

**SITE PLAN GENERAL NOTES:**

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

**SITE PLAN KEYNOTES:**

- OTTAWA HYDRO SETBACK / CLEARANCES
- PROPOSED RETAINING WALL
- EXISTING HYDRO TRANSFORMER ON CONCRETE PAD
- PLAYGROUND AREA
- SNOW STORAGE
- NEW LANDSCAPE STAIR
- EXISTING TREE TO REMAIN, REFER TO LANDSCAPE
- BOLLARDS ALONG PROPOSED WOONERF, TYP.
- EASEMENT
- PARKING GARAGE SIGNAL
- DEPRESSED CURB
- EXISTING (NONCOMPLIANT) BIKE RACKS TO REMAIN. EXISTING RACKS NOT INCLUDED IN NEW BIKE PARKING COUNT
- NEW HYDRO TRANSFORMER ON CONCRETE PAD

**SITE PLAN LEGEND:**

- AREA NOT IN SCOPE
- EXISTING BUILDING (NOT IN SCOPE)
- EXTENT OF EASEMENT
- ASPHALT PAVING - NEW
- ASPHALT PAVING - EXISTING
- CONCRETE SIDEWALK - NEW
- CONCRETE SIDEWALK - EXISTING
- GRASS - NEW
- GRASS - EXISTING
- PAVER TYPE 1 - NEW
- CONCRETE PAD

- EMERGENCY EXIT
- SERVICE DOORS
- BUILDING MAIN ENTRANCE

--- PROPERTY LINE

-X-X- FENCE PER LANDSCAPE

-WTR-WTR- NEW DOMESTIC WATER

-SAN-SAN- NEW SANITARY

-ST-ST- NEW STORM

-E-E- NEW ELECTRICAL SERVICE (BELOW GRADE)

-GAS

CATCH BASIN

CATCH BASIN EXISTING

LIGHT STANDARD

LIGHT STANDARD EXISTING

FIRE HYDRANT

FIRE HYDRANT EXISTING

MANHOLE

MANHOLE EXISTING

UTILITY POLE

UTILITY POLE EXISTING

SIAMESE CONNECTION

DROPPED CURB

STAMP

1 2024-07-15 Issued for SPC  
 REV DATE ISSUE

**NOTES**

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CLIENT

**BETTER LIVING CO-OPERATIVE**  
 OTTAWA  
 ONTARIO, CANADA

PROJECT

**BLOCK 3 REDEVELOPMENT**

1360 OGLIVIE ROAD

GLOUCESTER, ON K1J 9M6

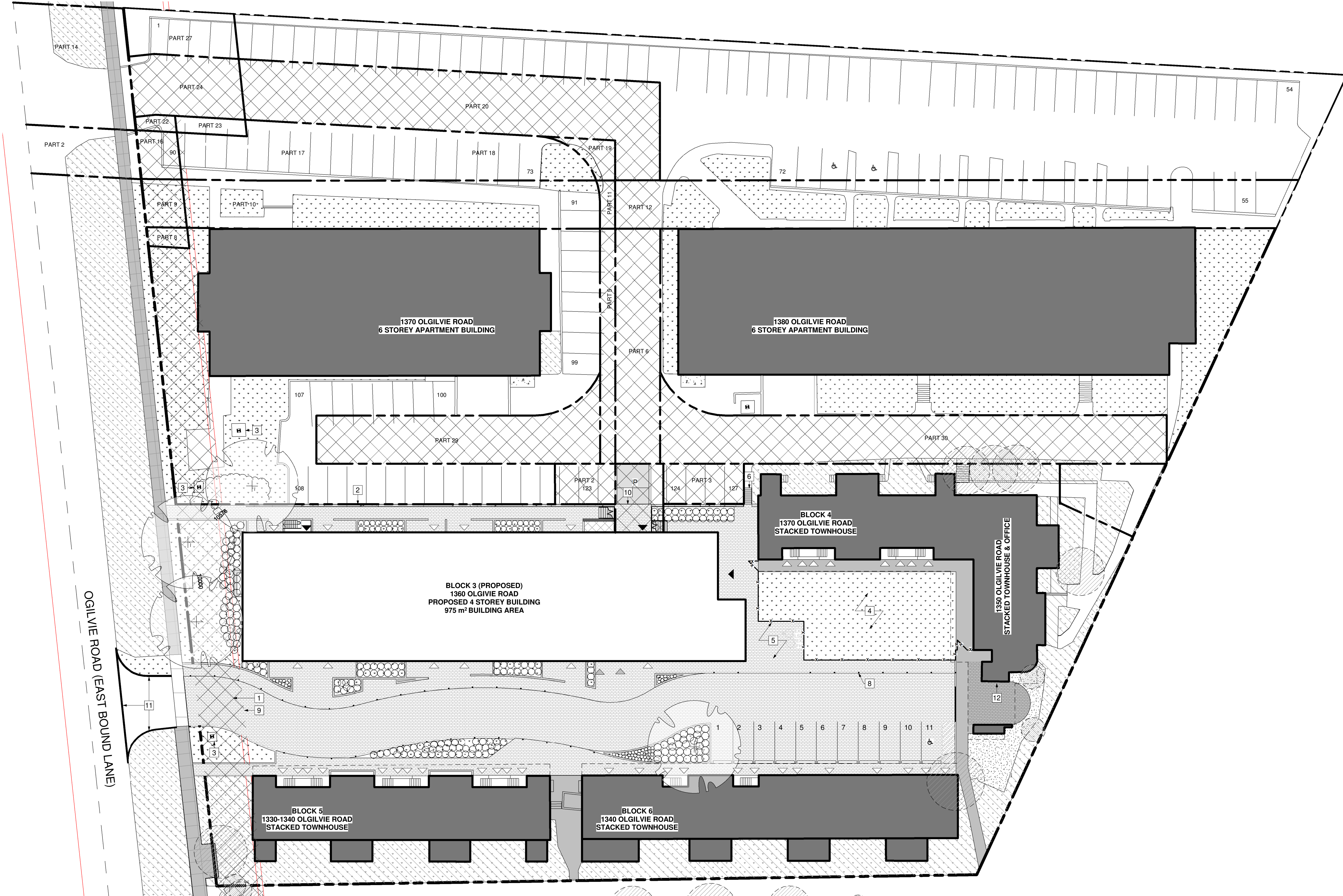
TITLE

**OVERALL SITE PLAN**

PROJECT NO: 2022-2040  
 DRAWN: KM  
 APPROVED: PM  
 SCALE: As indicated  
 DATE PRINTED: 2024-07-15 2:34:08 PM

REV DRAWING NO.

