

Design Brief - Site Plan Approval

Larga Baffin 1452-1470 Hunt Club Road + 1525-1545 Sieveright Avenue

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DATE: 2024-07-12



1.0 Project Description / Statistics

1.1 Project Summary

1.1.1 The Larga Baffin Ottawa facility is a five-storey medical boarding home designed to serve residents from Nunavut who are travelling to Ottawa for medical treatment. A residential occupancy within the Building Code, the facility is designed using a series of wings of residential dwelling rooms, each including its own washroom. Dining and social activities are supported by dining rooms on the ground floor, and social lounges on each level. Mechanical systems are centralized and housed in large part within a rooftop mechanical penthouse. Parking is provided for staff within one-level below grade.

The surrounding landscape is designed to serve the resident population of the building, including a north-facing courtyard and east-facing garden designed with areas for seating, and two roof-top terraces on the second floor that include provisions for children.

Vehicular entry is provided from Hunt Club Road, accessing a drop-off area immediately adjacent to the front door, with visitor parking and access to the underground from the south elevation of the building. Outgoing traffic can utilize an exit to Sieveright, which is provided with a control gate.

Loading and servicing is accommodated on the south elevation of the building including a loading room, garbage set-out area, and access to the on-site electrical transformer.



Overview Rendering 1: Aerial view looking east showing building in larger context

1.2 Project Statistics

1.2.1 The chart below includes the statistics of the site and the building, including lot coverage, floor area, programming breakdown and building height information.

Site Statistics

| | |
|---|---------|
| Lot Area (m ²) | 19,965 |
| Lot Coverage | 21.0% |
| Landscaped Area of Parking Lots | 0.0% |
| Landscaped Area of Entire Site | 66.7% |
| Lot Frontage (m) - Hunt Club Road | 80.5 |
| Lot Frontage (m) - Sieveright Avenue | 129.9 |
| Lot Depth (m) - Existing Condition | 192.4 |
| Lot Depth (m) - After Hunt Club Road Right-of-Way Expansion | 188.3 |
| GFA of Existing Buildings (m ²) | 2,936.4 |

Floor Area Summary (m²):

| | Total (m ²) | P1 | GF | 2F | 3F | 4F | 5F | Mech. |
|--|-------------------------|-------|-------|-------|-------|-------|-------|-------|
| Footprint Area (rounded) | | 3,890 | 4,190 | 3,489 | 3,489 | 3,489 | 3,489 | 701 |
| GFA (refer to adjacent plan diagrams for included areas) | 11,116 | 0 | 2,511 | 2,131 | 2,158 | 2,158 | 2,158 | 0 |

Program Breakdown Summary

| | Total | P1 | GF | 2F | 3F | 4F | 5F | Mech. |
|---|-------|----|----|----|----|----|----|-------|
| Number of Units | 176 | | 22 | 22 | 44 | 44 | 44 | |
| Number of Beds | 350 | | 43 | 43 | 88 | 88 | 88 | |
| Number of Resident Washrooms (toilet + sink + shower) | 176 | | 22 | 22 | 44 | 44 | 44 | |
| Number of Public / Staff Washrooms (toilet + sink) | 17 | | 12 | 5 | | | | |
| Existing Parking Spaces To Be Removed | 0 | | | | | | | |
| Proposed Parking Spaces (0.25 per dwelling unit) (44 Req.) <i>No GFA used for medical, health or personal services</i> | 94 | 81 | 13 | | | | | |
| Bike Parking Spaces (0.25 per unit) (0.25 per staff) (69 Req.) | 70 | 60 | 10 | | | | | |

Staff Summary

| | |
|--|-----|
| Number of Staff Total (full and part-time) | 175 |
| Number of Staff on-site at any one time | 100 |

Building Height Statistics

| | |
|-------------------------------------|---------|
| Storeys | 5 |
| Top of Roof Slab | 19.30 m |
| Top of Roof | 19.55 m |
| Top of Roof Parapet | 19.90 m |
| Top of Mechanical Penthouse Slab | 25.30 m |
| Top of Mechanical Penthouse Roof | 25.55 m |
| Top of Mechanical Penthouse Parapet | 25.90 m |
| Overall Building Height | 25.90 m |

1.3 City of Ottawa Official Plan (2022)

1.3.1 The proposed development was subject to Official Plan Amendment and Zoning By-law Amendment applications that were approved in July 2022 (OPA 281 & Zoning By-law No. 2022-233), with a subsequent decision in June 2023 by the Ontario Land Tribunal to dismiss the appeal against Zoning By-law No. 2022-233 and to enact OPA 281.

1.3.2 The subject property is located within the Outer Urban Transect and is designated “Neighbourhood”. The Outer Urban Transect is generally planned for low- to mid-density development, while the Neighbourhood designation provides direction for building heights of low-rise unless existing zoning allows for greater building heights. For the subject property, the Zoning By-law permits a maximum building height of 22 metres. A range of residential and non-residential uses are permitted within the Neighbourhood designation, including housing options that address missing middle housing and smaller institutional functions. In addition to the permitted uses outlined in Section 6.3.1 of the Official Plan, Section 4.2.3 of the Official Plan provides direction for housing as it relates to those households with the lowest 40 percent of income levels as well as other vulnerable groups. This section of the Official Plan recognizes that many individuals may not constitute nor form part of a household and may rely on long-term housing other than a traditional dwelling unit. The Official Plan permits, in any zone where a residential use is permitted, alternative, cooperative or shared accommodation housing, including a residential care facility.

The proposed development consists of a 19.9 metre (five (5) storey) residential care facility fronting onto Hunt Club Road. The proposed development represents temporary housing to individuals from Nunavut who are seeking medical care that would not otherwise be available in their northern communities. As residential uses are permitted within the Neighbourhood designation, the proposed development is appropriately located on the subject property within the Neighbourhood designation in accordance with Section 4.2.3 of the Official Plan.

Section 4.6 of the Official Plan provides urban design direction for the City of Ottawa. The subject property is not located within a Design Priority Corridor and is not located on a Mainstreet Corridor or a Scenic Entry Route. The Official Plan includes policy direction to minimize impacts on neighbouring properties and on the public realm and includes transition requirements for mid-rise and high-rise buildings. The Official Plan states that transitions between mid-rise and high-rise buildings, and adjacent properties designated as Neighbourhood, will be achieved by providing a gradual change in height and massing, through the stepping down of buildings and setbacks from the low-rise properties. The proposed development is a five (5) storey building situated on a large lot. The proposed development includes a 27.3 metre setback from the east property line that abuts the existing residential properties on Issam Private. This setback is greater than the proposed building height and results in suitable transition between the residential care facility and existing single-detached dwellings to the east. The proposed development is consistent with the urban design policy direction of the Official Plan.

1.4 South Keys to Blossom Park, Bank Street Community Design Plan (CDP)

1.4.1 The South Keys to Blossom Park, Bank Street Community Design Plan (CDP) was completed in September 2015. A Secondary Plan of the same name was repealed in 2022 as part of the adoption of a new Official Plan. The subject property is designated as General Mixed Use and Future Land Use Study on Figure 26 – Land Use Map. Through the previous Official Plan Amendment, the Future Land Use Study designation was removed from the subject property in the Secondary Plan. For the purposes of reviewing the CDP for the proposed, the subject property will be considered as General Mixed Use in accordance with the Future Land Use Study that was provided as part of the previous Official Plan Amendment and Zoning By-law Amendment applications.

Section 3.4.4 of the CDP provides direction for the General Mixed-Use designation along Hunt Club Road. The purpose of the General Mixed-Use Area is to allow flexibility in permitted land uses and built form but at building heights that support increased density. A mix of land uses such as retail, service commercial, office, residential and institutional is preferred along Hunt Club Road, and buildings up to six (6) storeys in height are permitted. The proposed development of a residential care facility is permitted within the General Mixed-Use area of the CDP and has been designed as a five (5) storey building, consistent with the CDP.

Section 3.7 of the CDP provides direction for open space and greening improvements to the public realm. The CDP directs that street trees be planted along all

rights-of-way including Hunt Club Road. As indicated on the Landscape Plan, new trees have been proposed along the Hunt Club Road frontage and Sieveright Avenue frontage of the subject property.

The proposed development responds to the South Keys to Blossom Park, Bank Street CDP as it relates to permitted uses, building heights, and design.



Figure 02: View from inside the Property looking north toward Hunt Club Road



Figure 03: View from inside the Property looking south toward Sieveright Avenue



Figure 04: View from inside the Property looking south toward rear yards of houses on Sieveright Avenue



Figure 05: View from inside the Property looking east toward rear yards of houses on Issam Private

2.2 Building Scale

2.2.1 The overall scale of the project was designed to cohesively integrate within the current context as well as future intensification (Figures 02-05). The position of the Project close to Hunt Club Road aligns with the setbacks of existing neighbours, while providing a larger buffer to transition between heights (Figure 06). The

proposed 5 storey building took into account the Official Plan and six-storey planning permissions in zoning, allowing the Project to better integrate into a context of projected intensification.

