

SITE PLAN LEGEND:

-  PROPERTY LINE
 EXTENT OF EASEMENT / ROW
 EMERGENCY EXIT
 SERVICE DOORS
 BUILDING MAIN ENTRANCE / TOWN ENTRANCE

STAMP

7	2025-09-04	Re-Issued for SPC
6	2025-03-17	Reissued for SPC
5	2025-02-19	Issued for Permit
4	2024-11-08	Issued for 80% Review
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1	2024-07-19	Issued for 66%
REV DATE		ISSUE

NOTES

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CLIENT

**BETTER LIVING
CO-OPERATIVE**
OTTAWA
ONTARIO, CANADA

PROJECT

BLOCK 3 REDEVELOPMENT

1360 OGILVIE ROAD
GLOUCESTER, ON K1J 9M6
TITLE

OVERALL SITE PLAN

PROJECT NO: 2022-2040
DRAWN: KM
APPROVED: PM
SCALE: As indicated
DATE PRINTED: 2025-09-03 4:44:24 PM

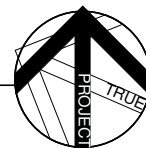
REV DRAWING NO.

7 A100

19156



1 OVERALL SITE PLAN



DEVELOPMENT INFO			ZONING INFO			PARKING QUEUING + LOADING		
LEGAL DESCRIPTION			ZONING PROVISION			PARKING QUEUING + LOADING		
BLOCKS C, D, AND L REGISTERED PLAN 4M-172 CITY OF OTTAWA			MIN. LOT WIDTH	REQUIRED	PROVIDED	RESIDENTIAL SPACES		
REFERENCE SURVEY			MIN. LOT AREA	REQUIRED	PROVIDED	VISITOR SPACES		
BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED JULY 5, 2023			MIN. FRONT YARD SETBACK	REQUIRED	PROVIDED	ACCESSIBLE PARKING		
MUNICIPAL ADDRESS			MIN. INTERIOR SIDE YARD SETBACK	REQUIRED	PROVIDED	BICYCLE PARKING		
1360 OGILVIE RD., OTTAWA, ON K1J 9M6			MIN. REAR YARD SETBACK	REQUIRED	PROVIDED	DRIVEWAY WIDTH		
SITE AREAS			MAX. HEIGHT	REQUIRED	PROVIDED	6m @ single traffic lane		
BETTER LIVING CO-OP	5323.54m ²		AMENITY AREA	REQUIRED	PROVIDED	6m @ double traffic lane		
COMMUNITY WORKS	2558.69m ²		LANDSCAPED AREA	REQUIRED	PROVIDED	6m for double traffic lane, parking lot		
BIRCHWOOD	5028.37m ²		MIN. FRONTAGE	REQUIRED	PROVIDED			
TOTAL	12,910.6m ²							
BUILDING AREA	975m ²							
GROSS FLOOR AREA	3,900m ²							
BUILDING HEIGHT	14.15m , 4 STOREYS							
ZONE	AM10 H(40)							

ACCOMMODATIONS LEGEND					
DWELLING UNIT TYPE	BLOCK				TOTAL
	3(NEW)	4	5	6	
BACHELOR	1				1
1-BEDROOM	25			0	25
2-BEDROOM	4	7	6	6	23
3-BEDROOM	9	7	6	4	26
4-BEDROOM				1	1
5-BEDROOM				1	1
1-B(SENIOR)					0
2-B(SENIOR)					0
TOTAL	39	14	12	12	77

NOTES:

1. PARKING FIGURES IN TABLE REFLECT BLC SITE ONLY
2. TOTAL SITE PARKING(INCLUDING BLC SITE) 136 SPACES

PARKING LEGEND								
DWELLING UNIT TYPE	BLOCK					TOTAL	TOTAL REQUIRED PARKING	TOTAL PARKING PROVIDED
	3(NEW)	4	5	6				
APARTMENT (1.2)	39					39	47	
STACKED (1.2)	0	14	12	12		38	46	36
VISITOR PARKING (0.2)							15	7
							108	total: 43

AMENITY LEGEND							
	BLOCK				TOTAL	TOTAL REQUIRED AMENITY SPACE (m2)	TOTAL AMENITY SPACE PROVIDED (m2)
	3(NEW)	4	5	6			
DWELLING UNITS	39	14	12	12	77	462	552

SITE PLAN GENERAL NOTES:

1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
2. DO NOT SCALE THIS DRAWING
3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

