



**Castleglenn
Consultants**

Engineers, Project Managers & Planners

Technical Memorandum

February 18th, 2025

Ms. Josiane Gervais

Transportation Services Department
City of Ottawa
110 Laurier Avenue

Re: 3555 Borrisokane Road, Proposed Korean Community Church Transportation Impact Assessment (Project #7320)

To support the development of the proposed Korean Community Church at 3555 Borrisokane Road, a Transportation Impact Assessment (TIA) was prepared and finalized on January 23rd, 2024, and forms the basis for this memo. This letter report has been prepared to address the changes between the original site plan considered in the TIA and the current updated plan that is being put forward.

Site Plan Modifications

An update was done to the site plan on January 8th, 2025. Minor alterations were made to the eastern parking layout, truck loading bay and snow storage area. The proposed church will also now be built out in two phases:

Phase 1: 2379 m² of the total 2909 m² (previously 2913.5m²) building will be constructed with four fewer parking spaces. The previously envisioned basketball court is to be reduced in size and made into a children's ministry worship chapel. The second chapel will also not be constructed during this phase.

Phase 2: The remaining 530 m² of the building will be constructed with three additional parking spaces, for a total of one fewer parking space than in the previous site plan.

A copy of the updated site is illustrated under Attachment "A".

Conclusion

The proposed development site plan for the Korean Community Church has been refined since the original TIA was prepared. This addendum has verified that phasing construction into two phases, with a building GFA reduction from 2913.5 m² to 2909 m² and a reduction in parking spaces by one space will have no impact on the operational analysis and that the 3555 Borrisokane Road TIA remains valid.

