENTIAL SPACES	94	43
VISITOR SPACES	16	7
ACCESSIBLE PARKING	-	3
BICYCLE PARKING	-	39
DRIVEWAY WIDTH	3m @ single traffic lane 6m @ double traffic lane	4m for single traffic lane, driveway to parking garage 6m for double traffic lane, parking lot

DWELLING UNIT TYPE	BLOCK					TOTAL
	3(NEW)	4	5	6	1	
1-BEDROOM	26				1	27
2-BEDROOM	4	7	6	6	23	39
3-BEDROOM	9	7	6	4	26	26
4-BEDROOM					1	1
5-BEDROOM					1	1
1-B(SENIOR)						0
2-B(SENIOR)						0
TOTAL	39	14	12	13	78	78

NOTES:  
 1. PARKING FIGURES IN TABLE REFLECT BLC SITE ONLY  
 2. TOTAL SITE PARKING (INCLUDING BLC SITE): 170 SPACES

DWELLING UNIT TYPE	BLOCK					TOTAL REQUIRED PARKING	TOTAL PARKING PROVIDED
	3(NEW)	4	5	6	TOTAL		
APARTMENT (1.2)	39				39	47	47
STACKED (1.2)	0	14	12	13	39	47	36
VISITOR PARKING (0.2)						16	7
TOTAL						109	total: 43

DWELLING UNITS	BLOCK					TOTAL	TOTAL REQUIRED AMENITY SPACE (m <sup>2</sup> )	TOTAL AMENITY SPACE PROVIDED (m <sup>2</sup> )
	3(NEW)	4	5	6	TOTAL			
	39	14	12	13	78	468	552	

STRUCTURAL ENGINEER  
Cunliffe & Associates  
200, 1550 Carling Avenue  
Ottawa, Ontario K1Z 8S8  
613-729-7242  
cunliffe@cunliffe.ca

MECHANICAL AND ELECTRICAL  
ENGINEER  
Chorley + Bisset Consulting Engineers  
250 City Centre Avenue  
Ottawa, Ontario K1R 6K7  
613-241-0030  
email@chorley.com

LANDSCAPE ARCHITECT  
James B. Leinnox & Associates  
3332 Carling Avenue  
Ottawa, Ontario K2H 5A8  
613-722-5168

CIVIL ENGINEER  
name  
address  
phone  
email

CIVIL ENGINEERS  
McIntosh Perry  
115 Walgreen Road  
Carp, Ontario  
613-836-2184  
info@mcintoshperry.com

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1 2024-10-08 Issued for SPC  
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CLIENT