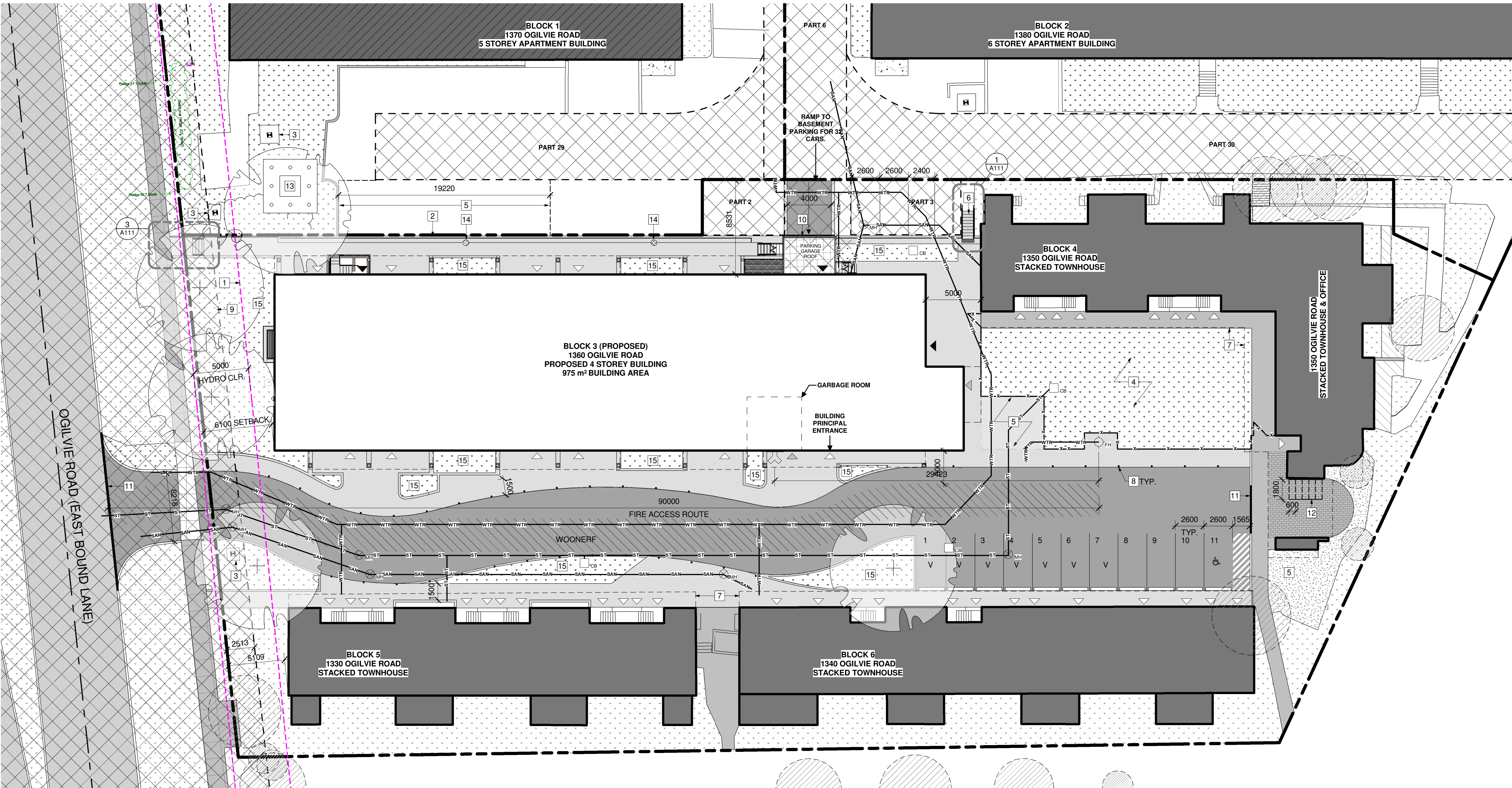
SITE PLAN KEYNOTES:

- 1 OTTAWA HYDRO SETBACK / CLEARANCES
- 2 NEW RETAINING WALL PER 1/A111
- 3 EXISTING HYDRO TRANSFORMER ON CONCRETE PAD
- 4 PLAYGROUND AREA (N.I.C)
- 5 SNOW STORAGE
- 6 NEW LANDSCAPE STAIR
- 7 EXISTING ROOF OVERHANG
- 8 BOLLARDS ALONG PROPOSED WOONERF, REFER TO LANDSCAPE
- 9 ROW EASEMENT
- 10 LOCATION OF TRAFFIC SIGNAL
- 11 DEPRESSED CURB
- 12 NEW BIKE RACKS (5 TOTAL)
- 13 NEW TRANSFORMER PER ELECTRICAL DOCUMENTS
- 14 AREA DRAIN. REFER TO CIVIL DOCUMENTS
- 15 SOFT LANDSCAPING PER LANDSCAPE

SITE PLAN LEGEND:

- EXISTING BUILDING (NOT IN SCOPE)
- FIRE ACCESS ROUTE
- EASEMENT / ROW
- ASPHALT PAVING - NEW
- ASPHALT PAVING - EXISTING
- CONCRETE SIDEWALK - NEW
- CONCRETE SIDEWALK - EXISTING
- GRASS - NEW
- GRASS - EXISTING
- PAVER TYPE 1 - NEW
- CONCRETE PAD

- PROPERTY LINE
- EXTENT OF EASEMENT / ROW
- OTTAWA HYDRO SETBACK
- FENCING PER LANDSCAPE
- NEW DOMESTIC WATER
- NEW SANITARY
- NEW STORM
- NEW ELECTRICAL SERVICE BELOW GRADE
- CATCH BASIN
- FIRE HYDRANT
- MANHOLE
- SIAMESE CONNECTION
- EMERGENCY EXIT
- SERVICE DOORS
- BUILDING MAIN ENTRANCE / TOWN ENTRANCE