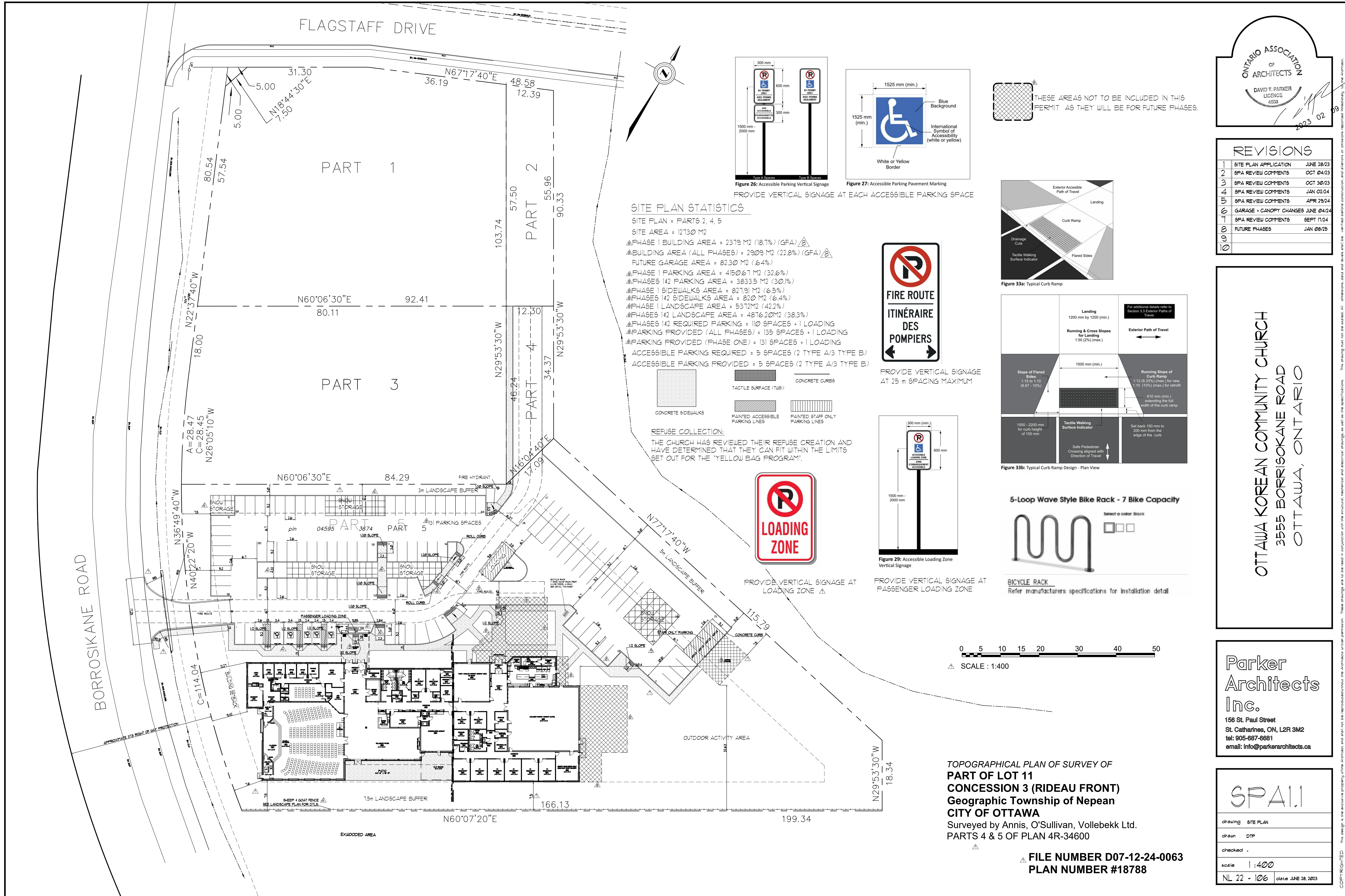
Respectfully


Mr. Arthur Gordon B.A. P.Eng
Principal Engineer
Castleglenn Consultants Inc.



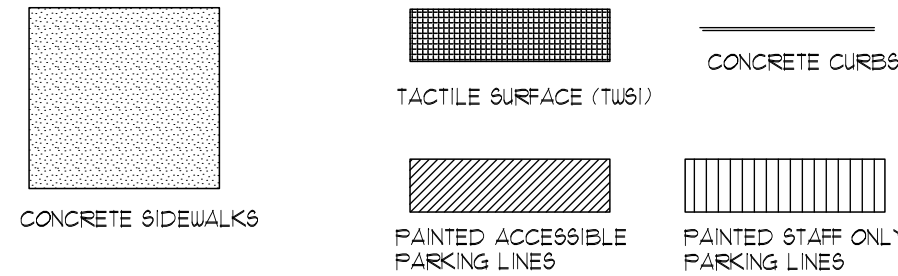

Mr. Konstantin Joulanov BAsc
Transportation Planner
Castleglenn Consultants Inc.

Attachment A: Site Plan (January 8th, 2025)



SITE PLAN STATISTICS

SITE PLAN = PARTS 2, 4, 5
SITE AREA = 12130 M2
PHASE 1 BUILDING AREA = 2379 M2 (18.7%) (GFA) / 8
BUILDING AREA (ALL PHASES) = 2903 M2 (22.8%) (GFA) / 8
FUTURE GARAGE AREA = 8230 M2 (6.4%)
PHASE 1 PARKING AREA = 4150.67 M2 (32.6%)
PHASES 142 PARKING AREA = 3833.5 M2 (30.1%)
PHASE 1 SIDEWALKS AREA = 827.91 M2 (6.5%)
PHASES 142 SIDEWALKS AREA = 820 M2 (6.4%)
PHASE 1 LANDSCAPE AREA = 5372 M2 (42.2%)
PHASES 142 LANDSCAPE AREA = 4876.20 M2 (38.3%)
PHASES 142 REQUIRED PARKING = 110 SPACES + 1 LOADING
PARKING PROVIDED (ALL PHASES) = 135 SPACES + 1 LOADING
PARKING PROVIDED (PHASE ONE) = 131 SPACES + 1 LOADING
ACCESSIBLE PARKING REQUIRED = 5 SPACES (2 TYPE A/3 TYPE B)
ACCESSIBLE PARKING PROVIDED = 5 SPACES (2 TYPE A/3 TYPE B)



REFUSE COLLECTION:
THE CHURCH HAS REVIEWED THEIR REFUSE CREATION AND HAVE DETERMINED THAT THEY CAN FIT WITHIN THE LIMITS SET OUT FOR THE "YELLOW BAG PROGRAM".