1 A100



**DEVELOPMENT INFO**

LEGAL DESCRIPTION	BLOCKS C, D, AND L REGISTERED PLAN 4M-172 CITY OF OTTAWA
REFERENCE SURVEY	BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED JULY 5, 2023
MUNICIPAL ADDRESS	1360 OGLIVIE RD, OTTAWA, ON K1J 9M6
SITE AREA	12,912m <sup>2</sup>
BUILDING AREA	975m <sup>2</sup>
GROSS FLOOR AREA	3,900m <sup>2</sup>
BUILDING HEIGHT	14.15m , 4 STOREYS
ZONE	AM10 H(40)

**ZONING INFO**

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	No minimum	47.68m
MIN. LOT AREA	No minimum	5367m <sup>2</sup>
MIN. FRONT YARD SETBACK	Minimum: 0m	6.1m
MIN. INTERIOR SIDE YARD SETBACK	No minimum	N/A
MIN. REAR YARD SETBACK	7.5m	N/A
MAX. HEIGHT	40m	14.15m
AMENITY AREA	468m <sup>2</sup>	552m <sup>2</sup>
LANDSCAPED AREA	no minimum	349.5m <sup>2</sup>

**ZONING PROVISION**

REQUIRED	PROVIDED
GROUND FACADE ACTIVATION	The ground floor facade facing a public street of a building located within 4.5 m of the front lot line must include: a minimum of one active entrance from each individual occupancy located immediately adjacent to the front lot line
MINIMUM GLAZING OF GROUND FLOOR FACADE	50% of the surface area of the ground floor facade facing Oglivie, from the average grade up 4.5 metres, must be comprised of transparent glazing and active customer or resident entrance access doors

**PARKING QUEING + LOADING**

REQUIRED	PROVIDED
RESIDENTIAL SPACES	94
VISITOR SPACES	16
ACCESSIBLE PARKING	3
BICYCLE PARKING	39
DRIVEWAY WIDTH	3m @ single traffic lane, 4m for double traffic lane, driveway to parking garage

**ACCOMODATIONS LEGEND**

DWELLING UNIT TYPE	3(NEW)	4	5	6	TOTAL
1-BEDROOM	26			1	27
2-BEDROOM	4	7	6	6	23
3-BEDROOM	9	7	6	4	26
4-BEDROOM				1	1
5-BEDROOM				1	1
1-B(SENIOR)					0
2-B(SENIOR)					0
TOTAL	39	14	12	13	78

- NOTES:**
- PARKING FIGURES IN TABLE REFLECT BLC SITE ONLY
  - TOTAL SITE PARKING(INCLUDING BLC SITE): 170 SPACES

**PARKING LEGEND**

DWELLING UNIT TYPE	3(NEW)	4	5	6	TOTAL	TOTAL REQUIRED PARKING	TOTAL PARKING PROVIDED
APARTMENT (1.2)	39				39	47	
STACKED (1.2)	0	14	12	13	39	47	36
VISITOR PARKING (0.2)						16	7
						109	total: 43

**AMENITY LEGEND**

DWELLING UNITS	3(NEW)	4	5	6	TOTAL	TOTAL REQUIRED AMENITY SPACE (m2)	TOTAL AMENITY SPACE PROVIDED (m2)
	39	14	12	13	78	468	552

**SITE PLAN GENERAL NOTES:**

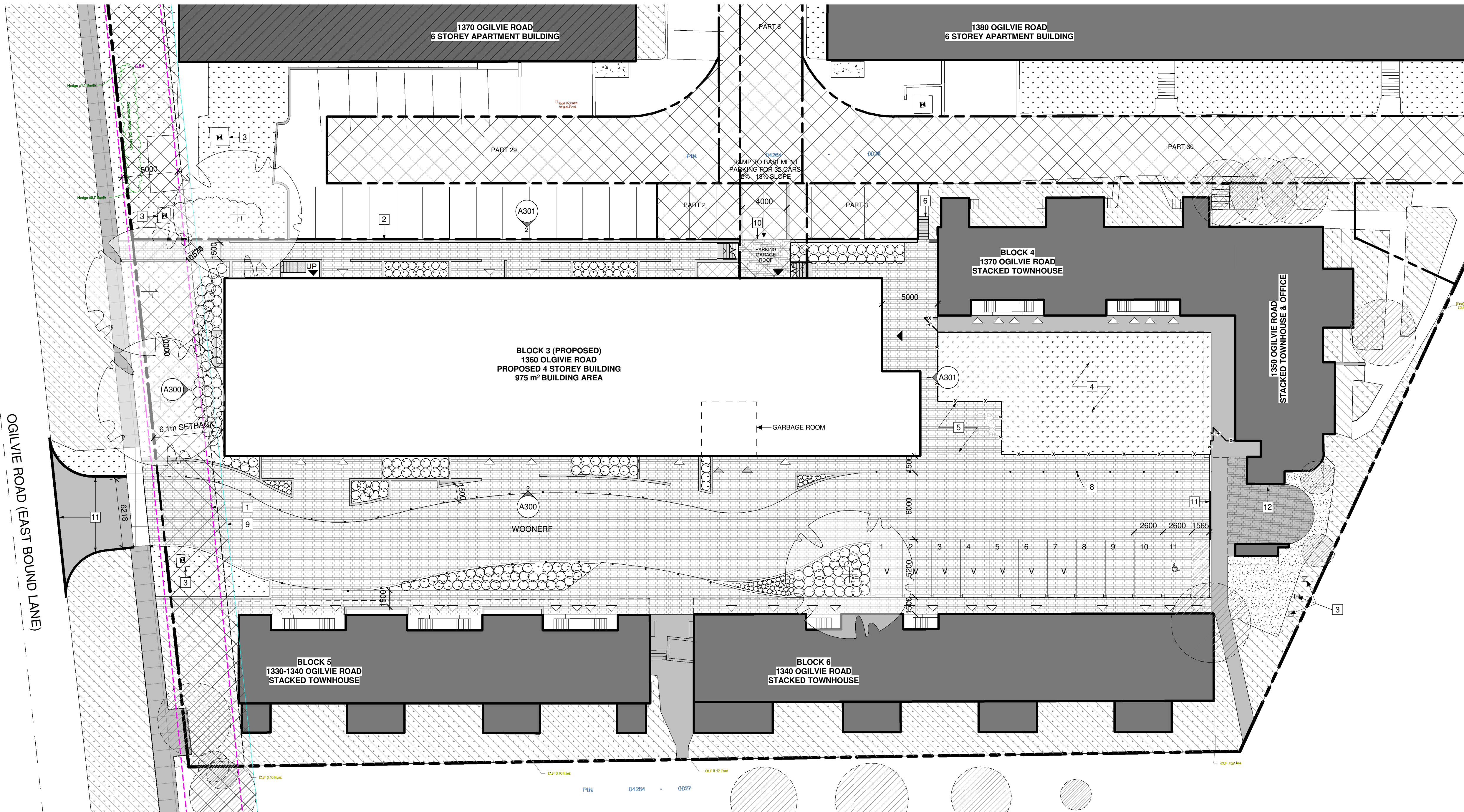
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- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