1 PROPOSED SITE PLAN
A110 1:200



DEVELOPMENT INFO		ZONING INFO		ZONING PROVISION		PARKING QUEING + LOADING		REQUIRED		PROVIDED	
LEGAL DESCRIPTION		ZONING PROVISION		REQUIRED		REQUIRED		REQUIRED		PROVIDED	
BLOCKS C, D, AND L REGISTERED PLAN 4M-172 CITY OF OTTAWA		MIN. LOT WIDTH		No minimum		47.68m		GROUND FACADE ACTIVATION		The ground floor facade facing a public street of a building located within 4.5 m of the front lot line must include: a minimum of one active entrance from each individual occupancy located immediately adjacent to the front lot line	
REFERENCE SURVEY BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED JULY 5, 2023		MIN. LOT AREA		No minimum		5323.54m²		MINIMUM GLAZING OF GROUND FLOOR FACADE		50% of the surface area of the ground floor facade facing Ogilvie, from the average grade up 4.5 metres, must be comprised of transparent glazing and active customer or resident entrance access doors	
MUNICIPAL ADDRESS 1360 OGILVIE RD, OTTAWA, ON K1J 9M6		MIN. FRONT YARD SETBACK		Minimum: 0m		6.1m		REQUIRED		PROVIDED	
SITE AREAS BETTER LIVING CO-OP 5323.54m² COMMUNITY WORKS 2558.69m² BIRCHWOOD 5028.37m² TOTAL 12,910.6m²		MIN. INTERIOR SIDE YARD SETBACK		No minimum		N/A		RESIDENTIAL SPACES		92	
BUILDING AREA 975m²		MIN. REAR YARD SETBACK		7.5m		N/A		VISITOR SPACES		15	
GROSS FLOOR AREA 3,900m²		MAX. HEIGHT		40m		13.25m		ACCESSIBLE PARKING		-	
BUILDING HEIGHT 14.15m, 4 STOREYS		AMENITY AREA		462m²		552m²		BICYCLE PARKING		39	
ZONE AM10 H(40)		LANDSCAPED AREA		no minimum		349.5m²		DRIVEWAY WIDTH		3m @ single traffic lane 6m @ double traffic lane	
		MIN. FRONTAGE		4.5m		4.3m				4m for single traffic lane, driveway to parking garage 6m for double traffic lane, parking lot	
		FRONTAGE CALCULATION: 43.5m OF BUILDING WALLS / 109.7m OF ENTIRE FRONTAGE = 39% OF FRONTAGE		AMENITY BREAKDOWN Ground Floor Amenity: 83m² Balconies: 227m² Playground: 242m²							

ACCOMODATIONS LEGEND					
DWELLING UNIT TYPE	BLOCK				TOTAL
	3(NEW)	4	5	6	
BACHELOR	1				1
1-BEDROOM	25			0	25
2-BEDROOM	4	7	6	6	23
3-BEDROOM	9	7	6	4	26
4-BEDROOM				1	1
5-BEDROOM				1	1
1-B(SENIOR)					0
2-B(SENIOR)					0
TOTAL	39	14	12	12	77

NOTES:

1. PARKING FIGURES IN TABLE REFLECT BLC SITE ONLY
2. TOTAL SITE PARKING:
A. INCLUDING OFFICE, RESIDENT, AND VISITOR PARKING SPACES: 170 SPACES
B. INCLUDING ONLY RESIDENT AND VISITOR, EXCLUDING OFFICE: 154 SPACES

PARKING LEGEND						
DWELLING UNIT TYPE	BLOCK				TOTAL	TOTAL REQUIRED PARKING
	3(NEW)	4	5	6		
APARTMENT (1.2)	39				39	47
STACKED (1.2)	0	14	12	12	38	36
VISITOR PARKING (0.2)					15	7
					108	total: 43

AMENITY LEGEND						TOTAL REQUIRED AMENITY SPACE (m2)	TOTAL AMENITY SPACE PROVIDED (m2)
DWELLING UNITS	3(NEW)	4	5	6	TOTAL		
	39	14	12	12	77	462	552

GENERAL STAIR NOTES:

1. DEMARCATÉ LEADING EDGE OF TREADS AND LEADING EDGE OF LANDING WITH COLOUR CONTRAST/DISTINCTIVE VISUAL PATTERN.
2. CONTRACTOR TO PROVIDE ENGINEERED STAMPED SHOP DRAWINGS OF STAIRS, HANDRAILS AND GUARDS SEALED AND SIGNED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
3. PROVIDE 50mm MIN. CLEARANCE BETWEEN HANDRAIL AND ANY ADJACENT SURFACE.
4. ALL METAL COMPONENTS FOR GUARDS AND HANDRAILS TO BE PRIMED AND PAINTED. COLOUR PER FINISH PLANS
5. PROVIDE 50mm MIN. CLEARANCE BETWEEN HANDRAIL AND ANY ADJACENT SURFACE.
6. PROVIDE COLOUR CONTRASTING AND SLIP RESISTANT STRIP ALONG EDGE OF NOSINGS AS PER OBC 2012 3.4.6.1. VISUAL INDICATOR STRIP TO BE INT INTEGRATED INTO TREAD LINER FINISH MATERIAL.

