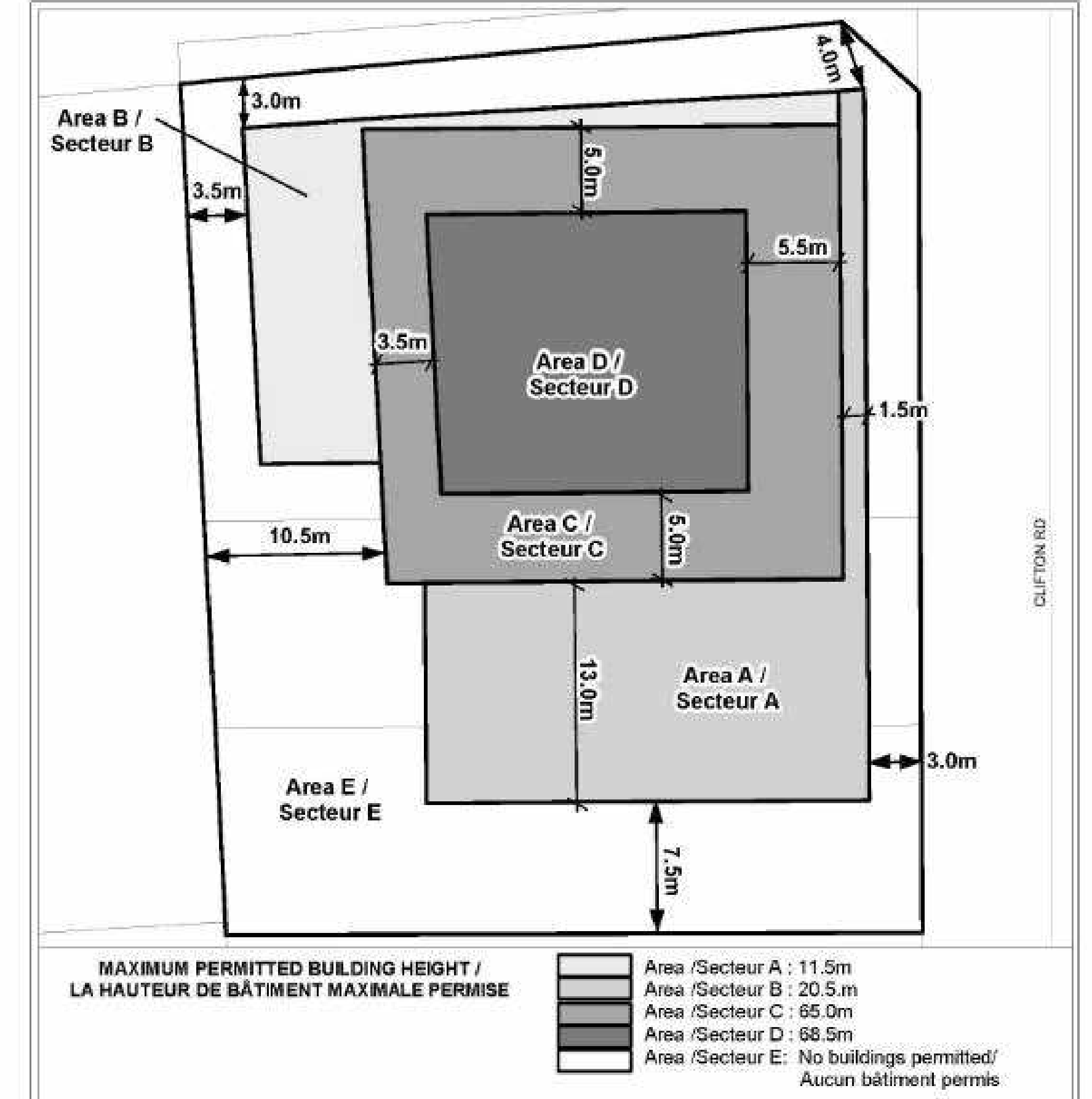
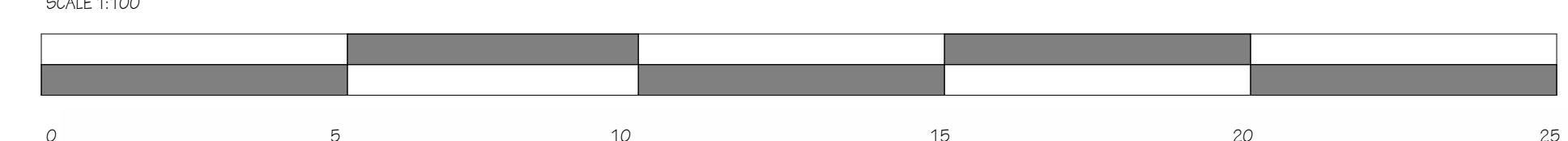