2.2.2 At the south end of the Property (Figures 07-08) lower heights and less dense development are permitted. The current proposal leaves this portion of



Figure 06: Aerial view looking east showing building in larger context

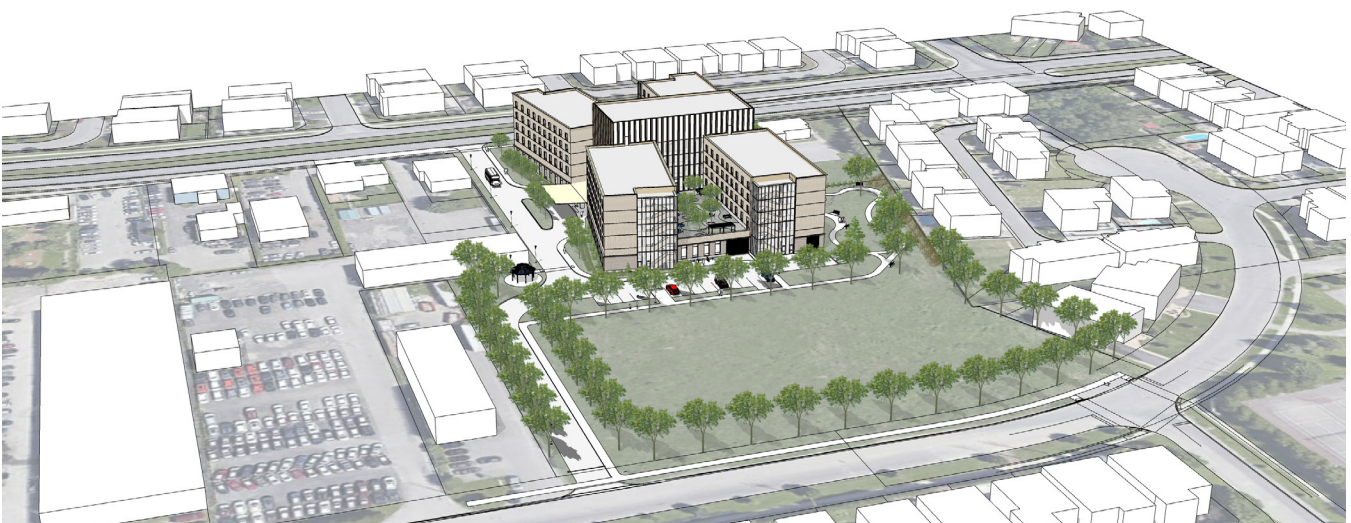


Figure 07: Aerial view looking north showing building in larger context

the site as landscape with potential low-rise residential development anticipated in a future phase. This situates the project comfortably within a context of lower-scaled residential and commercial properties along Sieveright Avenue.

2.2.3 The mass of the building is laid out into four distinguishable wings. As seen from Hunt Club Road

(Figure 09), the Project presents two relatively narrow wings separated by a landscape courtyard. The dimension of the wings, and their spacing across the courtyard helps break down the building mass into a finer grain of development not dissimilar to the frontage dimensions of adjacent properties. It allows courtyard landscaping to meld with the circulation of the context, integrating itself with its environment.



Figure 08: Aerial view looking west showing building in larger context



Figure 09: Aerial view looking south showing building in larger context

2.3 Building Massing

2.3.1 The plan configuration of the Project, as described previously, is characterized by four wings creating two courtyards, one facing Hunt Club Road and the other facing Sieveright Avenue (Figures 12-13). This configuration allows each residential unit to have access to light and views, allows courtyard landscaping to play a meaningful role in the interior life of the building at all levels, and breaks down the overall massing of the building into smaller component parts.

2.3.2 The dimension of each wing is approximately 18m in width by 40m in length. Each wing is distinguished from the communal spaces at the centre of the plan through plan recesses at the main entrance and at the centre of the east elevation that are further emphasized by a change in the materials used in the cladding (Figures 10-11). A similar material change occurs at the head of each courtyard, where the dining areas on each floor are located and provided with significant window areas to overlook the landscape below.

2.3.3 Each wing of the Project is articulated vertically with a change of cladding material above the ground



Figure 10: Building Massing - West Elevation



Figure 11: Building Massing - East Elevation

floor, from brick masonry to wood cladding. This establishes a solid masonry base for the building that relates to the typical masonry cladding materials used in residential buildings in the area, with a lighter and smoother cladding material above.

2.3.4 The central block of the building massing is proposed to be characterized by a vertical cladding language incorporating vertical fins with glass (Figures 10-13). This vertical language extends up to the mechanical penthouse itself, leading to the penthouse's meaningful integration into the massing and materiality of the Project.

2.3.5 The height of the Project was established through careful consideration of the floor-to-floor dimensions required to accommodate Larga Baffin's Functional Program including its structural, mechanical and electrical requirements. The height of each wing is 19.9m while the central block that also houses the mechanical penthouse is 25.9m. This stepping articulates the massing of the wings while creating a gentler transition to neighbouring properties.



Figure 12: Building Massing - North Elevation



Figure 13: Building Massing - South Elevation

2.4 Building Transitions

2.4.1 Relationship to Residential Uses on Issam Private:

- In order to limit impacts of the Project on the rear yards of the existing single-family housing on Issam Private (to the east of the Property), the Project is setback 8.2m from the eastern property line where it abuts Hunt Club Road (see Figure 14). Immediately to the east of the Property in this location is 1480 Hunt Club Road, a property zoned General Mixed Use and currently accommodating a single-storey commercial dentistry office.
- South of 1480 Hunt Club Road, the Property line jogs to the east, where it directly abuts the single-family housing lots of 106, 110, 116, 120, and 124 Issam Private and 1551 Sieveright Avenue. Within this territory, the building setback to an adjacent residential property line is 27.3m at its closest point (see Figure 15). This setback in conjunction with the 19.9M building height also allows for a 45 degree angular plane to be met.

2.4.2 Relationship to General Mixed-Use District properties on Hunt Club Road:

- The properties immediately adjacent to the Property, to the east (1480 Hunt Club Road) and west (1450 Hunt Club Road), are within General Mixed Use zones, with as-of-right provisions allowing for intensification including an 18m height permission and a mix of residential and non-residential uses. While these properties currently continue to host low-rise, house-form buildings, it is anticipated that over time these properties will be redeveloped as the Hunt Club Road corridor develops creating a cohesive frontage along Hunt Club Road (see Figure 16).

2.4.3 Relationship to Residential Uses on the south side of Sieveright Avenue:

- The south wall of the Project is 88.7 m away from the property line on Sieveright Avenue, allowing the Project to have minimal impact on the houses to the south (see Figure 21). Furthermore, the existing single-family houses across from the Property on Sieveright Avenue are back-lotted with significant fencing and hedge planting along the Sieveright Avenue property line, meaning it is the rear-yards of the houses that face Sieveright Avenue with the front yards and main addresses facing Hank Rivers Drive to the south.

2.4.4 Relationship to Residential Uses on north side of Hunt Club Road:

- The existing single-family houses north of the Property on Hunt Club Road include side-lotted single-family houses facing Dunston Terrace and Rywalk Circle, along with single-family houses that front onto Rywalk Circle where it forms a window street onto Hunt Club Road. The right-of-way width of Hunt Club Road is currently approximately 36.4m (see Figure 19). Where residential properties face onto Hunt Club Road a significant noise wall exists (see Figures 17 and 18). Where Rywalk Circle creates a window street condition, the closest residential front yard property line is 50.6m from the Property (see Figure 19). Due to the factors of distance along with the existing noise wall, impacts of the Project onto these properties are minimal.

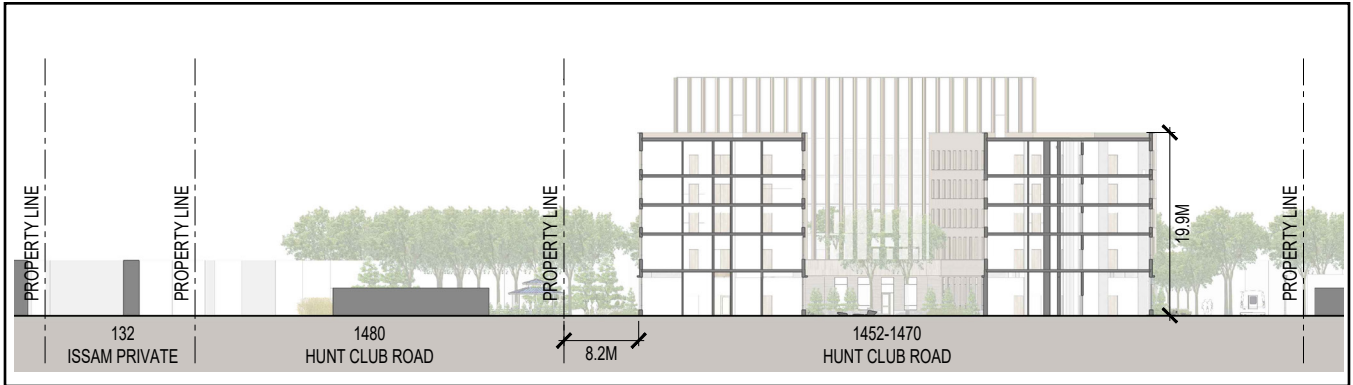


Figure 14: East-west cross section adjacent to Hunt Club Road looking south, noting 8.2m setback from property line