STAIR KEYNOTES:

STAIR TYPE

- | | |
|---|---|
| 1 | WOOD STAIR |
| 2 | PRECAST CONCRETE STAIR |
| 3 | CAST-IN-PLACE CONCRETE STAIR |
| 4 | STEEL PAN TREAD C/W CLOSED RISER & CONCRETE FILL, PAINTED. STAIR FINISH PER FLOOR FINISH PLAN |
| 5 | INTERMEDIATE LANDING - SEE STRUCTURAL |

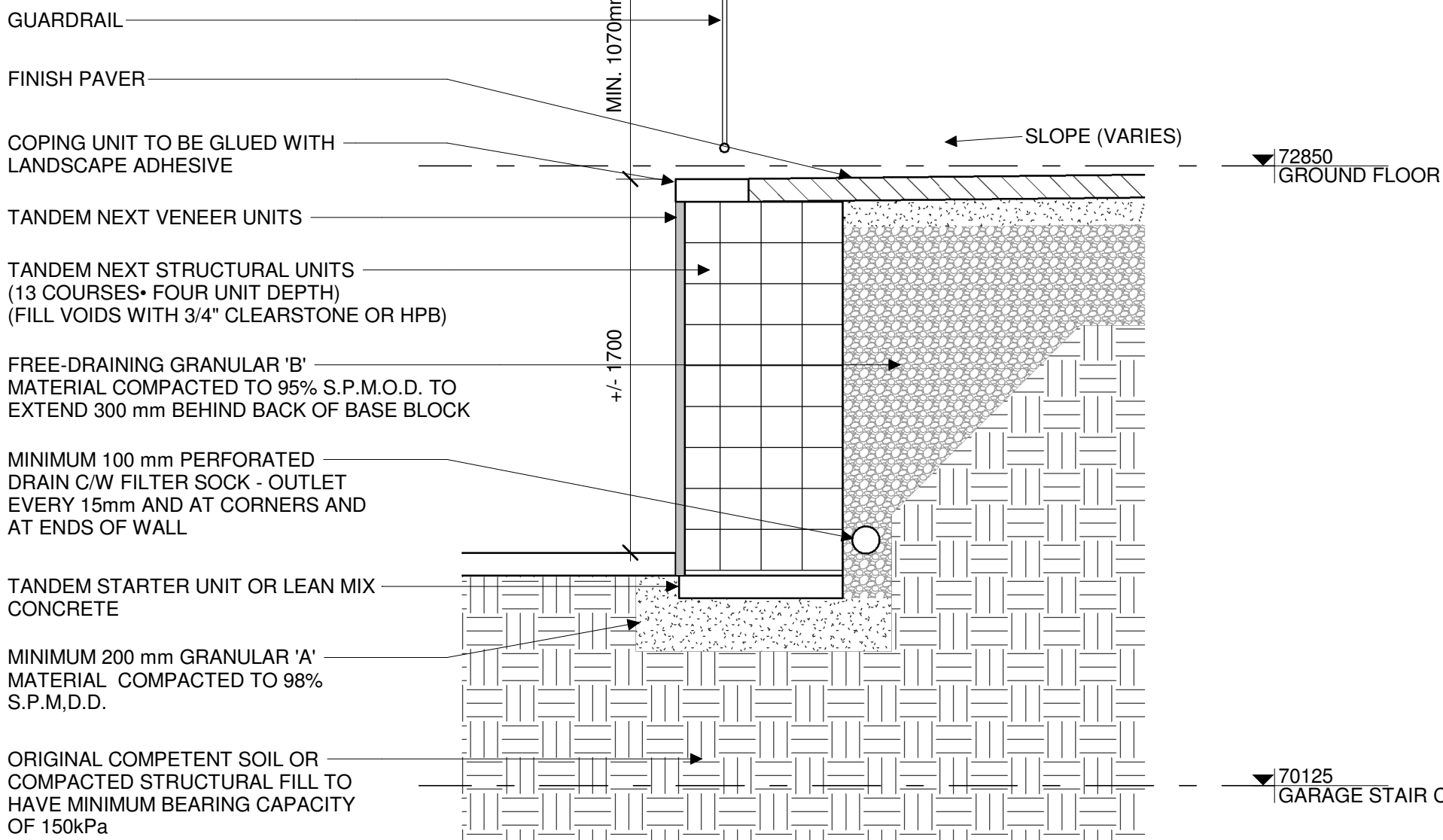
GUARDRAIL/HANDRAIL TYPE

- | | |
|----|--|
| 11 | 38mm Ø METAL WALL MOUNTED HANDRAIL PER OBC 3.4.6.5 |
| 12 | 38mm Ø WOOD WALL MOUNTED HANDRAIL |
| 13 | 1070mm HIGH STEEL GUARD C/W 16mm Ø BALUSTERS @ 100mm O.C. |
| 14 | 915mm HIGH CONTINUOUS 38mm Ø METAL HANDRAIL MOUNTED TO STAIR STRINGER C/W 16mm Ø BALUSTERS @ 100mm O.C. |
| 15 | 915mm HIGH CONTINUOUS 38mmØ METAL HANDRAIL MOUNTED TO 1070mm HIGH METAL GUARD C/W 16mm Ø BALUSTERS @ 100mm O.C. CONNECTED TO STRINGERS WITH MOUNTING PLATE |
| 16 | 915mm HIGH CONTINUOUS 38mmØ METAL HANDRAIL MOUNTED TO 1070mm HIGH METAL GUARD C/W 16mm Ø BALUSTERS @ 100mm O.C. CAST INTO PRECAST CONCRETE STAIR |
| 17 | WALL MOUNTED HANDRAIL BRACKET, PAINTED - TYP. |
| 18 | 300mm HANDRAIL EXTENSION (TYP.) |