Note all existing site information as per site survey plan dated March 2, 2018 and prepared by STANTEC GEOMATICS Ltd. Ref No: 1818170028-110  
 LOTS 24 AND 25 AND PART OF LOTS 46, 47 AND 48 REGISTERED PLAN 360 CITY OF OTTAWA

ZONING TABLE	
Current Zoning	TM22(2011)0400-0
Site Area	2,176.48 m <sup>2</sup> 23,427.43 ft <sup>2</sup>
Number of Dwelling Units	244 units
Lot Area	N/A
Lot Frontage	N/A
Minimum Lot Width	N/A
Setbacks	Refer to ZONING ENVELOPE
Maximum Building Height	66.5m - REFER TO ZONING ENVELOPE
Amenity Area	71.91 m <sup>2</sup> mech penthouse, 67.41 w/o mech
Total of 6m <sup>2</sup> per dwelling unit of which 50% is required to be communal	1,374m <sup>2</sup> Common Amenity Space: 714.00 m <sup>2</sup>
Percentage of Site Landscaping 30% of site to be landscaped	651.87m <sup>2</sup> Landscaped Area = 664.61 m <sup>2</sup>
Parking Residential: 5 spaces/unit after first 12 Visitors: 1 spaces/unit after first 12	Minimum Required: Residential No Minimum Visitors: 25 spaces (0.1 ratio)
By-Grade Parking Requirements Residential: 1.0 spaces/unit	Minimum Required: Residential 244 units x 1.0 = 244
	Total Provided: 87 (0.36 ratio) Residential: 62 spaces (0.28 ratio) Visitors: 25 spaces (0.1 ratio)
	Total Provided: 252 (1.03 ratio) At-Grade: 50 spaces Indoor/Vertical: 97 spaces Horizontal/Double-Stacked: 110 spaces

**LEGEND:**

- 32 Asphalt
- 32 Building Existing
- 32 Building New
- 32 Conc. Curb Depressed
- 32 Conc. Curb To City of Ottawa Standards SC7
- 32 Concrete Retaining Wall
- 32 Concrete pavers
- 32 Concrete Paver-O2
- 32 Concrete Sidewalk
- 32 Grass
- 32 Mech Grate
- 32 Planting O1
- 32 Planting O2
- 32 Site Utilities
- Herringbone Concrete Retain Pattern 12mm Deep Chevron Traction Grooves 300mm G.C.
- PROPOSED FIRE ROUTE
- ROAD WIDENING EASEMENT
- AREA IMPACTED BY ROAD WIDENING EASEMENT
- DEPRESSED SIDEWALK CONTINUOUS
- FH EXISTING FREE HYDRANT
- EXISTING CATCH BASIN
- NEW CATCH BASIN
- PLANTERS
- HA-PROPERTY LINE
- HA-SITE ASPHALT
- HA-SITE BUILDING ABOVE
- HA-SITE BUILDING BELOW
- HA-SITE BUILDING EXISTING
- HA-SITE BUILDING OUTLINE
- HA-SITE CONC
- HA-SITE CONC CURB DETAIL TO CITY OF OTTAWA STANDARDS
- HA-SITE CONC CURB DEPRESSED TO CITY OF OTTAWA STANDARD SC-7
- HA-SITE CONC CURB TO BE REBUILT
- HA-SITE ELEC
- HA-SITE FENCE
- HA-SITE FURNISHINGS
- HA-SITE MALCH
- HA-SITE NEIGHBOURING LOTS
- HA-SITE PAVERS
- HA-SITE PLANTING
- HA-SITE RETAINING WALL
- HA-SITE SETBACK LINE
- HA-SITE SIDEWALK
- HA-SITE SIDEWALK JOINT
- HA-SITE SOFT LANDSCAPE
- HA-SITE TREES
- HA-SITE UTILITIES
- EXISTING MANHOLE
- FDC FIRE DEPARTMENT CONNECTION
- EXISTING UTILITY POLE



**Ottawa**  
 D02-03-18-0094 19-0961-01  
 M Zoning By-law/Schedule 461

This is Schedule 400 to Zoning By-law No. 2008-250  
 Annexe 400 au Règlement de zonage n° 2008-250

This is Attachment 2 to By-law Number 2019-348, passed October 9, 2019  
 Pièce jointe n° 2 du Règlement municipal n° 2019-348, adopté le 9 octobre, 2019

Minimum required setbacks/  
 Retraits minimaux requis

Minimum required setbacks/  
 Retraits minimaux requis

NOT FOR CONSTRUCTION