

Note: All existing site information as per site survey plan dated March 2, 2018 and prepared by STANTEC GEOMATICS Ltd. Ref No. 161613828-110

LOTS 24 AND 25 AND PART OF LOTS 45, 46, 47 AND 48 REGISTERED PLAN 368 CITY OF OTTAWA

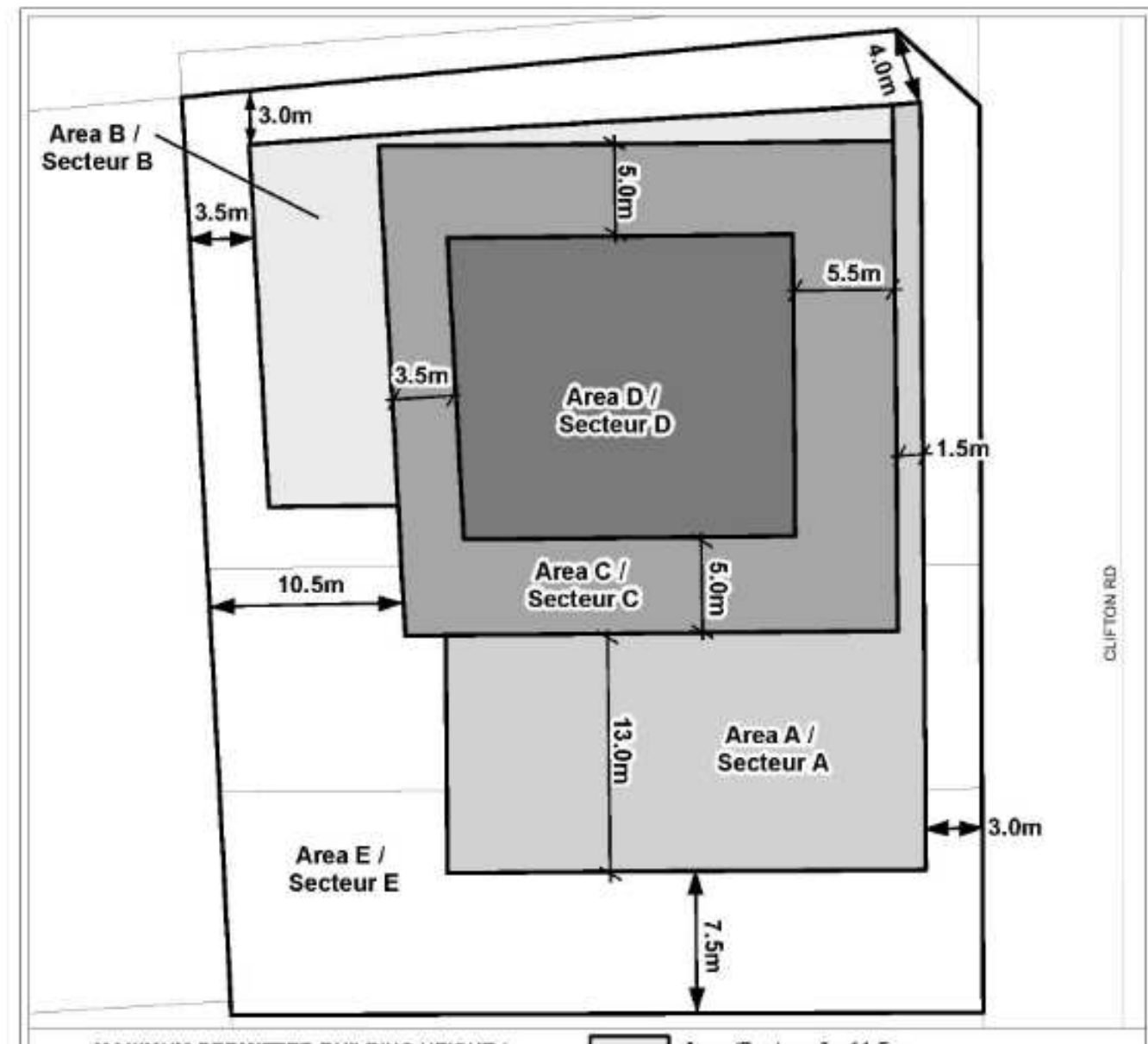
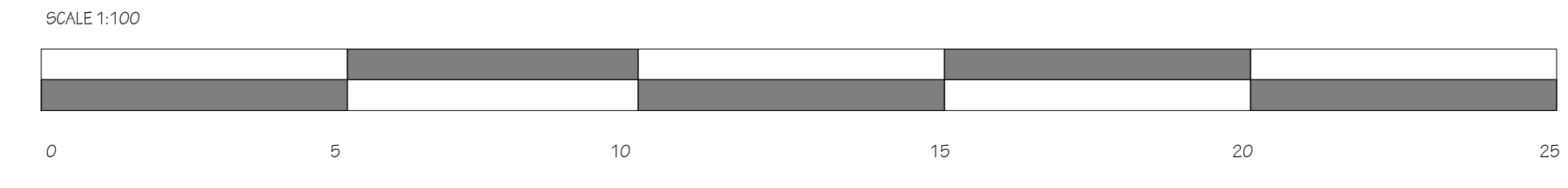
Note: Bearings and Lengths of all property boundaries noted on the site plan are reflect the original survey, and do not account for changes to the corner site triangle.