ACCESSORIES

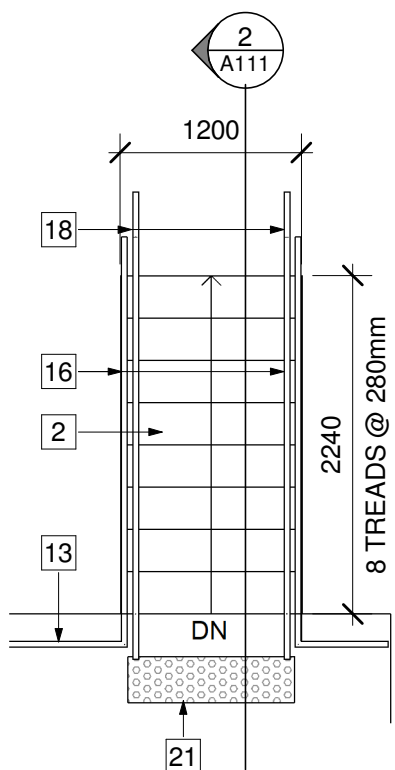
- | | |
|----|---|
| 21 | 305mm TACTILE INDICATOR STRIP TO COMPLY WITH OBC 3.4.6.1 AND 3.8.3.18 (2) REFER TO SPECS - TYP. EXTEND FULL WIDTH OF STAIRS AS SHOWN. |
|----|---|