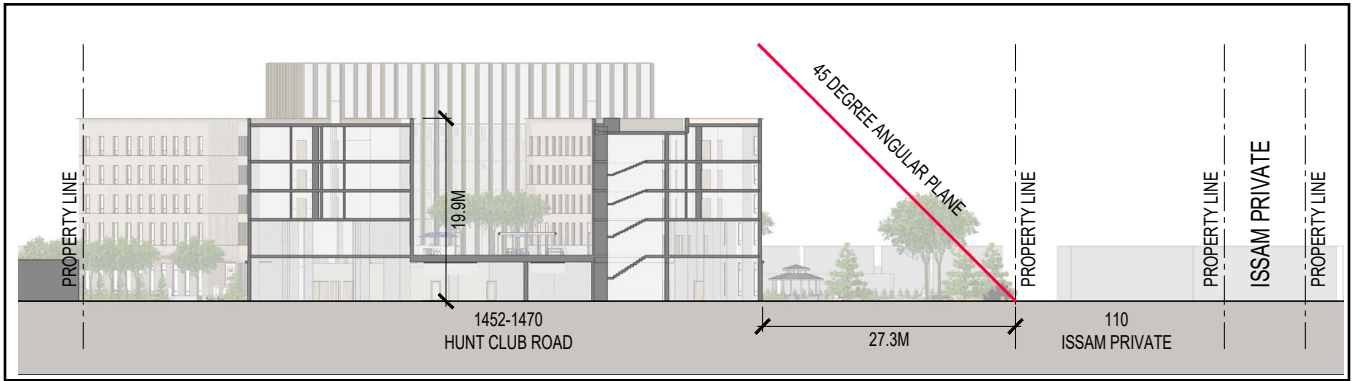


Figure 15: East-west cross section at the closest point between Project and property line, looking north

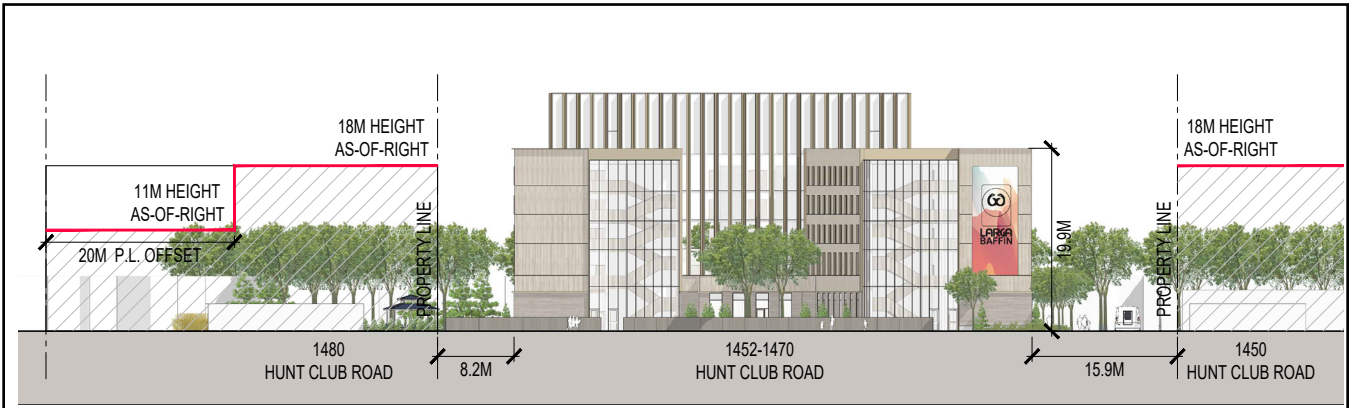


Figure 16: East-west cross section adjacent to Hunt Club Road looking south, showing as-of-right built-form condition along Hunt Club Road frontage



Figure 17: View of Hunt Club Road looking east, with noise wall on north side of the right-of-way visible at left



Figure 18: View of north side of Hunt Club Road where Rywalk Crescent forms a window street

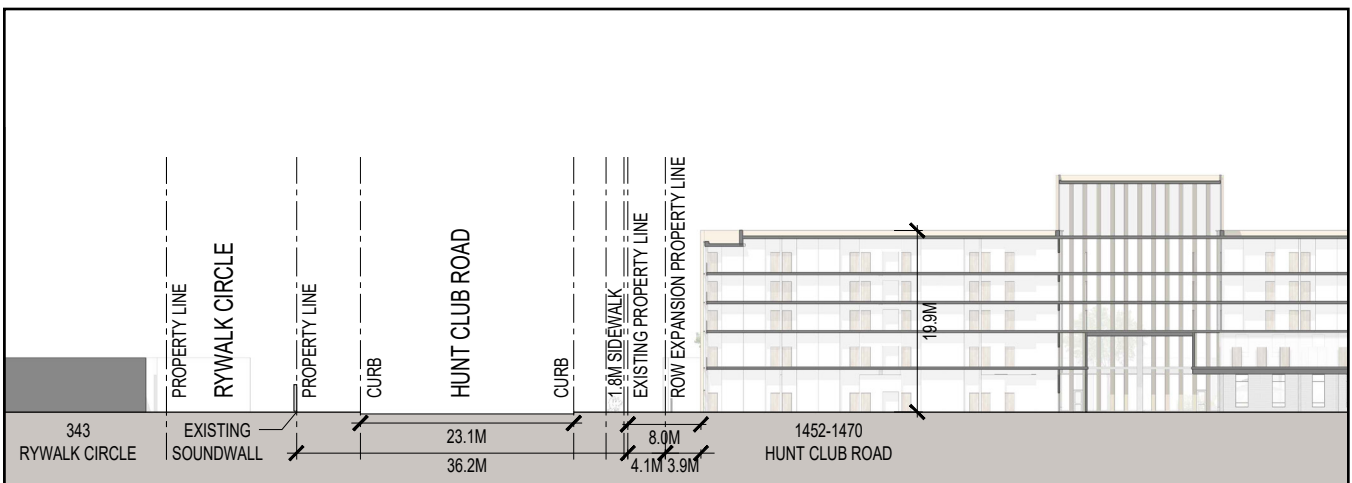


Figure 19: Cross-section north-south through Hunt Club Road



Figure 19: View of Sieveright Avenue looking southwest



Figure 20: View from centre of Property looking south toward Sieveright Avenue



Figure 21: Cross-section north-south through Sieveright Avenue

2.5 Building Design - Plans & Elevations

2.5.1 The design of the Project's floor plans were significantly informed by recommendations contained within the Long-Term Care Home Design Manual (2015).

2.5.2 The ground floor of the Project (Figure 22) includes spaces required for communal client activities, Larga Baffin administration areas, staff support areas, food preparation, loading and support functions, and storage provisions for clients. Of note is the country food room which is designed to prepare and serve traditional Inuit meals. Additional office space areas are also provided adjacent to the main entrance of the building. The two north facing wings flanking the exterior courtyard are

residential areas reserved for elder clients to allow for ease of access during their stay. There are 22 suites on the ground floor composed of a mixture of private single, shared and double-room unit types making up a total of 43 beds.

2.5.3 Vertical circulation is accommodated by three elevators at the centre of the plan, one of which functions as a service elevator. There is a scissor-stair at the centre of the plan which exits at the main building entry, along with additional exit stairs at the end of each wing. These four stairs will be glazed towards the exterior, acting as distinct architectural features visible from the street.

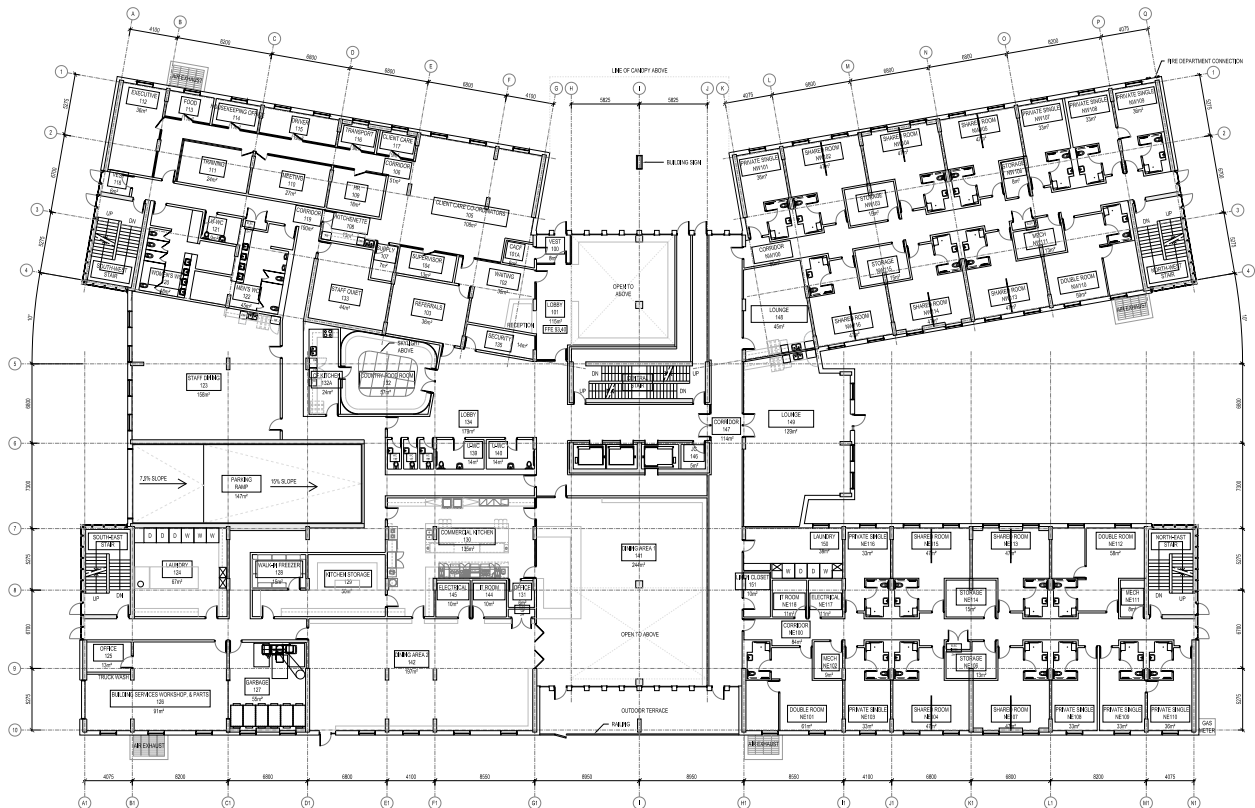


Figure 22: Ground floor plan

2.5.6 The Project's typical residential floors 2-5 (Figure 24) are configured as two mirrored resident home areas. Each resident home area is configured in a c-shape, with two wings surrounding a courtyard. Client rooms are double-loaded along the wings, and communal spaces including servery/lounge areas are positioned at the centre of the plan.