Snow Storage Strategy: Snow to be collected and relocated off site.

ZONING TABLE			
Current Zoning	TM2018-11-0400		
Site Area	2,176.45 m ² 23,427.43 ft ²		
Total Gross Building Area	10,109 m ² 108,923 ft ²		
Total Gross Floor Area (City Def.)	14,373 m ² 154,707 ft ²		
Residential Gross Floor Area (City Def.)	14,178 m ² 152,609 ft ²		
Comm./Retail Gross Floor Area (City Def.)	195 m ² 2,098 ft ²		
Number of Dwelling Units	244 units		
Unit Type	Units	No. of Units	Percentage
	Studio	97	23%
	1 Bed	60	25%
	1 Bed - Internal	3	1%
	1 Bed + Den Internal	3	1%
	1 Bed + Den	92	21%
	2 Bed + 1 Internal	20	8%
	2 Bed	38	16%
	2 Bed + Den	10	4%
REQUIRED	PROVIDED		
Lot Area	N/A	2,176.45 m ²	23,427.43 ft ²
Lot Frontage	N/A	38.82 m	
Minimum Lot Width	N/A	38.82 m	
Front Yard Setback	REFER TO ZONING ENVELOPE	4.0 m	
Corner Side Yard Setback	REFER TO ZONING ENVELOPE	3.0 m	
Interior Side Yard Setback	REFER TO ZONING ENVELOPE	3.0 m	
Encouraged	REFER TO ZONING ENVELOPE	5.0 m	
Maximum Building Height	60.5m - REFER TO ZONING ENVELOPE	60.5m (includes permitted mech. projection)	
Amenity Area	Total of 6m ² per dwelling unit, 1,463m ² Communal (50% of required total), 732 m ²	Private Amenity Space: 1,186 m ² Common Amenity Space: 799 m ²	
Percentage of Site Landscaping of which 50% is required to be communal	30% Site Area = 651.87m ²	Landscaped Area = 930 m ²	
Parking Residential: 5 spaces/unit after first 12 Visitors: 1 space/unit after first 12	Minimum Required: Residential No Minimum Visitors: 1 = 25 spaces	Total Provided: 91 (0.37 ratio) Residential: 68 spaces (0.27 ratio) Visitors: 23 spaces (0.1 ratio)	
Bycycle Parking Requirements Residential: 1.0 spaces/unit	Minimum Required: Residential 244 units x 1.0 = 244	Total Provided: 250 (1.02 ratio) At Grade Int.: 30 spaces At Grade Ext.: 15 spaces Indoor/Vertical: 41 spaces Indoor/Horizontal Double Stack: 166 spaces	