NOTE:
AREA DRAINS NOT SHOWN. REFER TO CIVIL



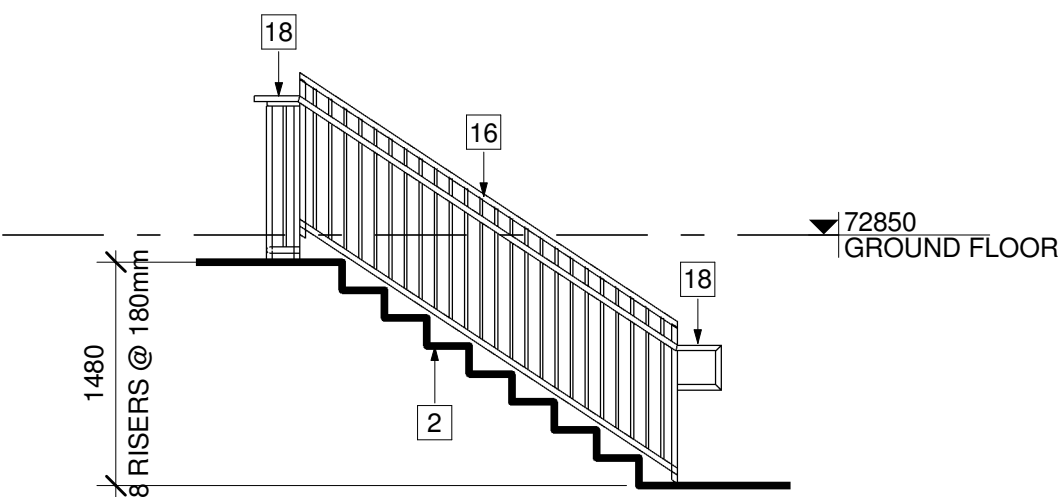
5 RETAINING WALL SECTION @ GL 1

A111 | 1:25



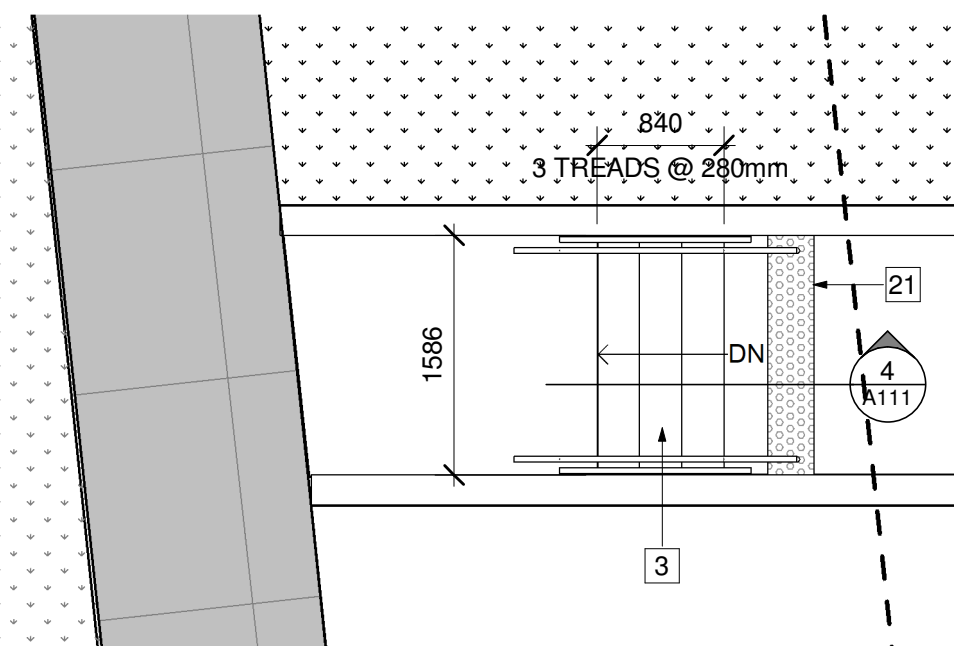
1 SITE STAIR B PLAN DETAIL

A111 | 1:50



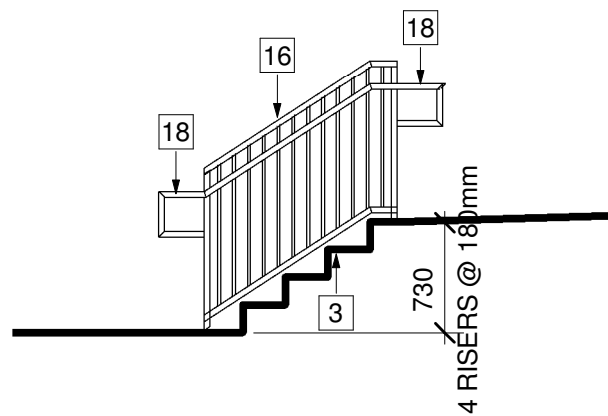
2 STAIR SECTION

A111 | 1:50



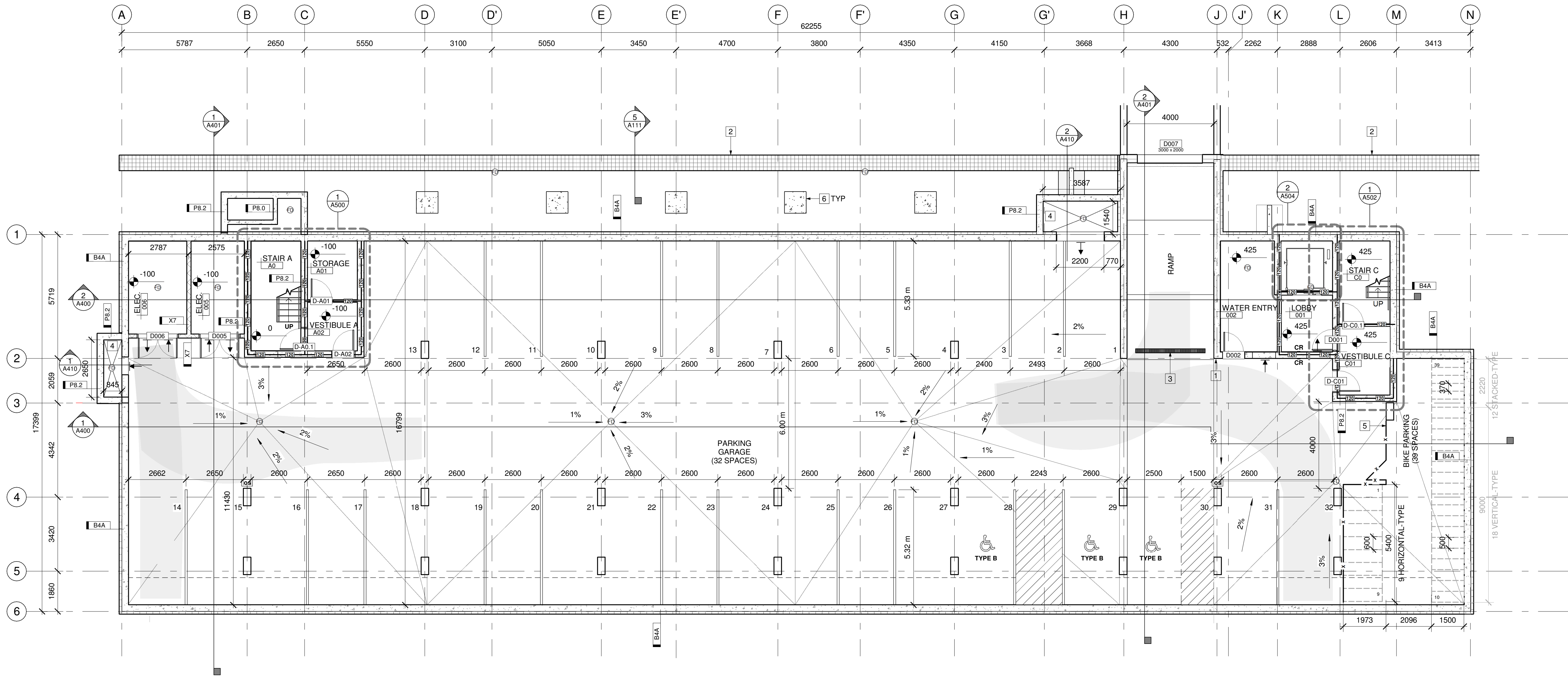
3 SITE STAIR A PLAN DETAIL

A111 | 1:50



4 STAIR SECTION

A111 | 1:50



1 UNDERGROUND PARKING LEVEL
A200 1:100

GENERAL REFERENCE PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
2. ALL DOOR DIMENSIONS ARE TO THE CENTRE OR INSIDE OF FRAME.
3. ALL WINDOW DIMENSIONS ARE TO THE CENTER OR OUTSIDE OF FRAME.