2.5.3 Eighty-eight (88) beds are accommodated within each typical resident floor in a mixture of private single, shared and double-room unit types (44 units total per typical floor). The private single and shared room types are taken directly from the Long-Term Care Home guidelines, whereas the double-room typology was developed as a larger unit type that could, in future, be subdivided into two private single rooms (the dimension of the double-room is exactly two-times the dimension

of a private single room). Including the two residential wings on the first and second floors, the building provides a total of 350 beds distributed across 176 units.

2.5.5 The design of client rooms, corridors and common areas prioritizes access to natural light and views. The number of clients within each resident home area facilitates a more intimate community feel amongst clients who share common areas and laundry facilities, and is anticipated to better support distinct populations within the Larga Baffin clientele who may benefit from being with others of the same age or family grouping. For example, traditionally elders are housed together, and clients who are children, or are accompanied by young children, may also benefit from co-location within one wing or floor.

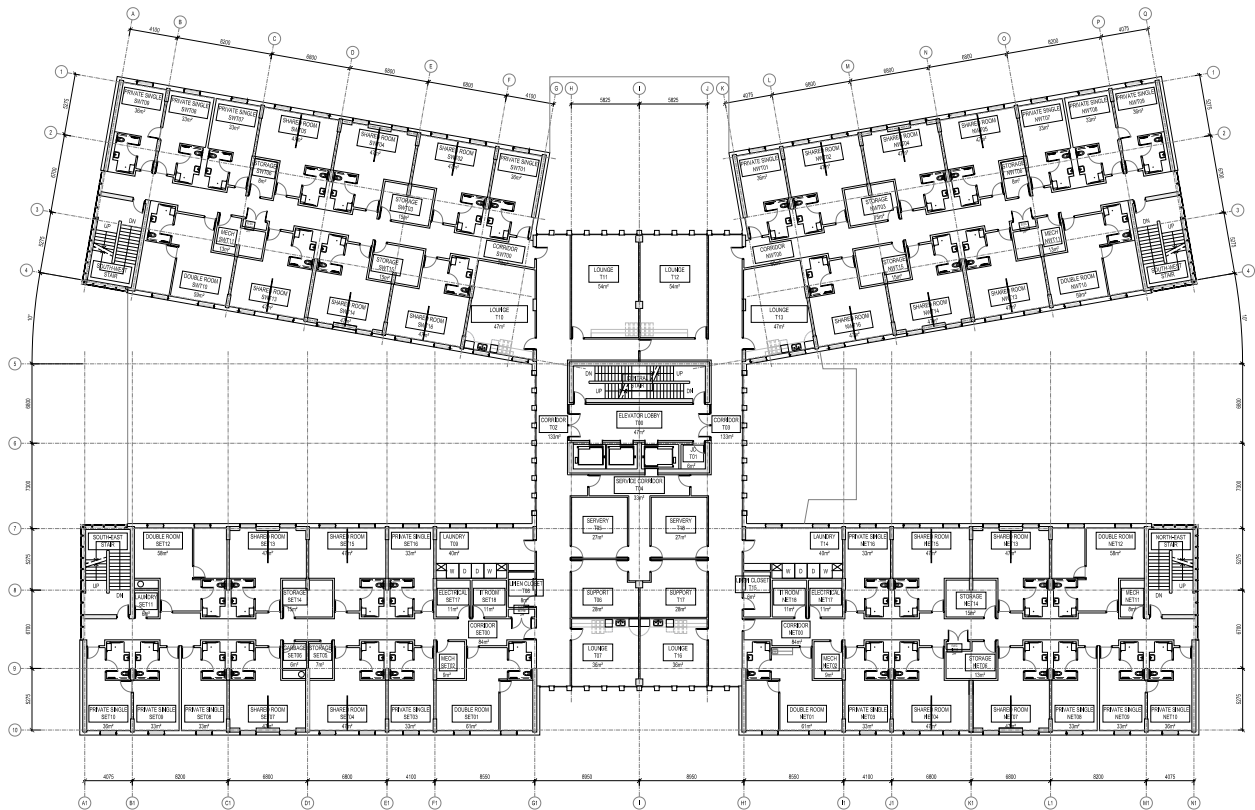


Figure 24: Typical residential floor plan

2.5.8 The roof level of the Project (Figure 25) includes a mechanical penthouse that is integrated into the design of the Project and screened from view by a wall surrounding all sides (including exterior areas). This penthouse is anticipated to be accessed by service technicians only.

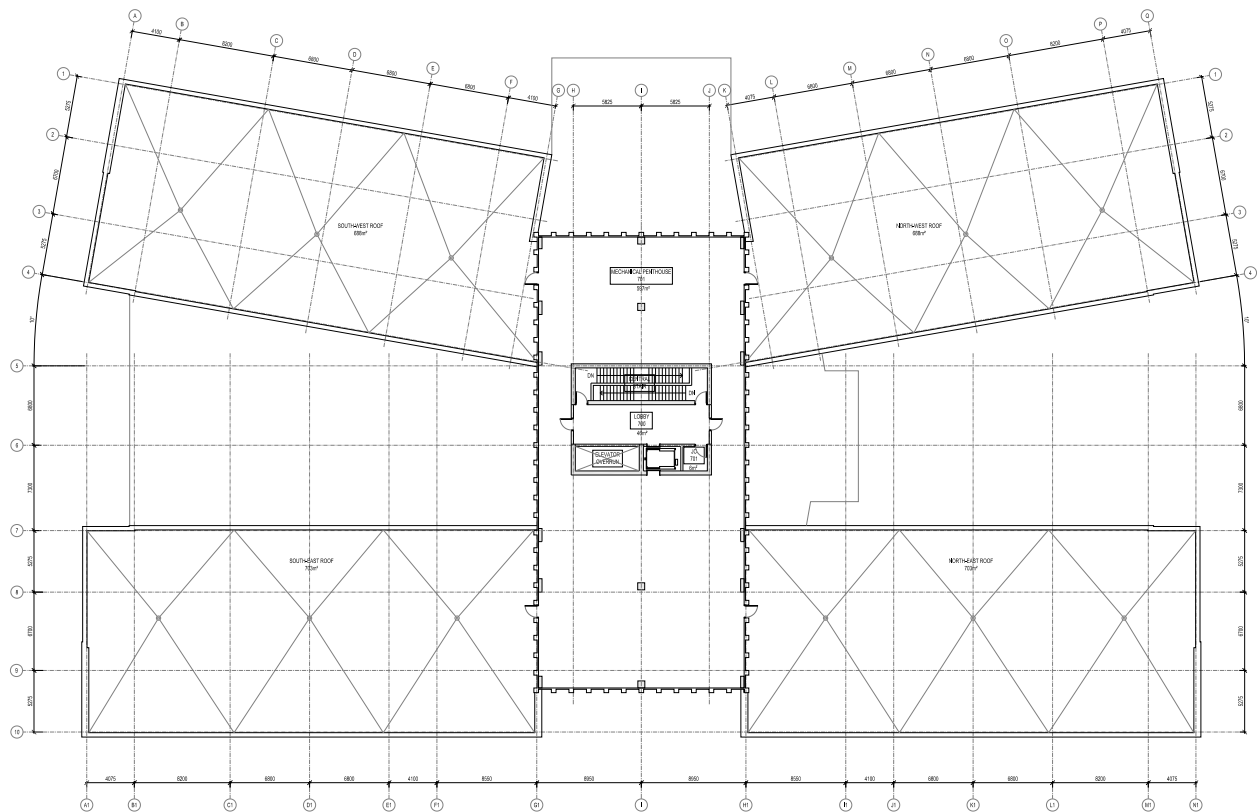


Figure 25: Roof plan



Figure 27: View looking north



Figure 28: View of main entry

2.5.8 The ground floor height of 5.0m floor-to-floor and second floor height of 4.0m floor-to-floor reflects the mix of uses anticipated on these levels and the adaptability required over time (Figures 29-33). Within mixed-use buildings, typically ground floor heights are taller than the floors above for this reason. Office uses are also typically provided a taller floor-to-floor dimension than residential uses.