**SITE PLAN KEYNOTES:**

- OTTAWA HYDRO SETBACK / CLEARANCES
- PROPOSED RETAINING WALL
- EXISTING HYDRO TRANSFORMER ON CONCRETE PAD
- PLAYGROUND AREA
- SNOW STORAGE
- NEW LANDSCAPE STAIR
- EXISTING TREE TO REMAIN, REFER TO LANDSCAPE
- BOLLARDS ALONG PROPOSED WOONERF, TYP.
- EASEMENT
- PARKING GARAGE SIGNAL
- DEPRESSED CURB
- EXISTING (NONCOMPLIANT) BIKE RACKS TO REMAIN. EXISTING RACKS NOT INCLUDED IN NEW BIKE PARKING COUNT
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- GRASS - NEW
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- PAVER TYPE 1 - NEW
- CONCRETE PAD
- EMERGENCY EXIT
- SERVICE DOORS
- BUILDING MAIN ENTRANCE
- PROPERTY LINE
- FENCE PER LANDSCAPE
- NEW DOMESTIC WATER
- NEW SANITARY
- NEW STORM
- NEW ELECTRICAL SERVICE (BELOW GRADE)
- GAS
- CATCH BASIN
- CATCH BASIN EXISTING
- LIGHT STANDARD
- LIGHT STANDARD EXISTING
- FIRE HYDRANT
- FIRE HYDRANT EXISTING
- MANHOLE
- MANHOLE EXISTING
- UTILITY POLE
- UTILITY POLE EXISTING
- SIAMESE CONNECTION
- DROPPED CURB



**1 PROPOSED SITE PLAN**

A110 1:200

DEVELOPMENT INFO		ZONING INFO		ZONING PROVISION			PARKING QUEING + LOADING		
LEGAL DESCRIPTION	BLOCKS C, D, AND L REGISTERED PLAN 4M-172 CITY OF OTTAWA	MIN. LOT WIDTH	47.68m	GROUND FACADE ACTIVATION	REQUIRED: The ground floor facade facing a public street of a building located within 4.5 m of the front lot line must include a minimum of one active entrance from each individual occupancy located immediately adjacent to the front lot line	PROVIDED: Building is located within 6.1m of the front lot line. No active entrances face Ogilvie Rd.	RESIDENTIAL SPACES	REQUIRED: 94	PROVIDED: 43
REFERENCE SURVEY	BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN VOLLEBECK LTD. DATED JULY 5, 2023	MIN. LOT AREA	5367m²	MINIMUM GLAZING OF GROUND FLOOR FACADE	REQUIRED: 50% of the surface area of the ground floor facade facing Ogilvie, from the average grade up 4.5 metres, must be comprised of transparent glazing and active customer or resident entrance access doors	PROVIDED: 7.7 m²/ 72m² = 10.7% glazing	VISITOR SPACES	REQUIRED: 16	PROVIDED: 7
MUNICIPAL ADDRESS	1360 OGLIVIE RD, OTTAWA, ON K1J 9M6	MIN. FRONT YARD SETBACK	6.1m				ACCESSIBLE PARKING	REQUIRED: -	PROVIDED: 3
SITE AREA	12,912m²	MIN. INTERIOR SIDE YARD SETBACK	N/A				BICYCLE PARKING	REQUIRED: 39	PROVIDED: 39
BUILDING AREA	975m²	MIN. REAR YARD SETBACK	7.5m				DRIVEWAY WIDTH	REQUIRED: 3m @ single traffic lane 6m @ double traffic lane	PROVIDED: 4m for single traffic lane, driveway to parking garage 6m for double traffic lane, parking lot
GROSS FLOOR AREA	3,900m²	MAX. HEIGHT	14.15m						
BUILDING HEIGHT	14.15m, 4 STOREYS	AMENITY AREA	468m²						
ZONE	AM10 H(40)	LANDSCAPED AREA	349.5m²						
		AMENITY BREAKDOWN							
		Ground Floor Amenity:	83m²						
		Balconies:	227m²						
		Playground:	242m²						

DWELLING UNIT TYPE	BLOCK				TOTAL
	3(NEW)	4	5	6	
1-BEDROOM	26			1	27
2-BEDROOM	4	7	6	6	23
3-BEDROOM	9	7	6	4	26
4-BEDROOM				1	1
5-BEDROOM				1	1
1-B(SENIOR)					0
2-B(SENIOR)					0
TOTAL	39	14	12	13	78

**NOTES:**

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DWELLING UNIT TYPE	BLOCK				TOTAL	TOTAL REQUIRED PARKING	TOTAL PARKING PROVIDED
	3(NEW)	4	5	6			
APARTMENT (1.2)	39				39	47	
STACKED (1.2)	0	14	12	13	39	47	36
VISITOR PARKING (0.2)						16	7
						109	total: 43

DWELLING UNITS	BLOCK				TOTAL	TOTAL REQUIRED AMENITY SPACE (m2)	TOTAL AMENITY SPACE PROVIDED (m2)
	3(NEW)	4	5	6			
	39	14	12	13	78	468	552