**BETTER LIVING  
CO-OPERATIVE**  
OTTAWA  
ONTARIO, CANADA

PROJECT

**BLOCK 3  
REDEVELOPMENT**

1360 OGILVIE ROAD  
GLOUCESTER, ON K1J 9M6

TITLE

**SITE DETAILS**

PROJECT NO: 2022-2040  
DRAWN: DF  
APPROVED: DH  
SCALE: 1 : 25  
DATE PRINTED: 2024-10-09 5:01:32 PM

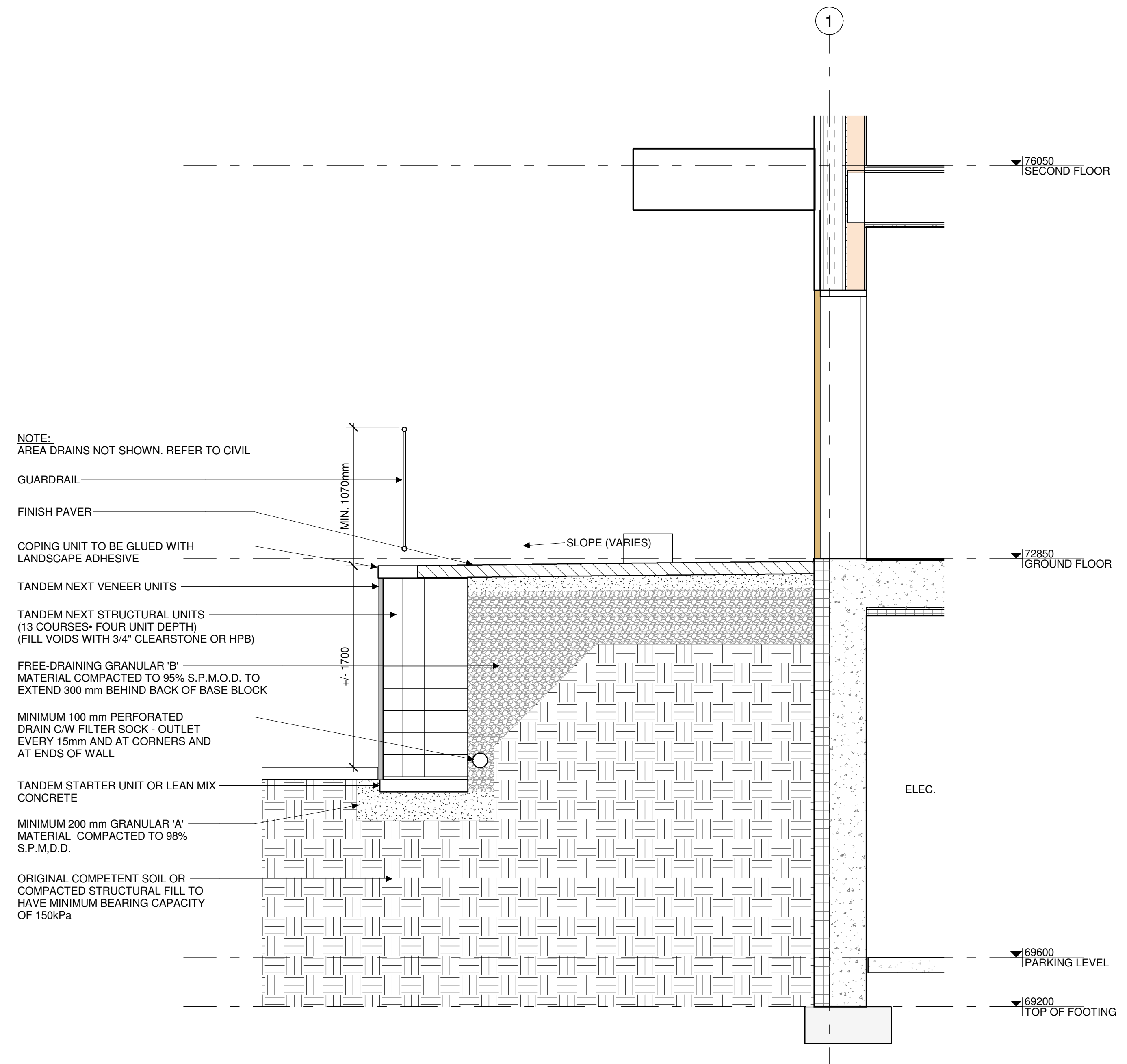
REV DRAWING NO.