2.5.9 The typical residential floors have a height of 3.15m floor-to-floor to reflect the requirements of the structural and HVAC systems anticipated within the building, including beam depths and duct work crossings. The top residential floor is provided with additional height (4.0m floor-to-floor) to accommodate roof drain piping and other infrastructure coming down from the roof level.

2.5.10 Above the fifth floor a parapet extension of 600mm (0.6m) is provided in order to contain rooftop insulation and drainage, establishing the overall height of the main portion of the building to be 19.9m from grade to the top of the parapet.

2.5.11 The mechanical penthouse is anticipated as 6.0m floor to floor, a typical height provision for mechanical penthouse spaces as informed by the Project's mechanical engineer.

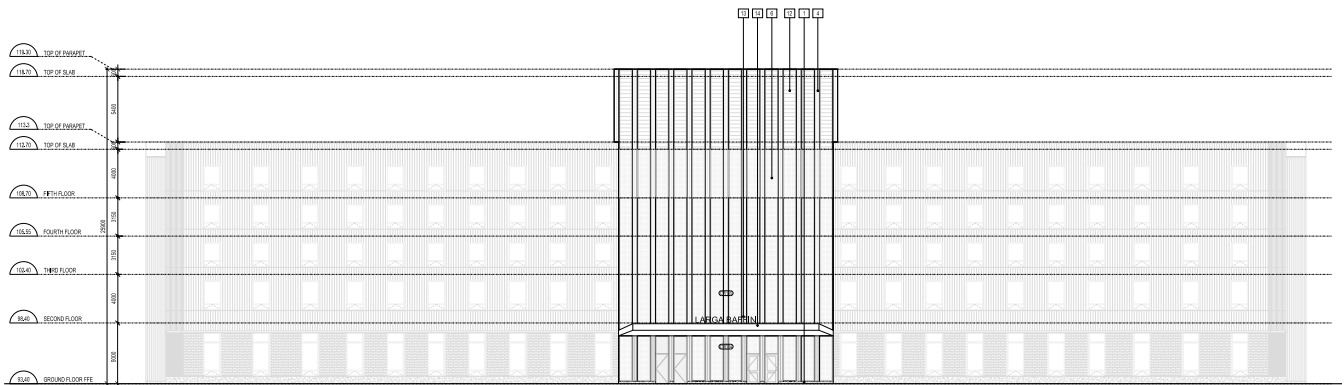


Figure 29: West Elevation

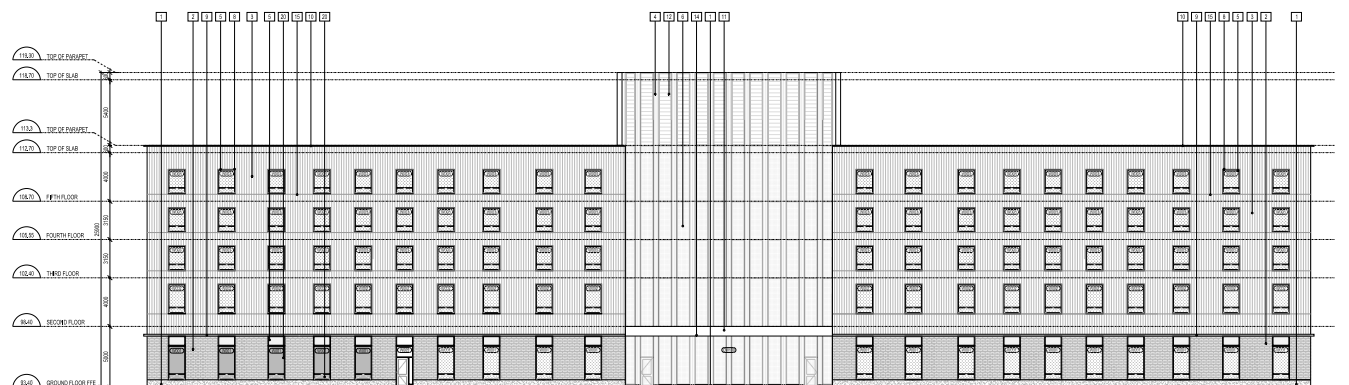


Figure 30: East Elevation

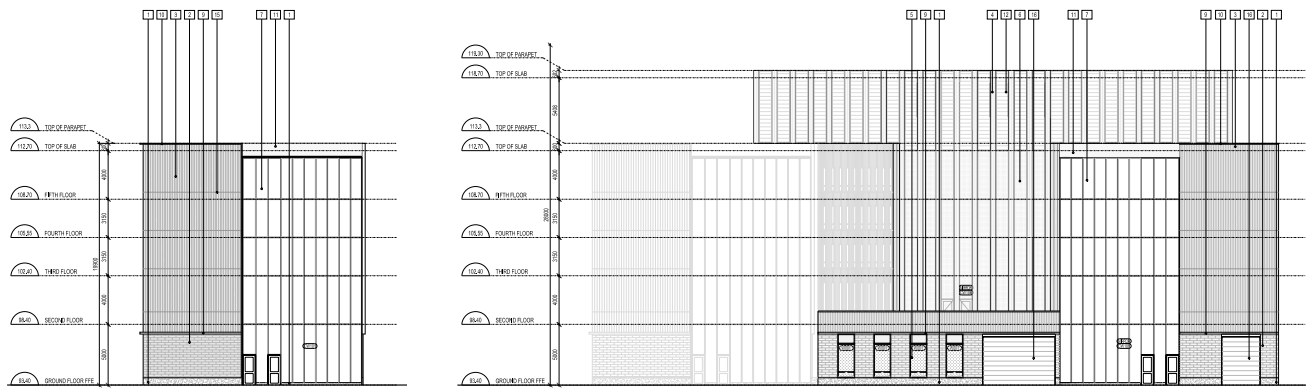


Figure 31: South Elevations

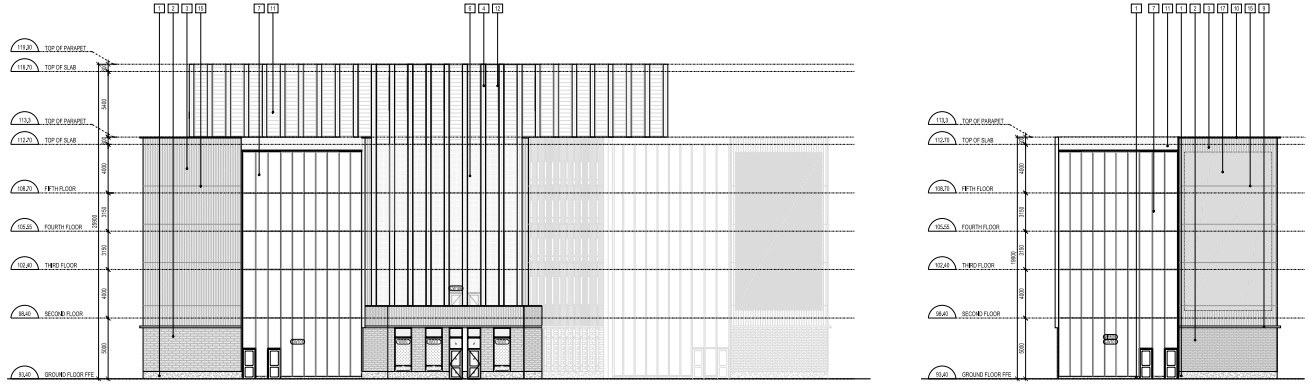


Figure 32: North Elevations

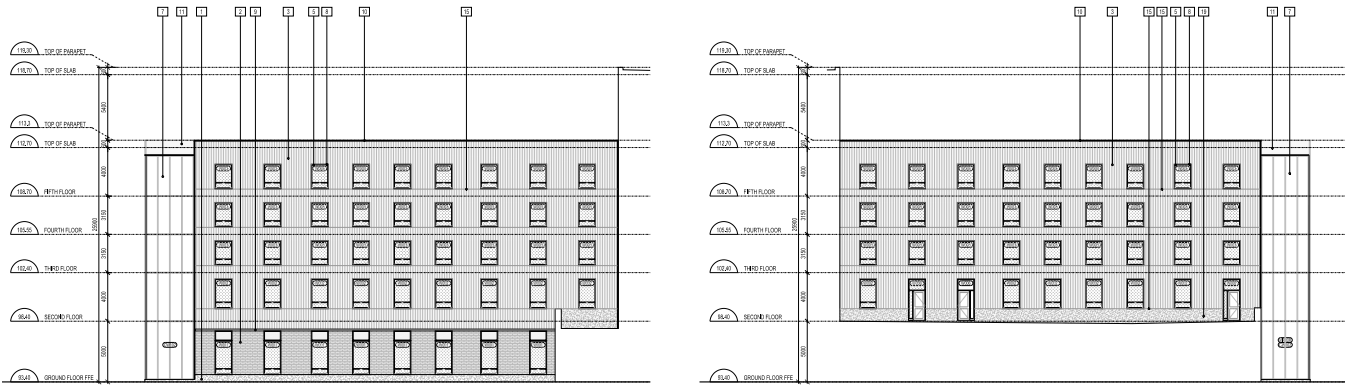


Figure 33: Courtyard West & East Elevations

2.6 Materials, Details and Fenestration

2.6.1 The material palette for the Project (Figure 35) incorporates masonry cladding at the base of the building with wood cladding above. Windows within the wings of the building have a “punched” quality and are generally rectangular and vertical in character. The central block of the building from the ground floor to the

mechanical penthouse has a vertical articulation, it is anticipated to be a combination of curtain wall framing with metal or precast vertical fins. These fins will be in a colour similar to the window frame colour used in the rest of the building. Wood panelling is featured in the glazed stair enclosures at the end of each wing.