STAMP

1	2024-07-15	Issued for SPC
REV	DATE	ISSUE

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CLIENT

**BETTER LIVING CO-OPERATIVE**  
 OTTAWA  
 ONTARIO, CANADA

PROJECT

**BLOCK 3 REDEVELOPMENT**

1360 OGILVIE ROAD  
 GLOUCESTER, ON K1J 9M6  
 TITLE

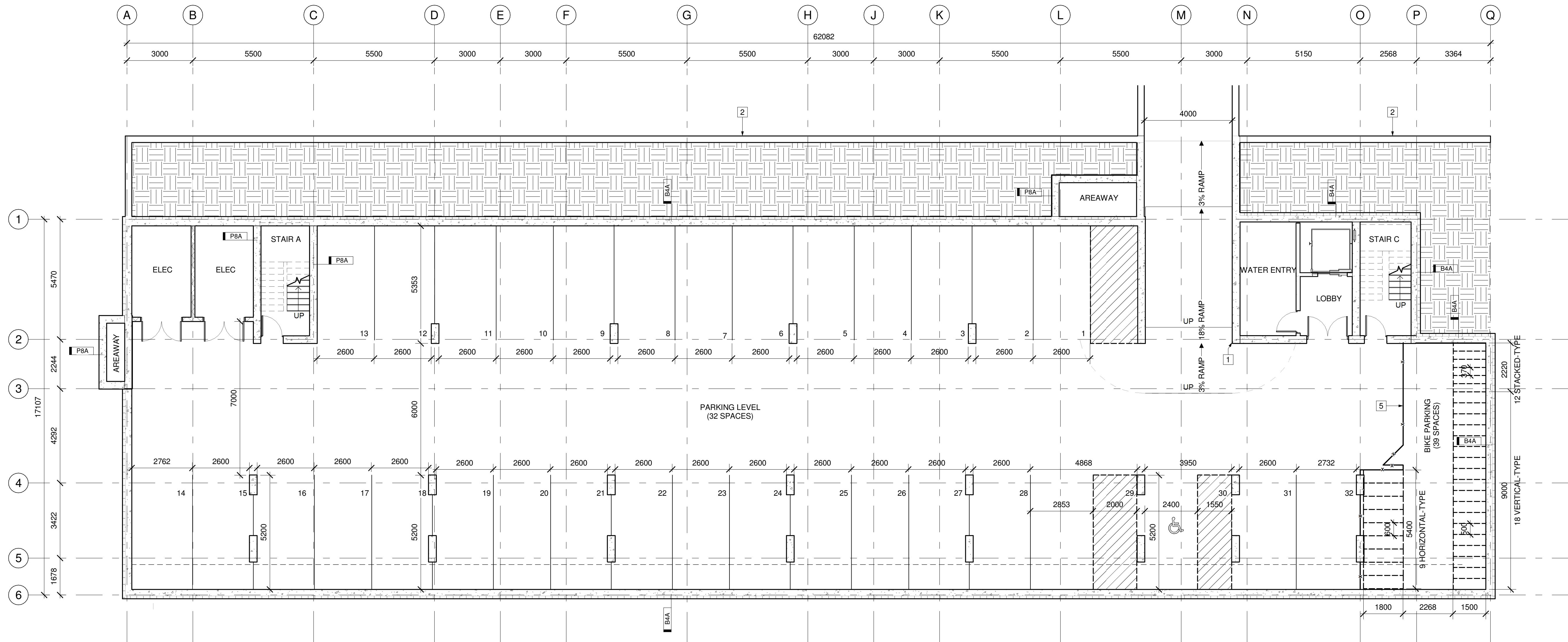
**UNDERGROUND PARKING PLAN**

PROJECT NO: 2022-2040  
 DRAWN: DF  
 APPROVED: PM  
 SCALE: 1 : 100  
 DATE PRINTED: 2024-07-15 2:34:13 PM

REV DRAWING NO.

1

A201



**1 UNDERGROUND PARKING LEVEL**  
 A201 1:100

**GENERAL REFERENCE PLAN NOTES:**

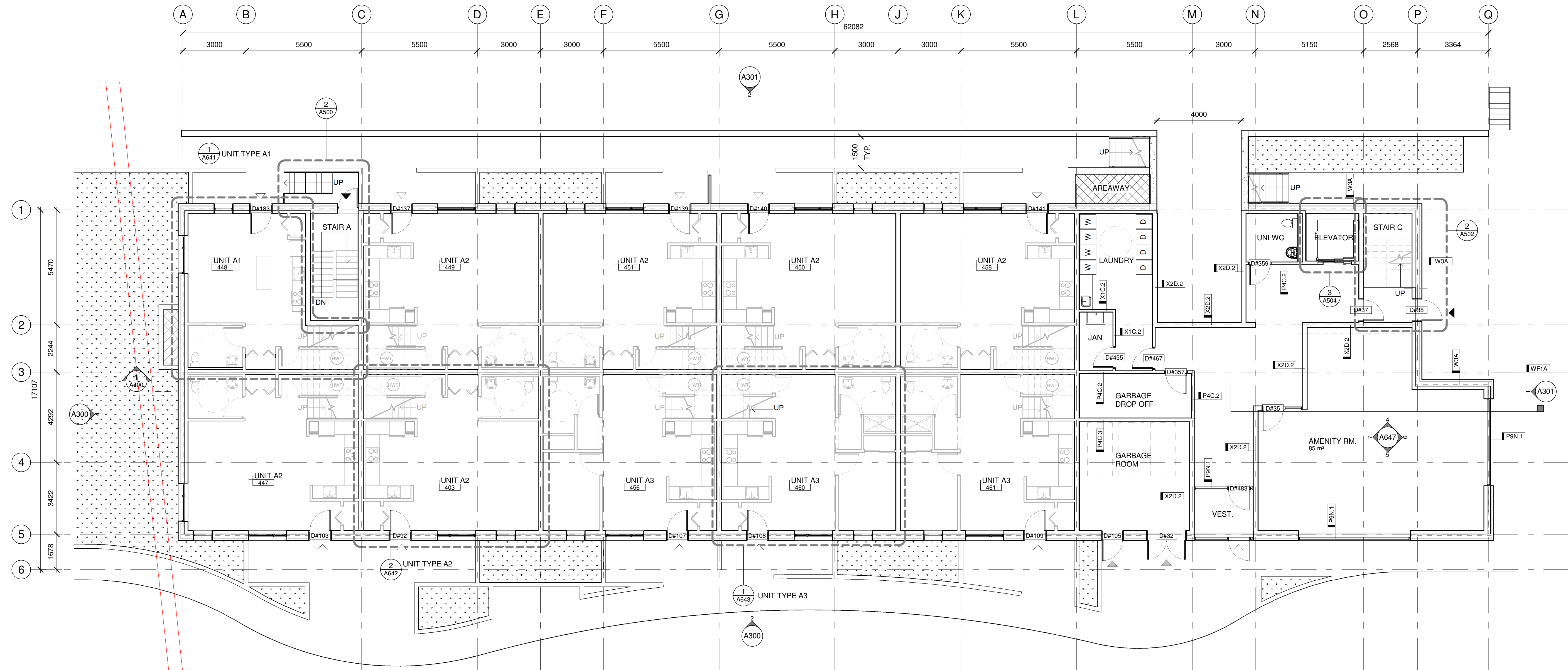
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3. ALL WINDOW DIMENSIONS ARE TO THE CENTER OR OUTSIDE OF FRAME.