UNDERGROUND PARKING PLAN KEYNOTES:

- 1 LOCATION OF TRAFFIC SIGNAL
- 2 PRE-ENGINEEREDE RETAINING WALL
- 3 TRENCH DRAIN, REFER TO MECHANICAL DOCUMENTS
- 4 AREAWAY
- 5 SECURE BIKE STORAGE. CHAINLINK FENCE W/ ACCESS DOOR.
SECURE FENCE TO FLOOR SLAB AND TO U/S SLAB ABOVE
- 6 PIER FOOTING PER STRUCTURAL DOCUMENTS

LEGEND:

- | | |
|--|-----------------------------------|
| | EARTH BACKFILL |
| | ACCESSIBLE PARKING AISLE |
| | 0 MIN. FIRE RESISTANCE RATING |
| | 45 MIN. FIRE RESISTANCE RATING |
| | 60 MIN. FIRE RESISTANCE RATING |
| | 90 MIN. FIRE RESISTANCE RATING |
| | DOOR |
| | CARD READER |
| | FLOOR DRAIN, REFER TO MECHANICAL. |
| | SENSOR, WALL |
| | INTAKE LOUVRE |
| | EXHAUST LOUVRE |

STAMP

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CLIENT

**BETTER LIVING
CO-OPERATIVE**
OTTAWA
ONTARIO, CANADA

PROJECT

**BLOCK 3
REDEVELOPMENT**

1360 OGILVIE ROAD
GLOUCESTER, ON K1J 9M6

TITLE

**UNDERGROUND
PARKING PLAN**

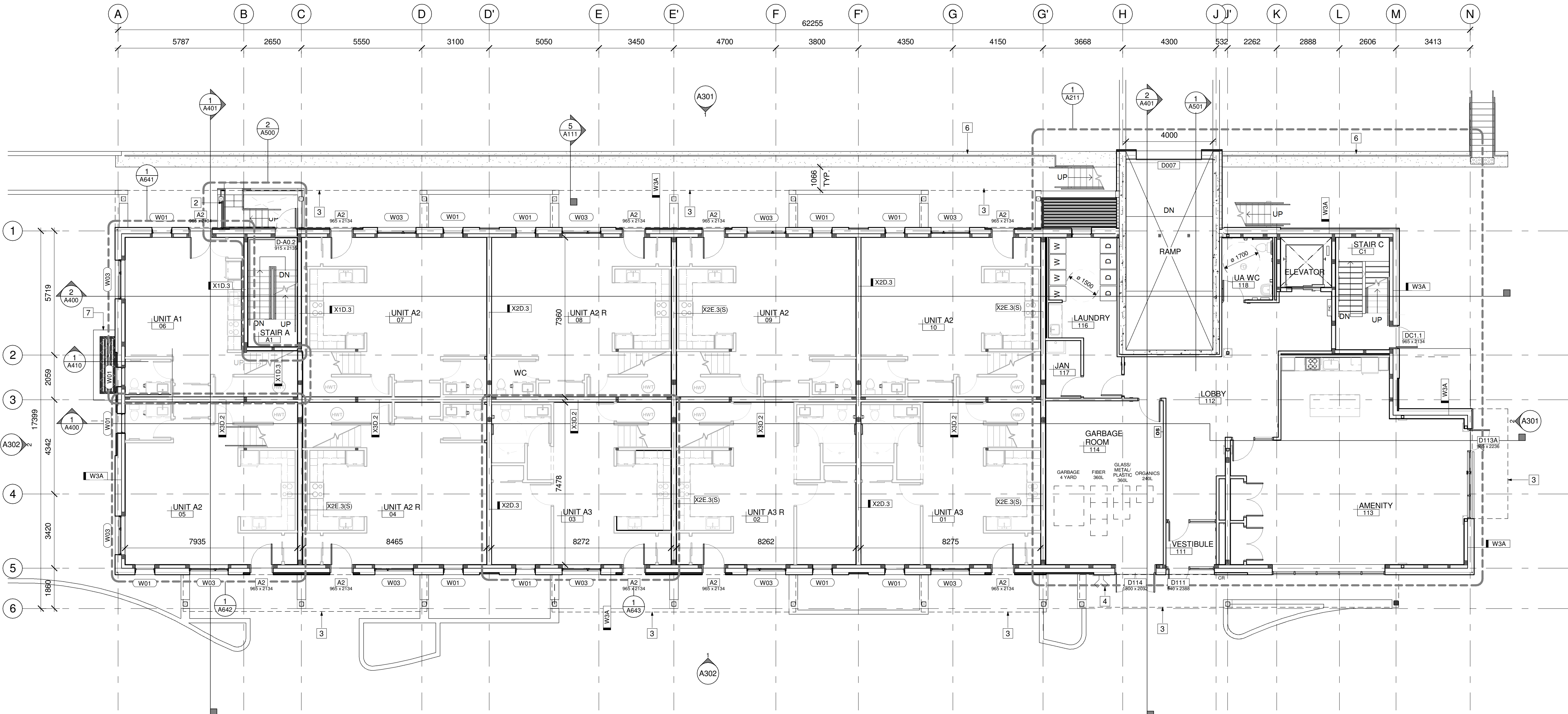
PROJECT NO: 2022-2040
DRAWN: DF
APPROVED: PM
SCALE: 1:100
DATE PRINTED: 2025-09-03 4:44:38 PM

REV DRAWING NO.