PROVIDE VERTICAL SIGNAGE AT LOADING ZONE

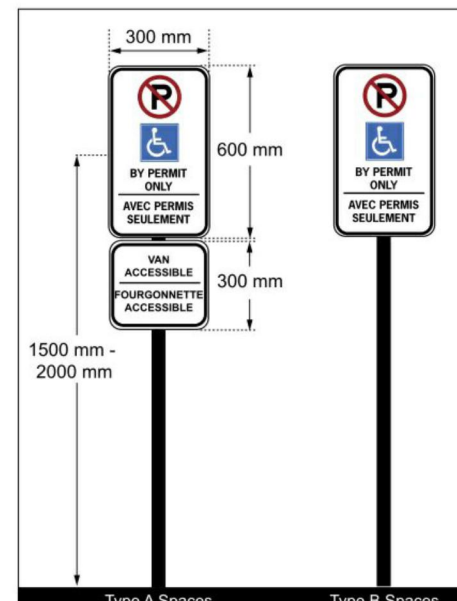


Figure 26: Accessible Parking Vertical Signage

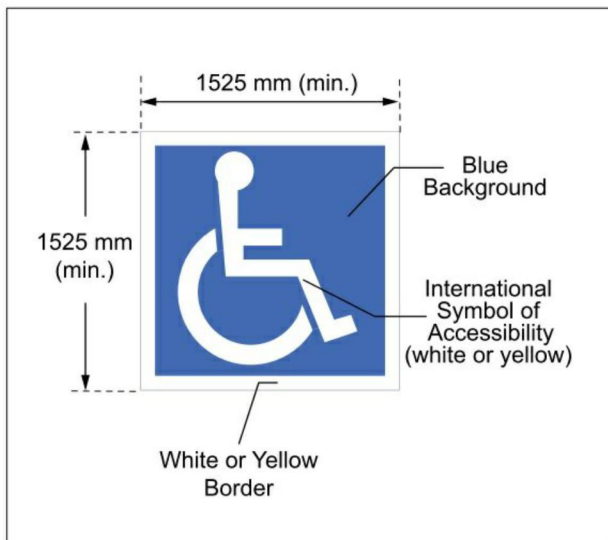


Figure 27: Accessible Parking Pavement Marking

PROVIDE VERTICAL SIGNAGE AT EACH ACCESSIBLE PARKING SPACE



PROVIDE VERTICAL SIGNAGE AT 25 m SPACING MAXIMUM

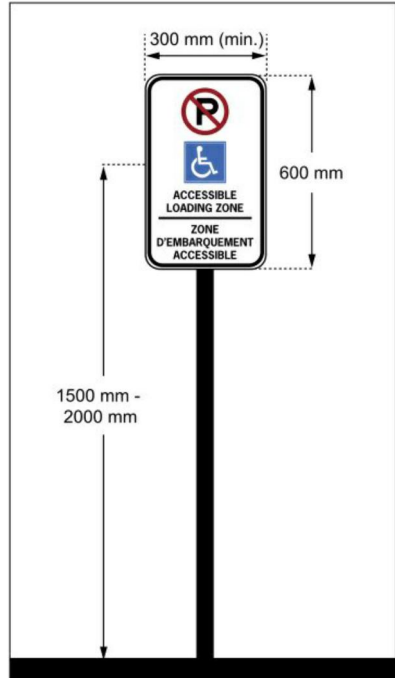


Figure 29: Accessible Loading Zone Vertical Signage

PROVIDE VERTICAL SIGNAGE AT PASSENGER LOADING ZONE

THESE AREAS NOT TO BE INCLUDED IN THIS PERMIT AS THEY WILL BE FOR FUTURE PHASES.