**UNDERGROUND PARKING PLAN KEYNOTES:**

- 1 PARKING GARAGE SIGNAL
- 2 RETAINING WALL PER STRUCTURAL DOCUMENTS
- 3 NOT IN USE
- 4 PIPE SLEEVE
- 5 SECURE BIKE STORAGE. CHAINLINK FENCE W/ ACCESS DOOR. SECURE FENCE TO FLOOR SLAB AND TO U/S SLAB ABOVE

**LEGEND:**

- NOT IN CONTRACT
- NEW CONSTRUCTION
- 45 MIN. FIRE RESISTANCE RATING
- 60 MIN. FIRE RESISTANCE RATING
- 90 MIN. FIRE RESISTANCE RATING
- SHEAR WALL PER STRUCTURAL
- LOAD-BEARING WALL PER STRUCTURAL
- DOOR
- DOOR OPERATOR



1 GROUND FLOOR KEY PLAN  
A202 1:100

**GENERAL REFERENCE PLAN NOTES:**

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3. ALL WINDOW DIMENSIONS ARE TO THE CENTER OR OUTSIDE OF FRAME.

**REFERENCE PLAN KEYNOTES:**

- 1 MAILBOXES
- 2 GARBAGE BINS
- 3 CANOPY ABOVE
- 4 FIRE DEPARTMENT CONNECTION
- 5 FIRE ALARM CONTROL PANEL

**LEGEND:**

- NOT IN CONTRACT
- NEW CONSTRUCTION
- 45 MIN. FIRE RESISTANCE RATING
- 60 MIN. FIRE RESISTANCE RATING
- 90 MIN. FIRE RESISTANCE RATING
- SHEAR WALL PER STRUCTURAL
- LOAD-BEARING WALL PER STRUCTURAL
- DOOR
- DOOR OPERATOR

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CLIENT

**BETTER LIVING CO-OPERATIVE**  
OTTAWA  
ONTARIO, CANADA

PROJECT

**BLOCK 3 REDEVELOPMENT**

1360 OGLIVIE ROAD  
GLOUCESTER, ON K1J 9M6

TITLE

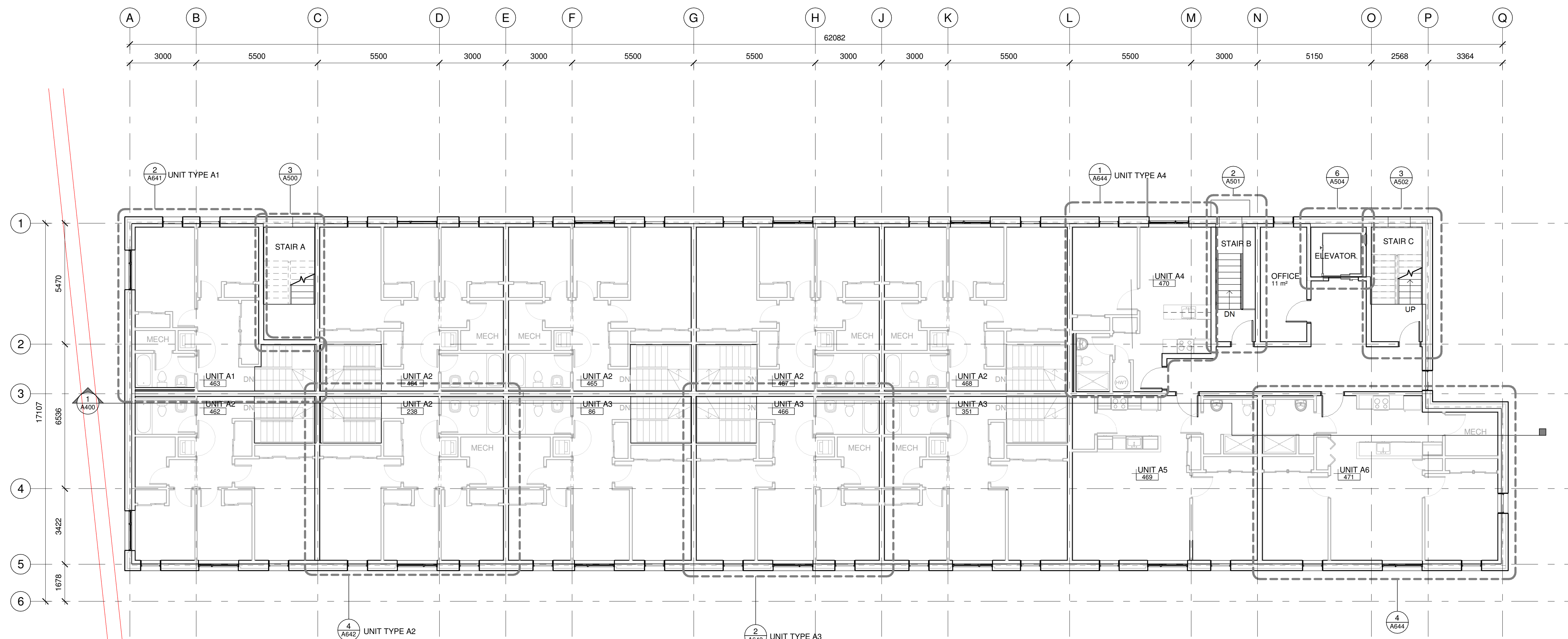
**GROUND FLOOR PLAN**

PROJECT NO: 2022-2040  
DRAWN: KM, DF  
APPROVED: PM  
SCALE: 1:100  
DATE PRINTED: 2024-07-15 2:34:16 PM

REV DRAWING NO.

1

A202



**1 SECOND FLOOR KEY PLAN**  
A203 | 1:100

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3. ALL WINDOW DIMENSIONS ARE TO THE CENTER OR OUTSIDE OF FRAME.

**REFERENCE PLAN KEYNOTES:**

- 1 MAILBOXES
- 2 GARBAGE BINS
- 3 CANOPY ABOVE
- 4 FIRE DEPARTMENT CONNECTION
- 5 FIRE ALARM CONTROL PANEL

**LEGEND:**

- NOT IN CONTRACT
- NEW CONSTRUCTION
- 45 MIN. FIRE RESISTANCE RATING
- 60 MIN. FIRE RESISTANCE RATING
- 90 MIN. FIRE RESISTANCE RATING
- SHEAR WALL PER STRUCTURAL
- LOAD-BEARING WALL PER STRUCTURAL
- DOOR
- DOOR OPERATOR