LEGEND:

	32 Asphalt		HA-PROPERTY LINE
	32 Building Existing		HA-SITE ASPHALT
	32 Building New		HA-SITE BUILDING ABOVE
	32 Conc. Curb Depressed		HA-SITE BUILDING BELOW
	32 Conc. Curb To City of Ottawa Standards 5C7		HA-SITE BUILDING EXISTING
	32 Conc. Retaining Wall		HA-SITE BUILDING OUTLINE
	32 Concrete pavers		HA-SITE CONC.
	32 Concrete Paver-O2		HA-SITE CONC-CURB DETAIL TO CITY OF OTTAWA STANDARDS
	32 Concrete Sidewalk		HA-SITE CONC-CURB DEPRESSION TO CITY OF OTTAWA STANDARD 5C7
	32-Grass		HA-SITE CONC-CURB TO BE RESULT
	32-Mech Grate		HA-SITE ELEC.
	32-Planting O1		HA-SITE FENCE
	32-Planting O2		HA-SITE FURNISHINGS
	32-Site Utilities		HA-SITE MALCH
	Herringbone Concrete Face on Pattern		HA-SITE NEIGHBOURING LOTS
	12mm Deep Chevron Traction Grooves 300mm OC		HA-SITE PAVERS
	PROPOSED FIRE ROUTE		HA-SITE PLANTING
	ROAD WIDENING ENGAGEMENT		HA-SITE RETAINING WALL
	AREA IMPACTED BY ROAD WIDENING ENGAGEMENT		HA-SITE SETBACK LINE
	DEPRESSED SIDEWALK CONTINUOUS		HA-SITE SIDEWALK
	FH		HA-SITE SIDEWALK JOINT
	EXISTING FIRE HYDRANT		HA-SITE SOFT LANDSCAPE
	EXISTING CATCH BASIN		HA-SITE TREES
	NEW CATCH BASIN		HA-SITE UTILITIES
	PLANTERS		EXISTING MAN HOLE
			FIRE DEPARTMENT CONNECTION
			EXISTING UTILITY POLE



MAXIMUM PERMITTED BUILDING HEIGHT / LA HAUTEUR DE BÂTIMENT MAXIMALE PERMISE

- Area A / Secteur A: 11.5m
- Area B / Secteur B: 20.5m
- Area C / Secteur C: 65.0m
- Area D / Secteur D: 65.0m
- Area E / Secteur E: No buildings permitted / Aucun bâtiment permis