7

A200

D07-19-24-0061



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Ottawa, Ontario K1R 6K7

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James B. Lennox & Associates

3332 Carling Avenue

Ottawa, Ontario K2H 5A8

613-722-5168

STAMP

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CLIENT

BETTER LIVING

CO-OPERATIVE

OTTAWA

ONTARIO, CANADA

PROJECT

BLOCK 3

REDEVELOPMENT

1360 OGILVIE ROAD

GLOUCESTER, ON K1J 9M6

TITLE

EXTERIOR

ELEVATIONS

PROJECT NO: 2022-2040

DRAWN: DF

APPROVED: DH

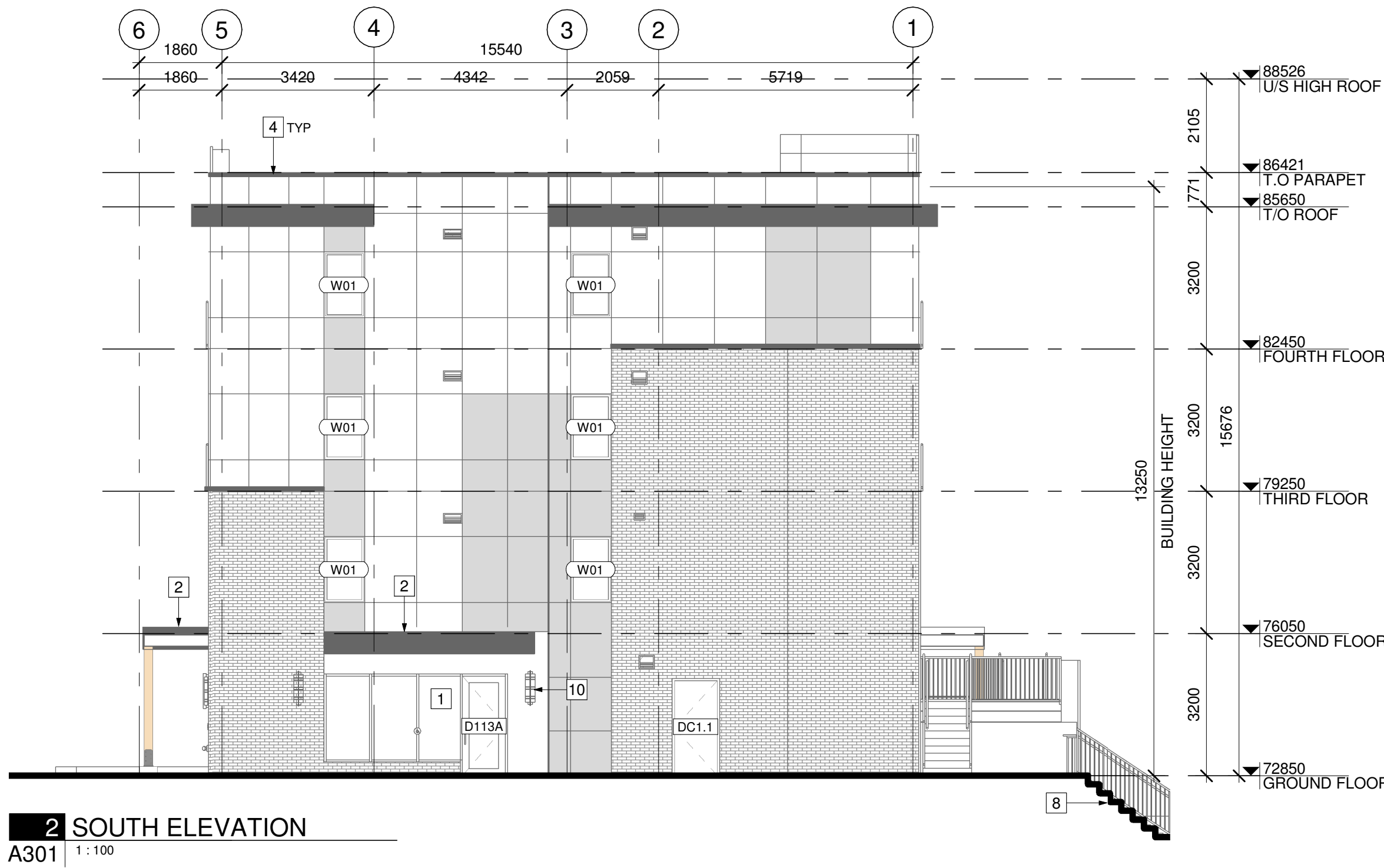
SCALE: As indicated

DATE PRINTED: 2025-09-03 4:44:54 PM

REV DRAWING NO.

5 A301

19156



ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

ELEVATION KEYNOTES:

- 1 STOREFRONT WALL SYSTEM
- 2 CANOPY
- 3 JULIETTE BALCONY
- 4 PREFINISHED METAL FLASHING
- 5 ROOFTOP ACCESS
- 6 ELEVATOR OVERRUN
- 7 GARAGE DOOR
- 8 NEW LANDSCAPE STAIR C/W HANDRAIL AND GUARDRAIL
- 9 EMERGENCY EXIT STAIR
- 10 EXTERIOR LIGHT FIXTURE

ELEVATION LEGEND:

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
		BRICK VENEER MANUFACTURER: COLOUR: BROWN
		ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR: BLUE
		ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR: WHITE
		WOOD SIDING MANUFACTURER: COLOUR: LIGHT OAK
		FASCIA MANUFACTURER: COLOUR: GREY



ELEVATION NOTES:

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