1

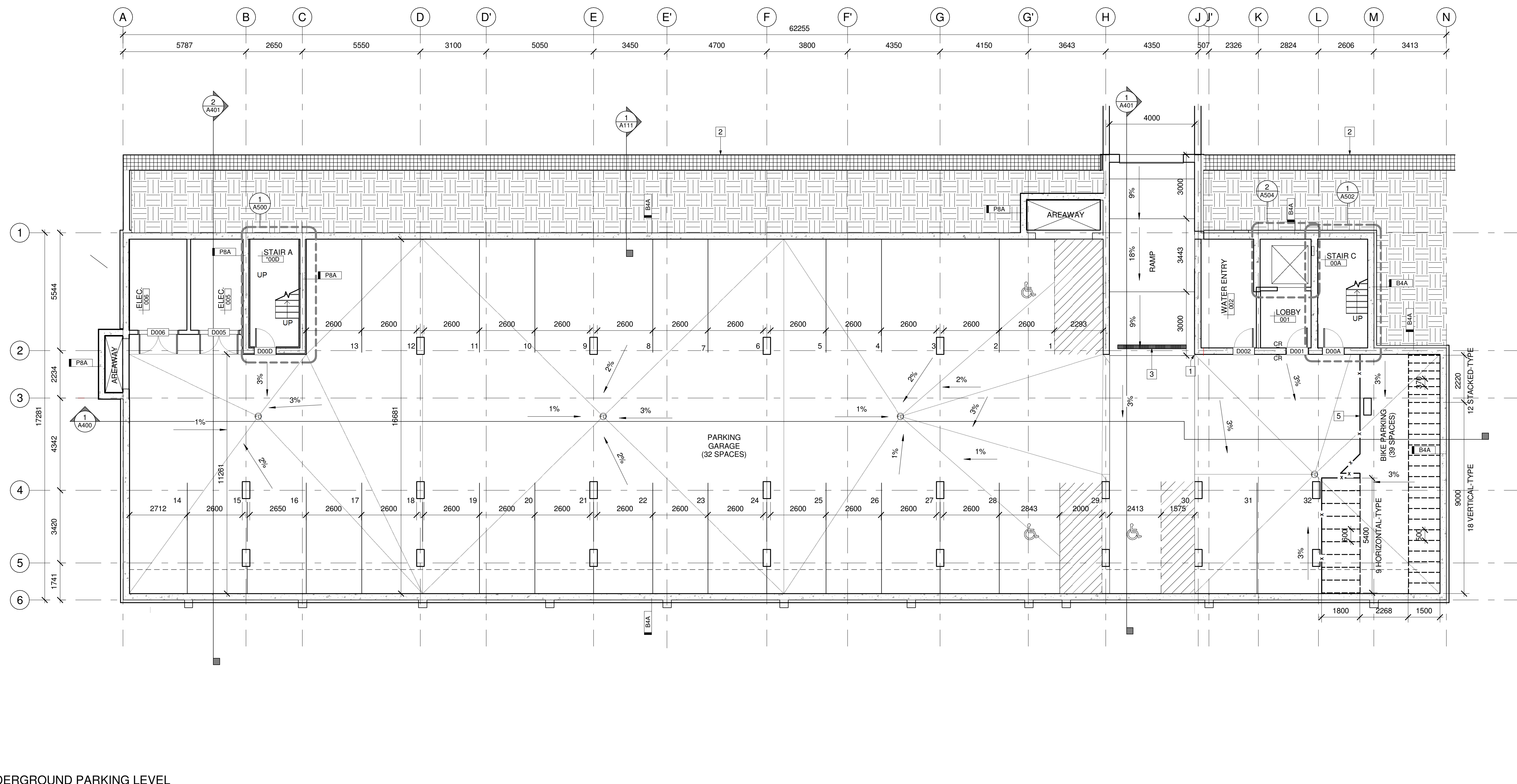
A111

D07-19-24-0061

19156



**1** RETAINING WALL SECTION @ GL 1  
A111 1 : 25



**1 UNDERGROUND PARKING LEVEL**  
A200 1:100

**GENERAL REFERENCE PLAN NOTES:**

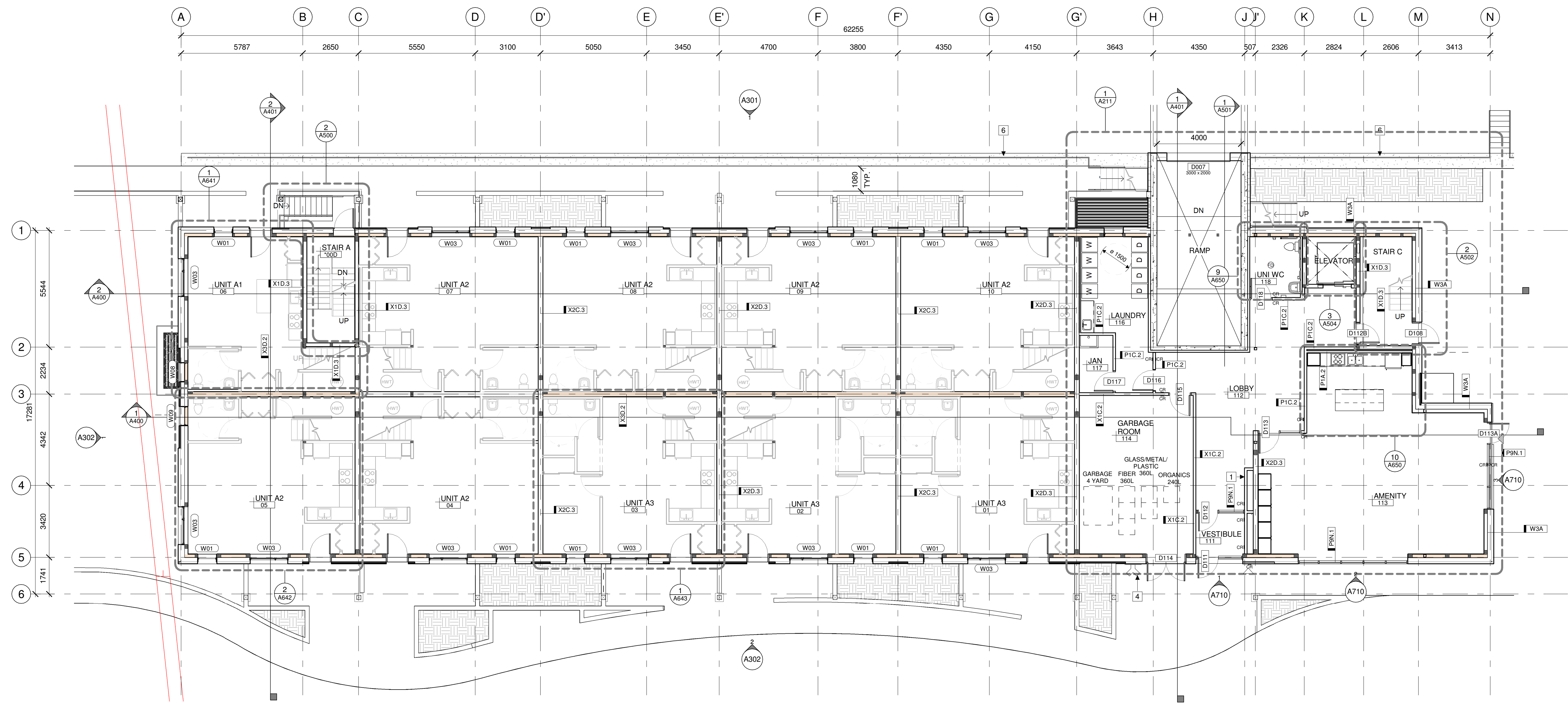
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2. ALL DOOR DIMENSIONS ARE TO THE CENTRE OR INSIDE OF FRAME.
3. ALL WINDOW DIMENSIONS ARE TO THE CENTER OR OUTSIDE OF FRAME.

**UNDERGROUND PARKING PLAN KEYNOTES:**

- 1 PARKING GARAGE SIGNAL
- 2 RETAINING WALL
- 3 TRENCH DRAIN, REFER TO MECHANICAL DOCUMENTS
- 4 NOT IN USE
- 5 SECURE BIKE STORAGE. CHAINLINK FENCE W/ ACCESS DOOR. SECURE FENCE TO FLOOR SLAB AND TO U/S SLAB ABOVE

**LEGEND:**

- [Hatched Box] NOT IN CONTRACT
- [Solid Box] NEW CONSTRUCTION
- [Line with 45] 45 MIN. FIRE RESISTANCE RATING
- [Line with 60] 60 MIN. FIRE RESISTANCE RATING
- [Line with 90] 90 MIN. FIRE RESISTANCE RATING
- [Grey Box] SHEAR WALL PER STRUCTURAL
- [Yellow Box] LOAD-BEARING WALL PER STRUCTURAL
- [Arc] DOOR
- [CR] CARD READER



1 GROUND FLOOR KEY PLAN  
A201 | 1:100