Ottawa

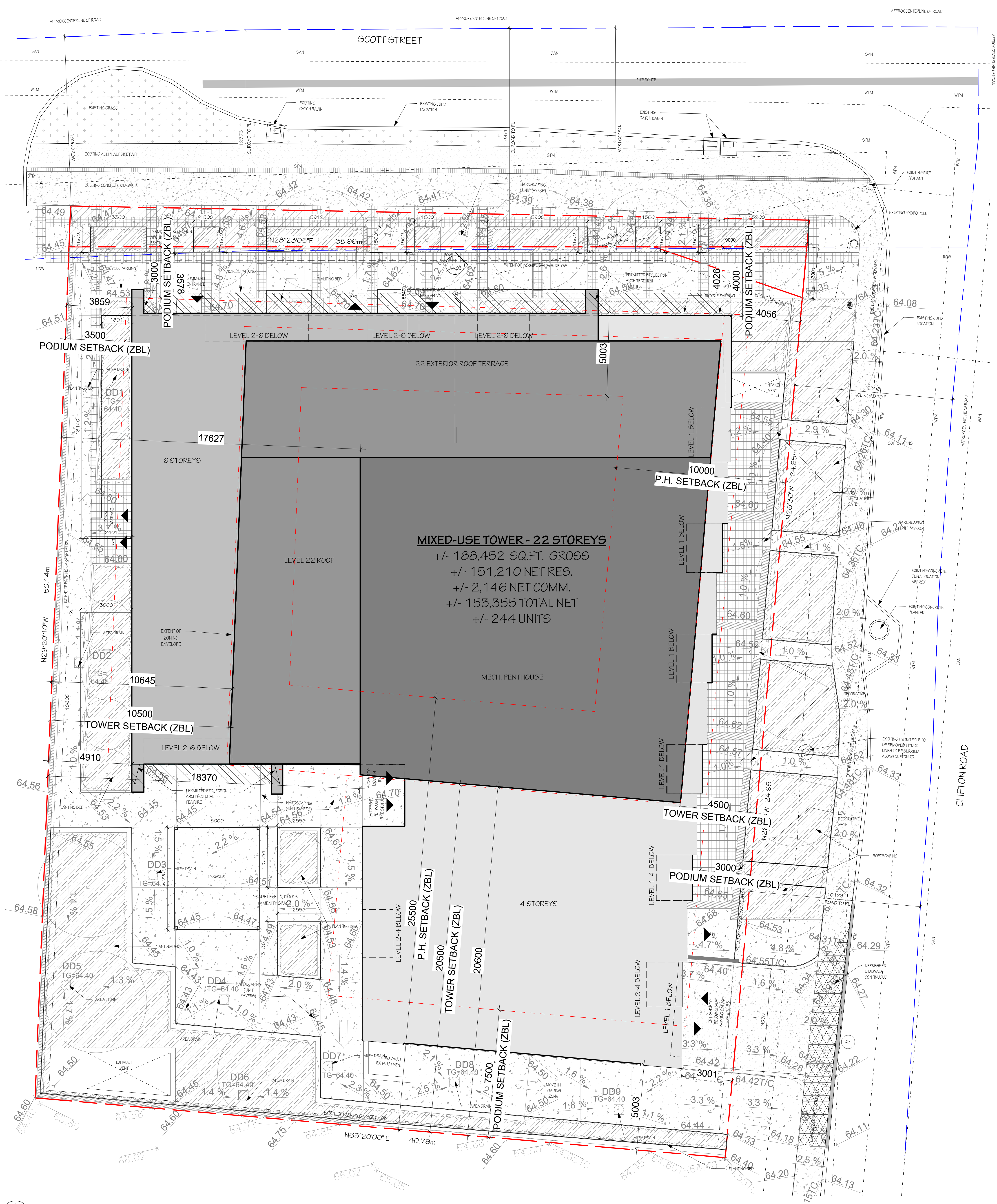
DEP-60-18-004 19-0961-D
M Zoning, Bylaw/Lois

This is Schedule 400 to Zoning By-law No. 2008-250
Annexe 400 au Règlement de zonage n° 2008-250

This is Attachment 2 to By-law Number 2019-348, passed October 9, 2019.
Pièce jointe n° 2 du Règlement municipal n° 2019-348, adopté le 9 octobre, 2019.

Minimum required setbacks / Reculs minimaux requis

Minimum required setbacks / Reculs minimaux requis



MIXED-USE TOWER - 22 STOREYS
 +/- 188,452 SQ.FT. GROSS
 +/- 151,210 NET RES.
 +/- 2,146 NET COMM.
 +/- 153,355 TOTAL NET
 +/- 244 UNITS

NOT FOR CONSTRUCTION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
DO NOT SCALE DRAWINGS.
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PROJECT
1950 SCOTT STREET

DRAWING TITLE
SITE PLAN-SPA

DRAWN	DATE	SCALE
FB	07/5/2024	As Indicated

PROJECT
2128

DRAWING NO.
SPA - A1.00

REVISION NO.
191912