Figure 34: View of the Project from Hunt Club Road, looking southeast



Figure 35: Proposed architectural material palette

2.7 Sustainability

2.7.1 It is the intention of the Project's design to reflect sustainable design practices to reduce resource consumption (electricity, water, natural gas) along with its initial and ongoing carbon footprint. This is being achieved through the careful selection of building systems, construction materials, and individual fixtures.

2.7.2 The civil and landscape design take into consideration passive water infiltration and water storage provisions below grade. In addition, the planted rooftop terraces on the second floor (Figure 36), along with the control flow roof drains all help contribute to sustainable storm water management practices throughout the Project.

2.8 Bird-Safe Design

2.8.1 All glazing within the first 16m of building height will be treated with a pattern of visual markers to suit the recommendations of the City of Ottawa's Bird-Safe Design Guidelines, including glazing in and around the rooftop terraces on the second floor of the building.



Figure 36: View of second floor amenity terrace

2.9 Relationship to Site Landscape

2.9.1 At grade, the north-facing courtyard and landscaping work to block the noise of Hunt Club Road (Figure 37). This space provides clients a pleasant view of nature and connection to the main street.

2.9.2 The landscaped area on the east acts as a buffer for the residential properties adjacent to the Project. This space was also designed to be more secluded than the north-facing courtyard allowing clients a quiet place for repose.

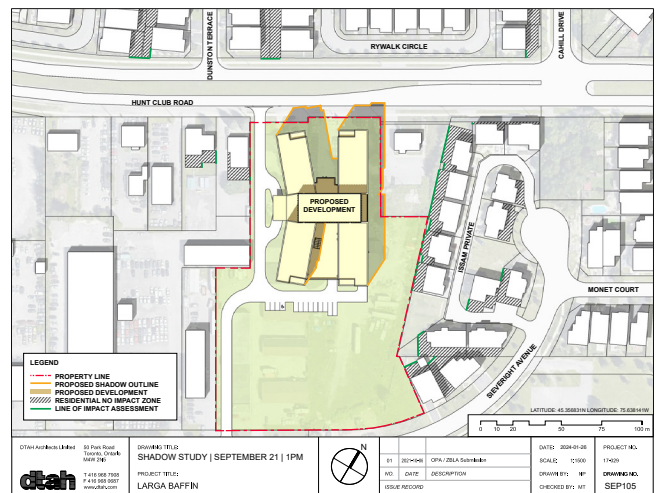
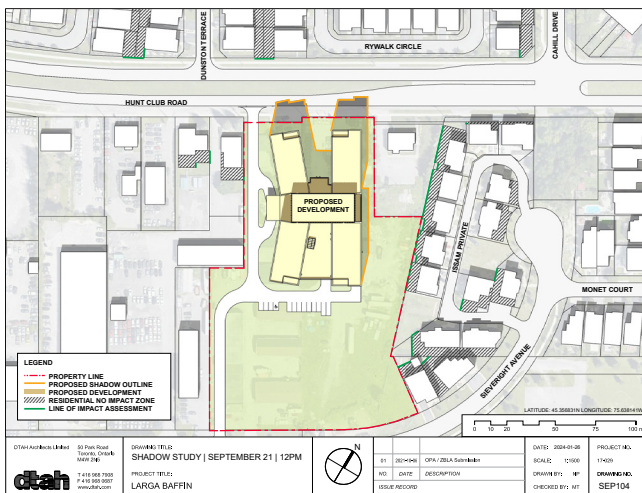
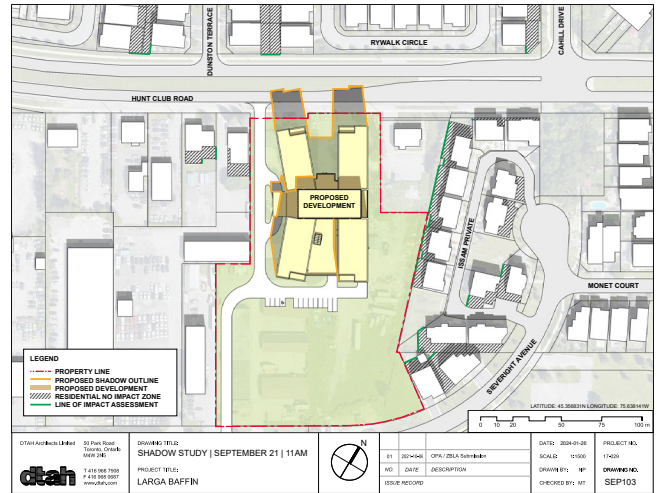
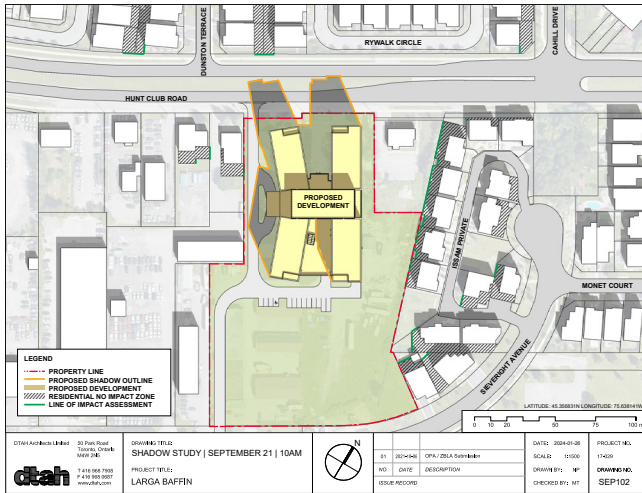
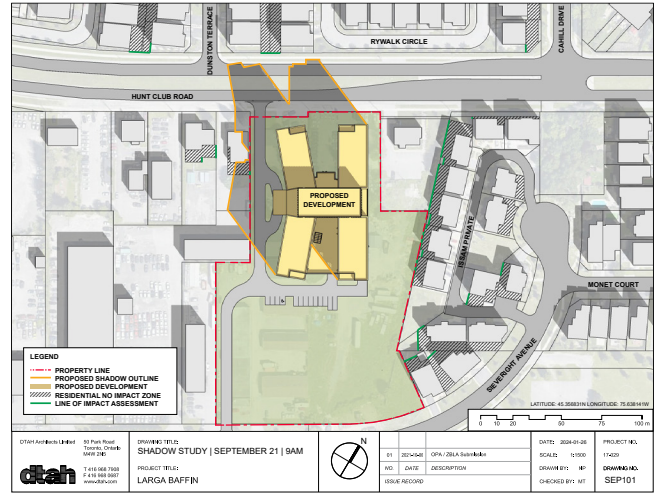
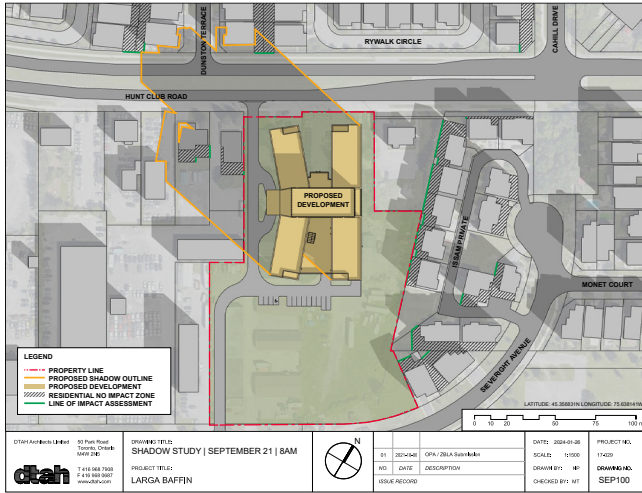
2.10 Shadow Impact Analysis