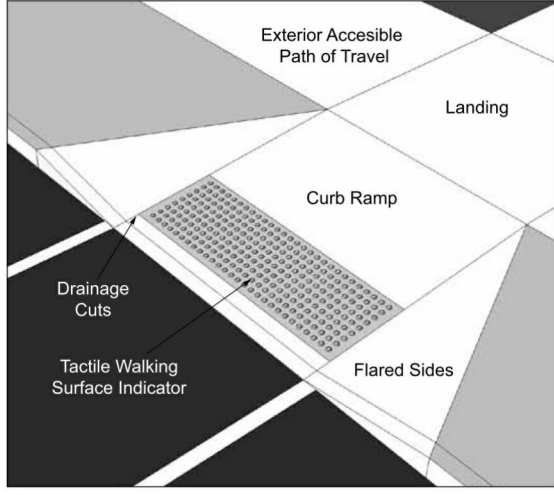


Figure 33a: Typical Curb Ramp

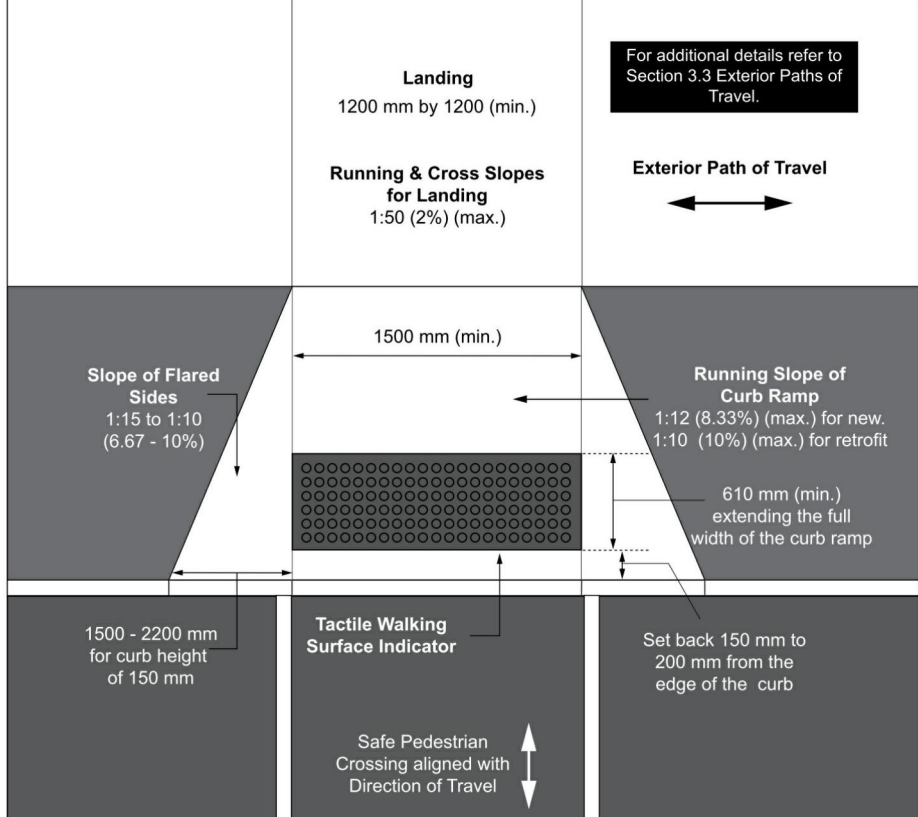
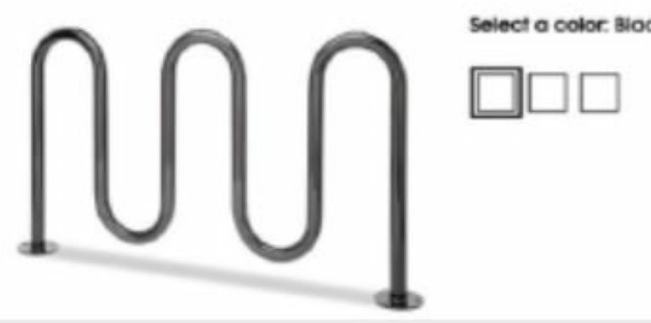


Figure 33b: Typical Curb Ramp Design - Plan View

5-Loop Wave Style Bike Rack - 7 Bike Capacity



Refer manufacturers specifications for installation detail



REVISIONS		
1	SITE PLAN APPLICATION	JUNE 28/23
2	SPA REVIEW COMMENTS	OCT 04/23
3	SPA REVIEW COMMENTS	OCT 30/23
4	SPA REVIEW COMMENTS	JAN 02/24
5	SPA REVIEW COMMENTS	APR 29/24
6	GARAGE + CANOPY CHANGES	JUNE 04/24
7	SPA REVIEW COMMENTS	SEPT 17/24
8	FUTURE PHASES	JAN 08/25
9		
10		

OTTAWA KOREAN COMMUNITY CHURCH
3555 BORRISOKANE ROAD
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SPA11	
drawing	SITE PLAN
drawn	DTP
checked	.
scale	1:400
NL 22 - 106	date JUNE 28, 2023

TOPOGRAPHICAL PLAN OF SURVEY OF
PART OF LOT 11
CONCESSION 3 (RIDEAU FRONT)
Geographic Township of Nepean
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.
PARTS 4 & 5 OF PLAN 4R-34600

FILE NUMBER D07-12-24-0063
PLAN NUMBER #18788