STAMP

REV	DATE	ISSUE
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CLIENT

**BETTER LIVING  
CO-OPERATIVE**  
OTTAWA,  
ONTARIO, CANADA

PROJECT

**BLOCK 3  
REDEVELOPMENT**

1360 OGILVIE ROAD  
GLOUCESTER, ON K1J 9M6

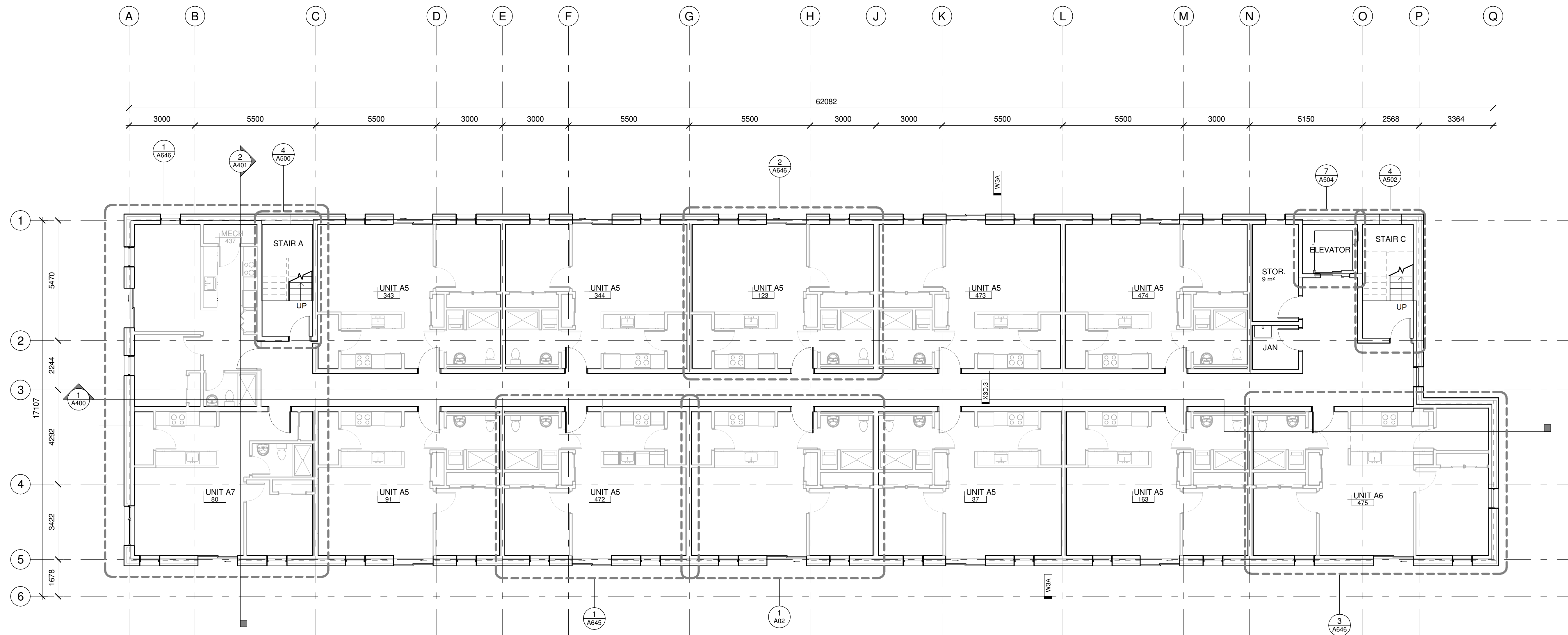
TITLE

**SECOND FLOOR PLAN**

PROJECT NO: 2022-2040  
DRAWN: KM, DF  
APPROVED: PM  
SCALE: 1:100  
DATE PRINTED: 2024-07-15 2:34:19 PM

REV DRAWING NO.

1 A203



**1** THIRD FLOOR KEY PLAN  
A204 1:100

STAMP

REV DATE	ISSUE
4	2024-07-15 Issued for SPC
3	2024-06-21 Issued for Coordination
2	2023-12-01 Issued for 33%
1	2023-09-13 Issued for Structural Coordination



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CLIENT

**BETTER LIVING CO-OPERATIVE**  
OTTAWA  
ONTARIO, CANADA

PROJECT

**BLOCK 3 REDEVELOPMENT**

1360 OGILVIE ROAD  
GLOUCESTER, ON K1J 9M6

TITLE

**THIRD AND FOURTH FLOOR PLAN (TYP.)**

PROJECT NO: 2022-2040  
DRAWN: KM, DF  
APPROVED: PM  
SCALE: 1:100  
DATE PRINTED: 2024-07-15 2:34:22 PM

REV DRAWING NO.

4 A204

**GENERAL REFERENCE PLAN NOTES:**

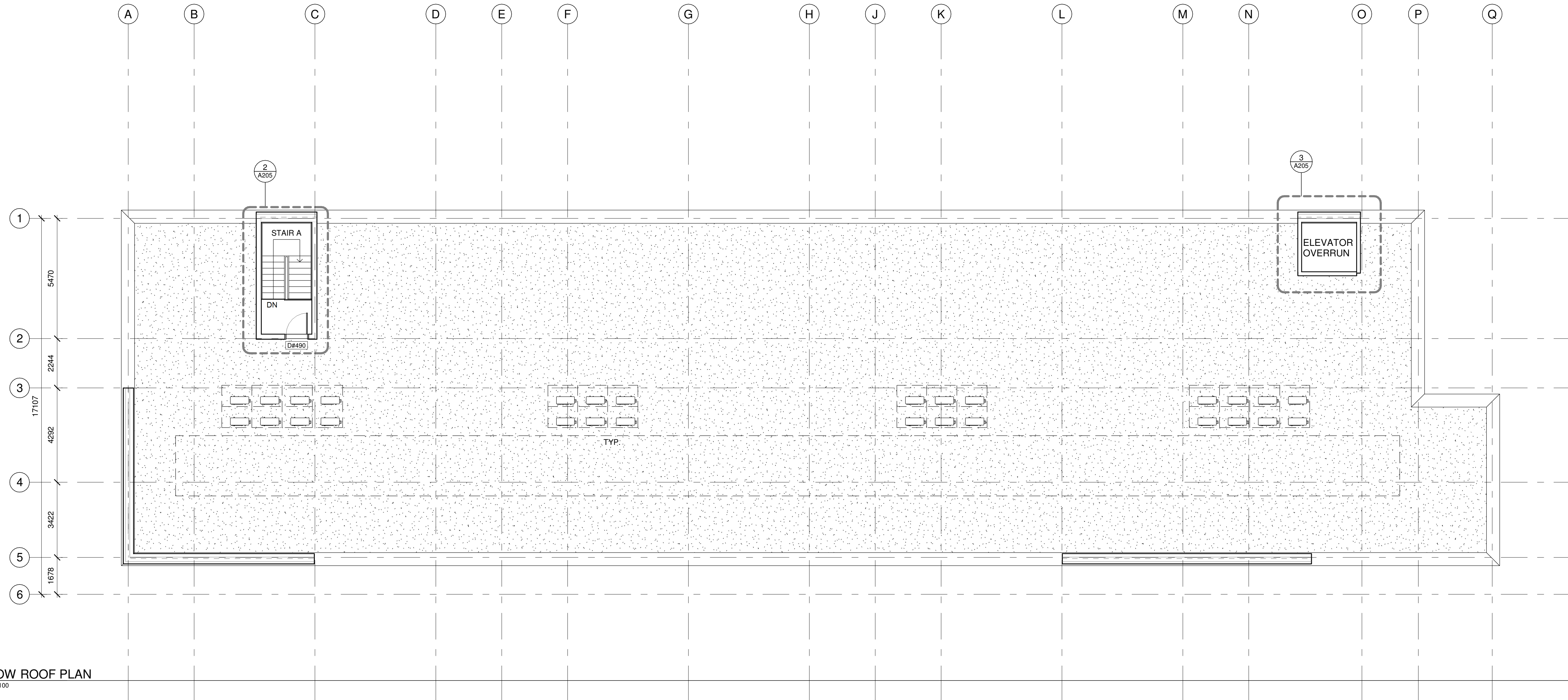
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**REFERENCE PLAN KEYNOTES:**