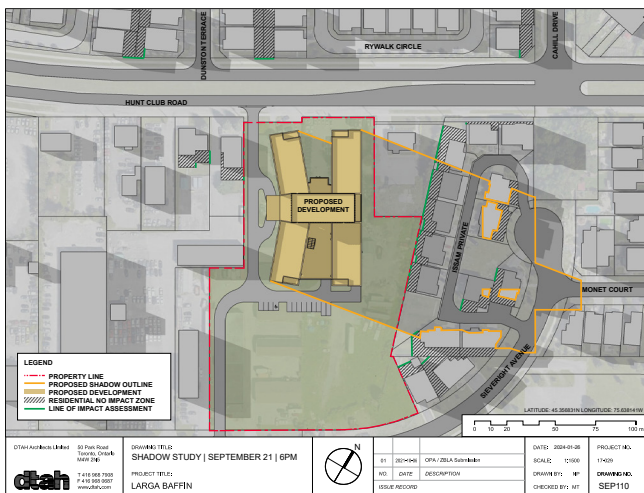
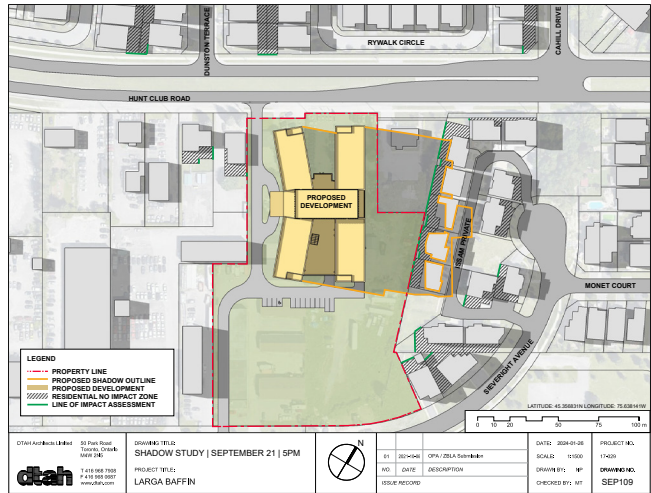
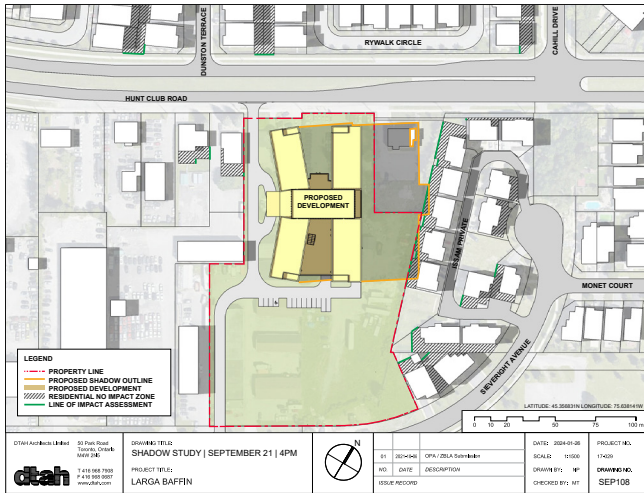
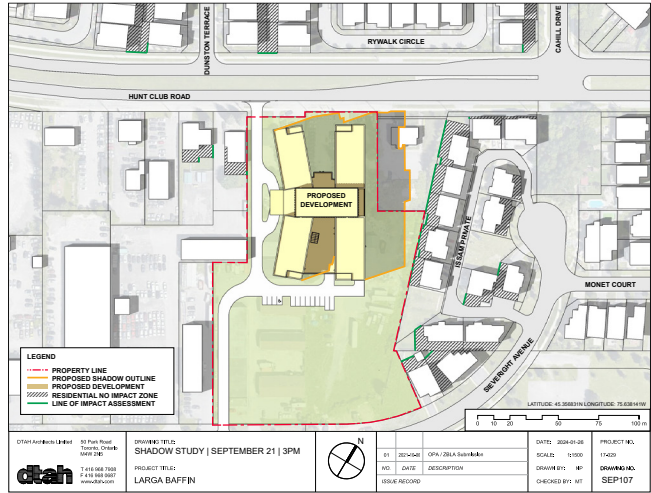
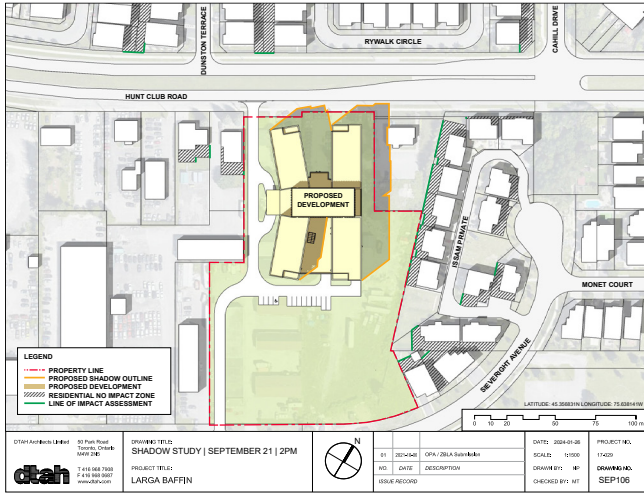
2.10.1 This series of shadow studies illustrate the impact the proposed Larga Baffin facility has with regard to shadows projected on the surrounding site. As mentioned the four wings of the building have a height of 19.9m with the central block inclusive of mechanical penthouse measuring at 25.9m.

2.10.2 The Project was situated carefully within the site to mitigate its shadow impact on the surrounding context. The large setbacks being proposed towards the west, east, and south offer a buffer to adjacent properties. Generally speaking, shadow impacts triggered by the the Project can be considered modest, and are most visible in the evening hours.

Study 1: 18m + penthouse as compared to 19.9m + penthouse

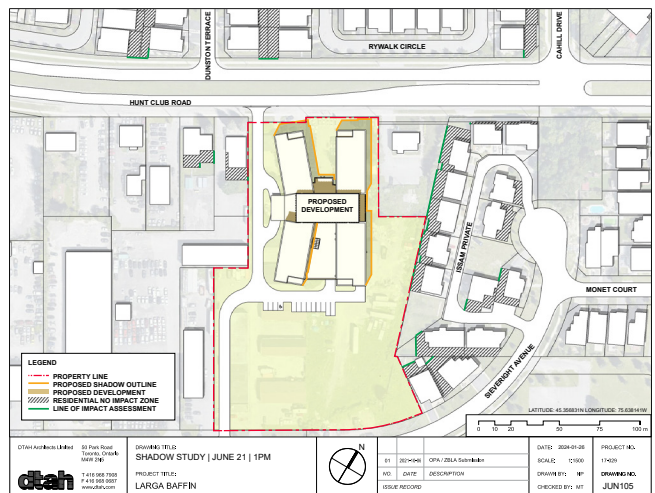
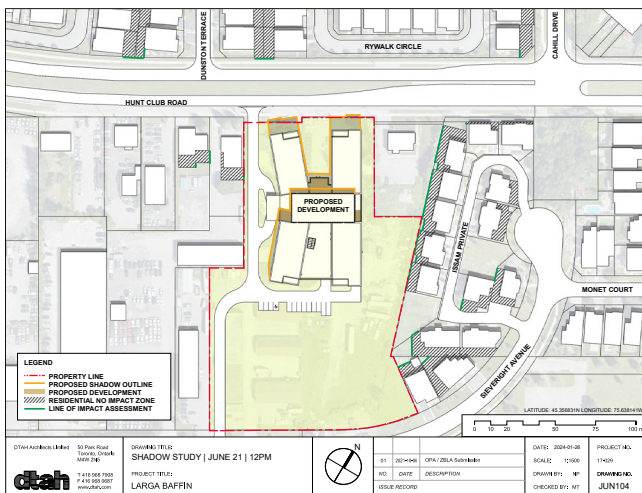
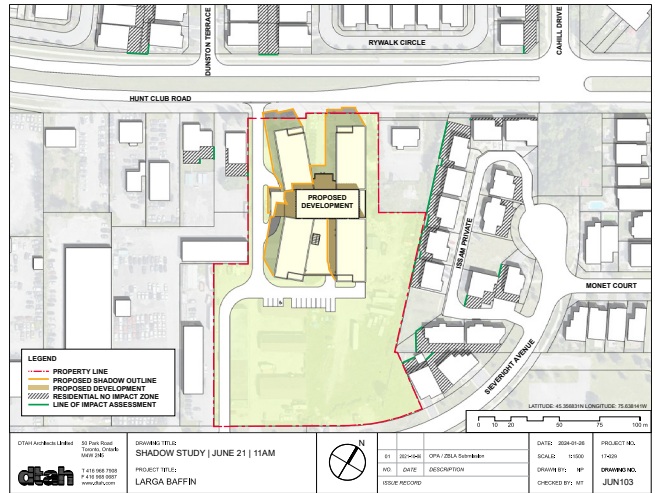
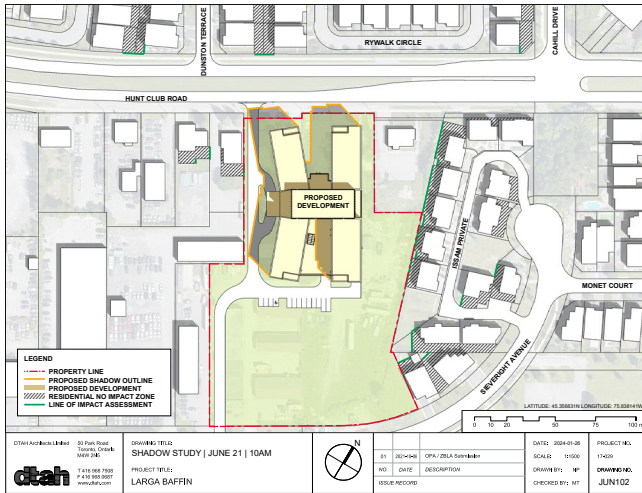
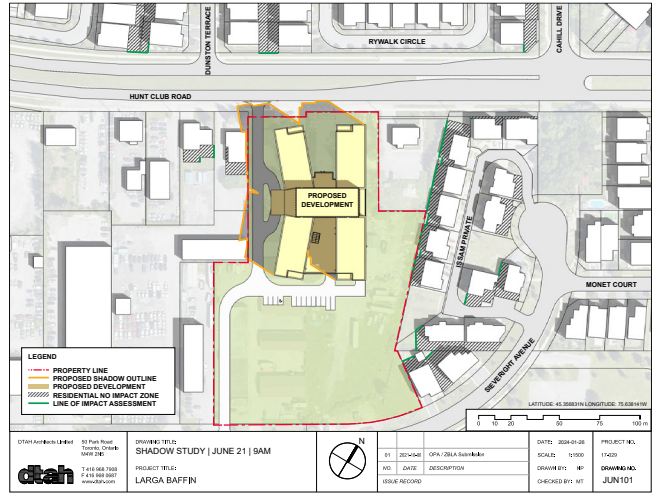
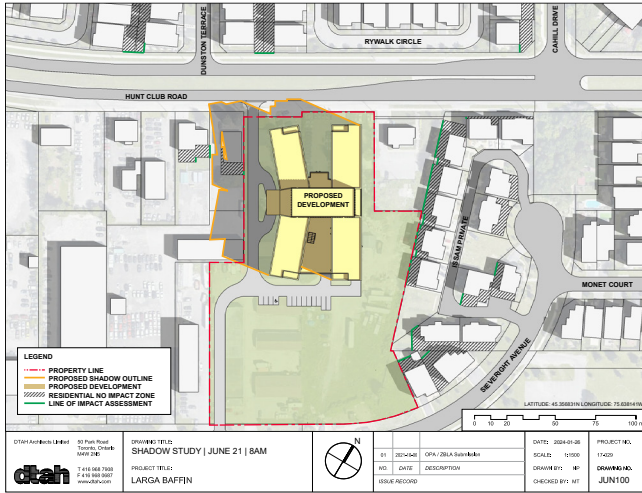
September 21 - 8:00 am - 6:00 pm