**GENERAL REFERENCE PLAN NOTES:**

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- 3. ALL WINDOW DIMENSIONS ARE TO THE CENTER OR OUTSIDE OF FRAME.

**REFERENCE PLAN KEYNOTES:**

- 1 MAILBOXES
- 2 NOT IN USE
- 3 CANOPY ABOVE
- 4 FIRE DEPARTMENT CONNECTION
- 5 FIRE ALARM CONTROL PANEL
- 6 RETAINING WALL C/W GUARDRAIL

**LEGEND:**

- [Hatched Box] NOT IN CONTRACT
- [Solid Black Box] NEW CONSTRUCTION
- [Line with 45] 45 MIN. FIRE RESISTANCE RATING
- [Line with 60] 60 MIN. FIRE RESISTANCE RATING
- [Line with 90] 90 MIN. FIRE RESISTANCE RATING
- [Grey Box] SHEAR WALL PER STRUCTURAL
- [Yellow Box] LOAD-BEARING WALL PER STRUCTURAL
- [Door Symbol] DOOR
- [Door Operator Symbol] DOOR OPERATOR

STAMP

REV DATE	ISSUE
3 2024-10-08	Issued for SPC
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1 2024-07-19	Issued for 66%

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CLIENT

**BETTER LIVING CO-OPERATIVE**  
OTTAWA, CANADA

PROJECT

**BLOCK 3 REDEVELOPMENT**

1360 OGILVIE ROAD  
GLOUCESTER, ON K1J 9M6

TITLE

**GROUND FLOOR PLAN**

PROJECT NO: 2022-2040  
DRAWN: KM, DF  
APPROVED: PM  
SCALE: 1:100  
DATE PRINTED: 2024-10-09 5:01:37 PM

REV DRAWING NO.