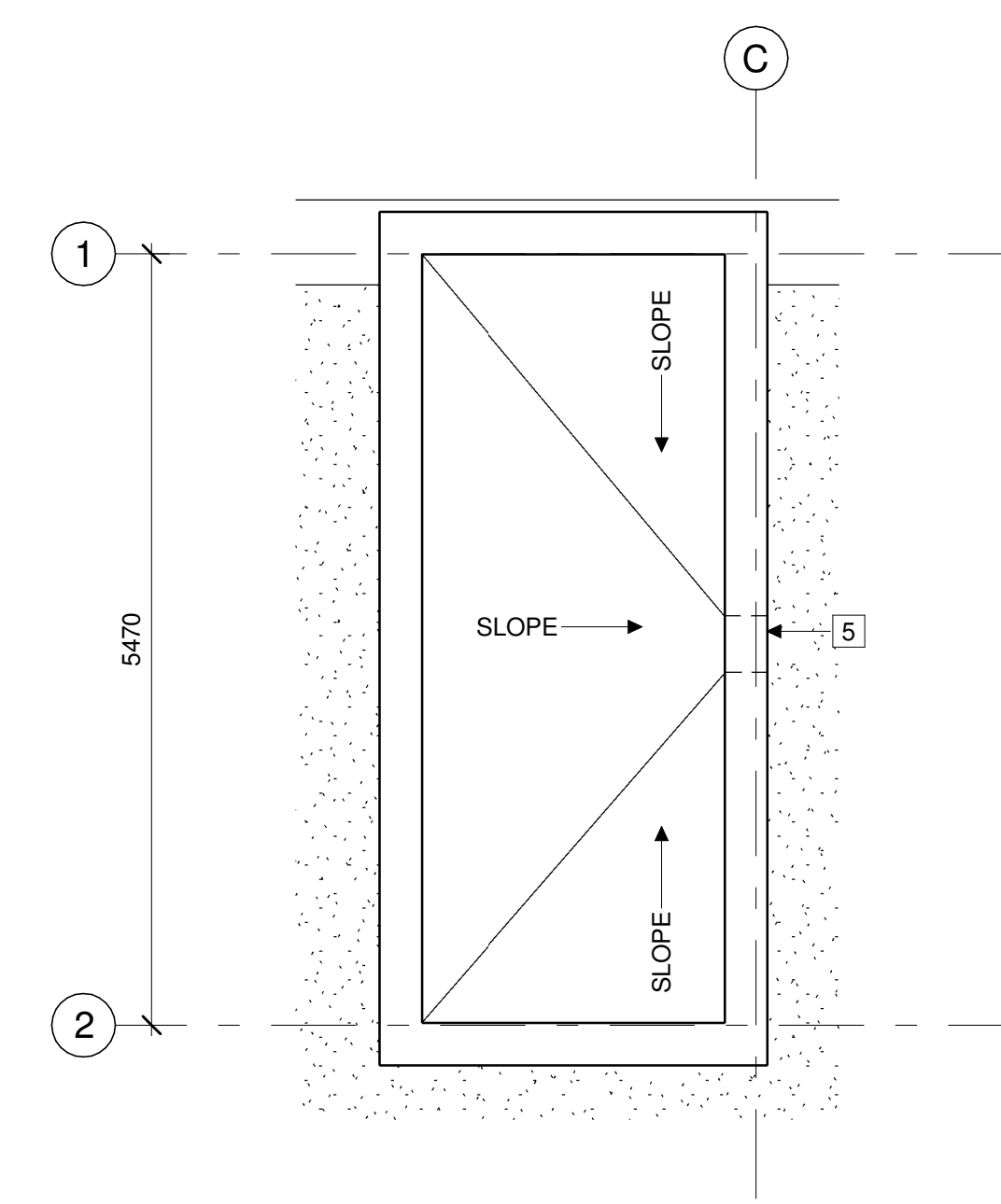
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- 2 GARBAGE BINS
- 3 CANOPY ABOVE
- 4 FIRE DEPARTMENT CONNECTION
- 5 FIRE ALARM CONTROL PANEL