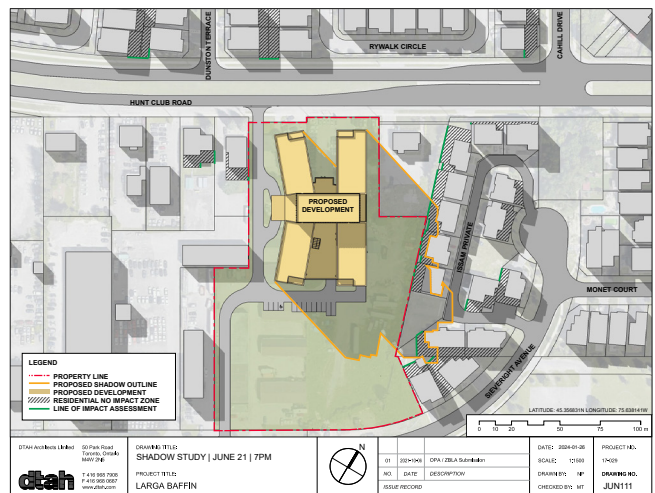
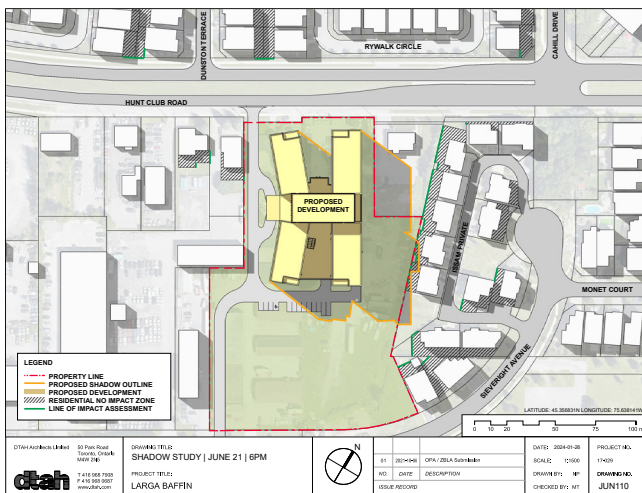
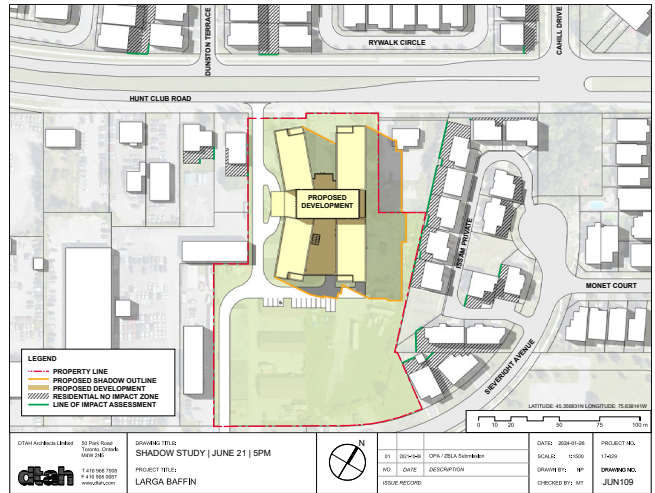
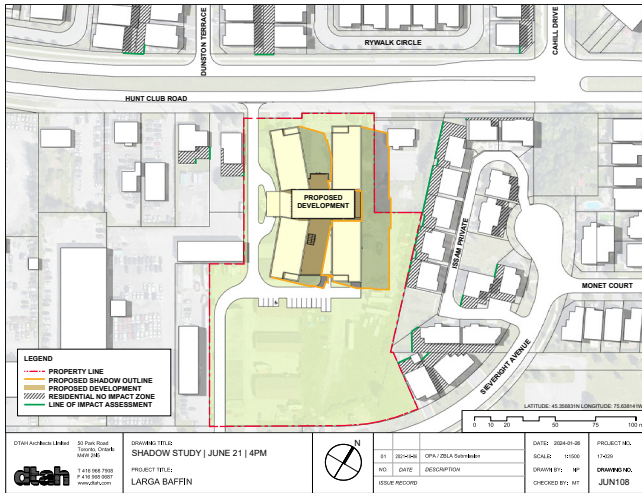
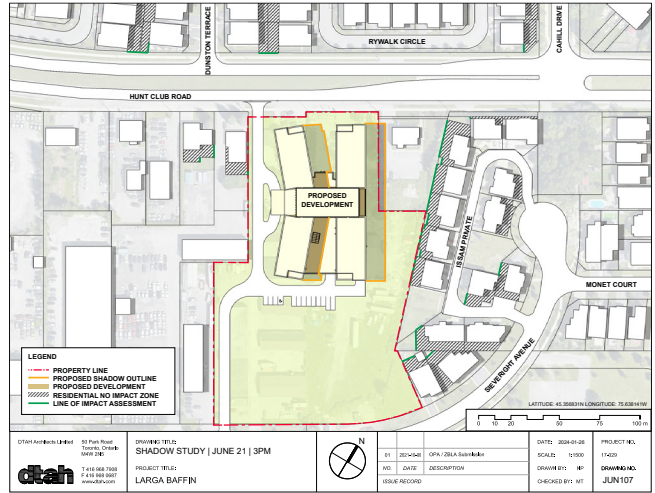
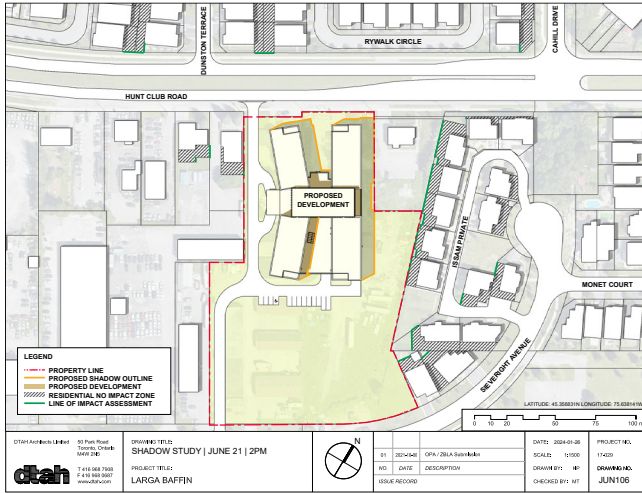


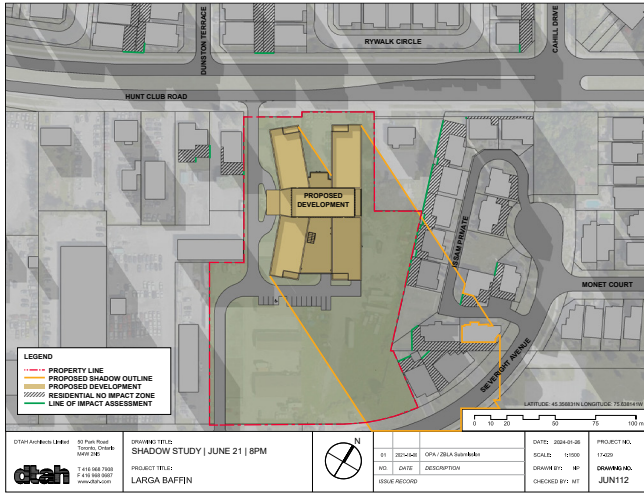


Study 1: 18m + penthouse as compared to 19.9m + penthouse

June 21 - 8:00 am - 8:00 pm







Study 1: 18m + penthouse as compared to 19.9m + penthouse

December 21 - 9:00 am - 3:00 pm