3 A201

D07-19-24-0061  
19156



1 EAST ELEVATION  
 A301 1:100



2 SOUTH ELEVATION  
 A301 1:100

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CLIENT

**BETTER LIVING CO-OPERATIVE**  
 OTTAWA  
 ONTARIO, CANADA

PROJECT

**BLOCK 3 REDEVELOPMENT**

1360 OGLIVIE ROAD  
 GLOUCESTER, ON K1J 9M6

TITLE

**ELEVATIONS**

PROJECT NO: 2022-2040  
 DRAWN: Author  
 APPROVED: Approver  
 SCALE: As indicated  
 DATE PRINTED: 2024-10-09 5:01:40 PM

REV DRAWING NO.

1 **A301**

**ELEVATION NOTES:**

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

**ELEVATION KEYNOTES:**

- 1 CURTAIN WALL
- 2 CANOPY
- 3 JULIETTE BALCONY
- 4 PREFINISHED METAL FLASHING
- 5 ROOFTOP ACCESS
- 6 ELEVATOR OVERRUN & ROOFTOP ACCESS
- 7 GARAGE DOOR
- 8 NEW LANDSCAPE STAIR C/W HANDRAIL AND GUARDRAIL
- 9 EMERGENCY EXIT STAIR

**ELEVATION LEGEND:**

HATCH SYMBOL DESCRIPTION  
 HATCH SYMBOL DESCRIPTION  
 HATCH SYMBOL DESCRIPTION

	BRICK VENEER MANUFACTURER: COLOUR:
	ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR:
	ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR:
	WOOD SIDING MANUFACTURER: COLOUR:
	FASCIA MANUFACTURER: COLOUR:

STRUCTURAL ENGINEER  
 Cunliffe & Associates  
 200, 1550 Carling Avenue  
 Ottawa, Ontario K1Z 8S8  
 613-729-7242  
 cunliffe@cunliffe.ca

MECHANICAL AND ELECTRICAL ENGINEER  
 Chorley + Bisset Consulting Engineers  
 250 City Centre Avenue  
 Ottawa, Ontario K1R 6K7  
 613-241-0030  
 email@chorley.com

LANDSCAPE ARCHITECT  
 James B. Lennox & Associates  
 3332 Carling Avenue  
 Ottawa, Ontario K2H 5A8  
 613-722-5168

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3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

**BETTER LIVING CO-OPERATIVE**  
 OTTAWA  
 ONTARIO, CANADA

PROJECT

**BLOCK 3 REDEVELOPMENT**

1360 OGILVIE ROAD  
 GLOUCESTER, ON K1J 9M6

TITLE

**ELEVATIONS**

PROJECT NO: 2022-2040  
 DRAWN: Author  
 APPROVED: Approver  
 SCALE: As indicated  
 DATE PRINTED: 2024-10-09 5:01:44 PM

REV DRAWING NO.

1

**A302**

DOT-19-24-0061



**2 WEST ELEVATION**  
 A302 | 1:100



**1 NORTH ELEVATION (OGILVIE RD.)**  
 A302 | 1:100

**ELEVATION NOTES:**

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

**ELEVATION KEYNOTES:**

- 1 CURTAIN WALL
- 2 CANOPY
- 3 JULIETTE BALCONY
- 4 PREFINISHED METAL FLASHING
- 5 ROOFTOP ACCESS
- 6 ELEVATOR OVERRUN & ROOFTOP ACCESS
- 7 GARAGE DOOR
- 8 NEW LANDSCAPE STAIR C/W HANDRAIL AND GUARDRAIL
- 9 EMERGENCY EXIT STAIR

**ELEVATION LEGEND:**

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
	BRICK VENEER MANUFACTURER: COLOUR:	
	ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR:	
	ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR:	
	WOOD SIDING MANUFACTURER: COLOUR:	
	FASCIA MANUFACTURER: COLOUR:	