**LEGEND:**

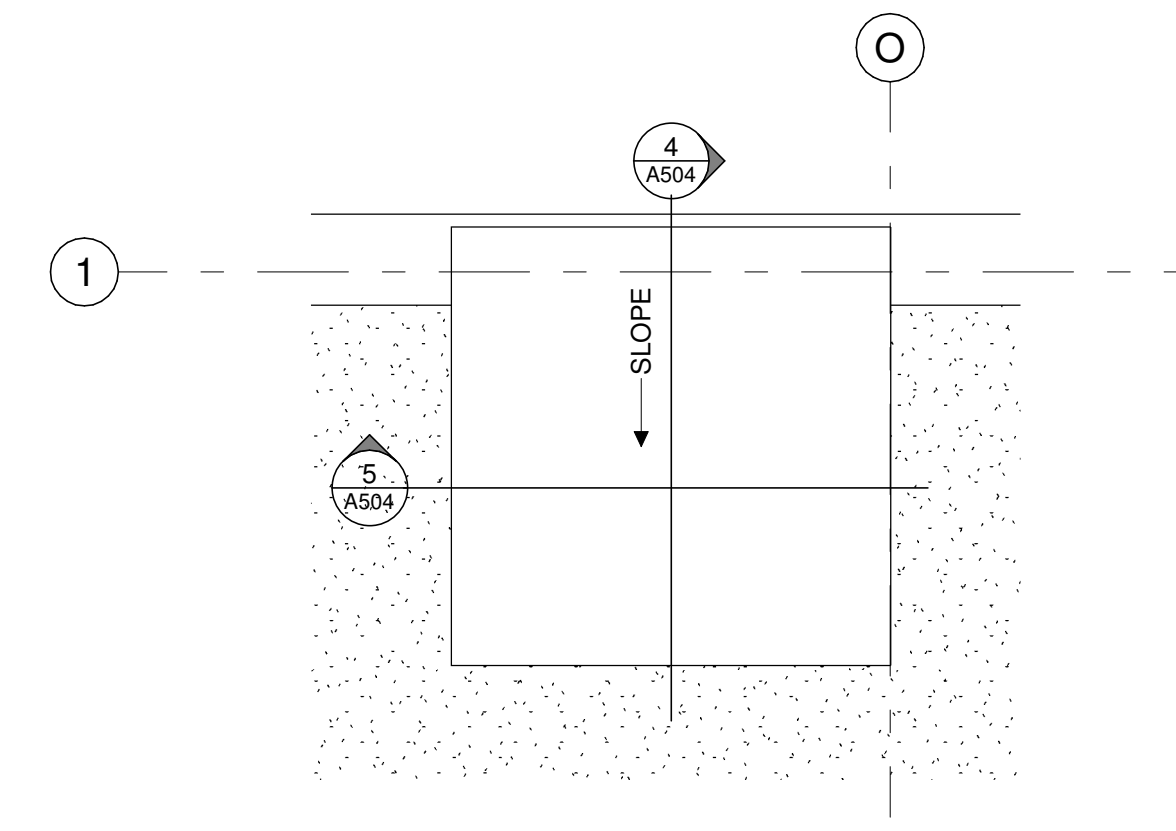
- NOT IN CONTRACT
- NEW CONSTRUCTION
- 45 MIN. FIRE RESISTANCE RATING
- 60 MIN. FIRE RESISTANCE RATING
- 90 MIN. FIRE RESISTANCE RATING
- SHEAR WALL PER STRUCTURAL
- LOAD-BEARING WALL PER STRUCTURAL
- DOOR
- DOOR OPERATOR



**1 LOW ROOF PLAN**  
A205 1:100



**2 STAIR A ROOF**  
A205 1:50



**3 ELEVATOR OVERRUN**  
A205 1:50

**ROOF PLAN NOTES:**

- 1. NOTES
- 2. NOTES

**ROOF PLAN KEYNOTES:**

- 1 ROOF DRAIN
- 2 ROOF FASCIA
- 3 PARAPET STRUCTURE
- 4 ELEVATOR OVERRUN
- 5 ROOF SCUPPER
- 6 CONDENSOR UNIT PER MECHANICAL
- 7 AREA OF SOLAR PANEL ARRAY
- 8 SAFETY CONTROL ZONE PERIMETER

**ROOF PLAN LEGEND:**

**STRUCTURAL ENGINEER**  
Cunliffe & Associates  
200, 1550 Carling Avenue  
Ottawa, Ontario K1Z 8S8  
613-729-7242  
cunliffe@cunliffe.ca

**MECHANICAL AND ELECTRICAL ENGINEER**  
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613-241-0030  
email@chorley.com

**LANDSCAPE ARCHITECT**  
James B. Lemox & Associates  
3332 Carling Avenue  
Ottawa, Ontario K2H 5A8  
613-722-5168

**CIVIL ENGINEER**  
name  
address  
phone  
email

**CIVIL ENGINEERS**  
McIntosh Perry  
115 Walgreen Road  
Carp, Ontario  
613-836-2184  
info@mcintoshperry.com



EXPOSED BUILDING FACE: 792m<sup>2</sup>  
EXPOSED UNPROTECTED OPENINGS: 186m<sup>2</sup> (23.5%)

T 3.2.3.1.D.  
MAX. EBF = 150 m<sup>2</sup> OR MORE  
LD = 7m  
PERMITTED UNPROTECTED OPENINGS = 66%

**2 WEST ELEVATION**

A300 1:100



EXPOSED BUILDING FACE: 202.6m<sup>2</sup>  
EXPOSED UNPROTECTED OPENINGS: 29.3m<sup>2</sup> (14.5%)

T 3.2.3.1.D.  
MAX. EBF = 150 m<sup>2</sup> OR MORE  
LD = 18m  
PERMITTED UNPROTECTED OPENINGS = 100%

**4 NORTH ELEVATION (OGILVIE RD.)**

A300 1:100

STAMP

1 2024-07-15 Issued for SPC  
REV DATE ISSUE

NOTES

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
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CLIENT

**BETTER LIVING CO-OPERATIVE**  
OTTAWA  
ONTARIO, CANADA

PROJECT

**BLOCK 3 REDEVELOPMENT**

1360 OGILVIE ROAD  
GLOUCESTER, ON K1J 9M6

TITLE

**EXTERIOR ELEVATIONS**

PROJECT NO: 2022-2040  
DRAWN: DF  
APPROVED: PM  
SCALE: As indicated  
DATE PRINTED: 2024-07-15 2:34:30 PM

REV DRAWING NO.

1 A300

**ELEVATION NOTES:**

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

**ELEVATION KEYNOTES:**

- 1 CURTAIN WALL
- 2 CANOPY
- 3 JULIETTE BALCONY
- 4 PREFINISHED METAL FLASHING
- 5 CONCRETE UPSTAND
- 6 ELEVATOR OVERRUN & ROOFTOP ACCESS
- 7 GARAGE DOOR
- 8 ROOF FASCIA
- 9 FINISHED GRADE
- 10 CEMENT PAVEMENT

**ELEVATION LEGEND:**

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
		BRICK VENEER MANUFACTURER: COLOUR:
		ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR:
		ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR:
		WOOD SIDING MANUFACTURER: COLOUR:
		FASCIA MANUFACTURER: COLOUR:



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PROJECT

**BLOCK 3 REDEVELOPMENT**

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TITLE

**EXTERIOR ELEVATIONS**

PROJECT NO: 2022-2040  
DRAWN: DF  
APPROVED: PM  
SCALE: As indicated  
DATE PRINTED: 2024-07-15 2:34:35 PM

REV DRAWING NO.

1 A301



**2 EAST ELEVATION**  
A301 | 1:100



**1 SOUTH ELEVATION**  
A301 | 1:100

**ELEVATION NOTES:**

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		ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR:
		WOOD SIDING MANUFACTURER: COLOUR:
		FASCIA MANUFACTURER: COLOUR: