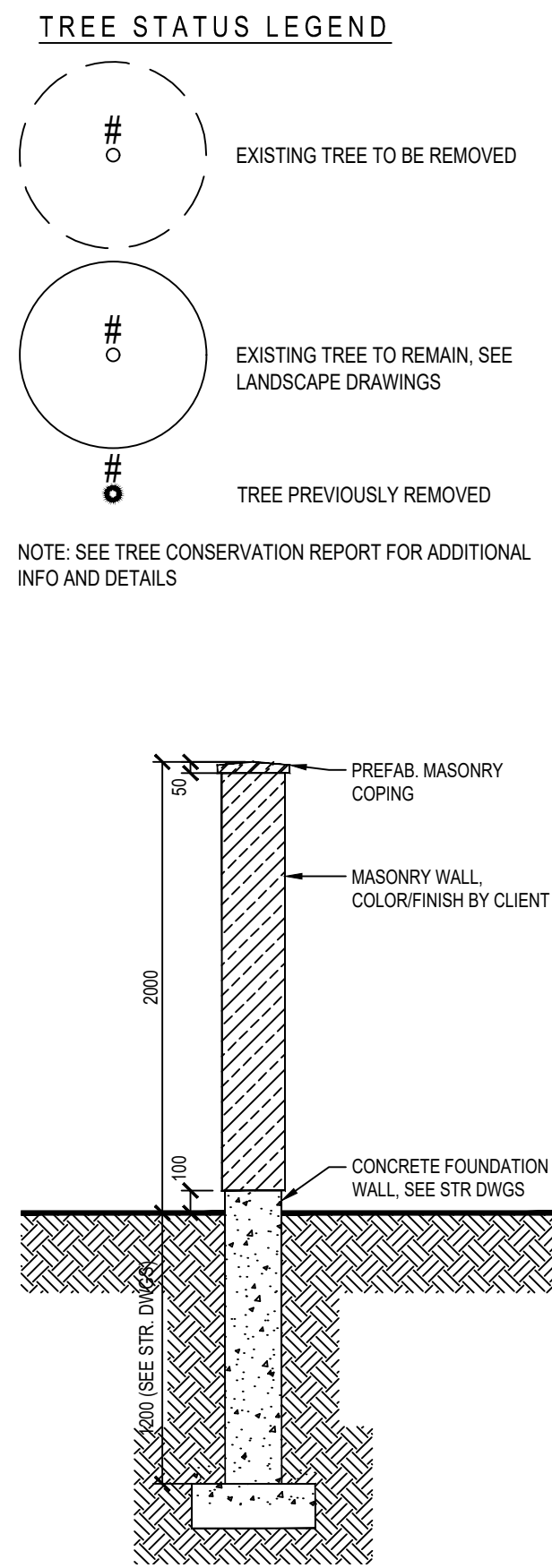


PATH: S:\2023\27\_F33-027 OTTAWA - 1 CENTREPOINTE DR. PROPERTY ALIGNMENT\3.0 - DRAWINGS\3.1 - DESIGN\3.1 SITE PLAN\3-07-25 RV\A-100 SITE PLAN R1.9.DWG | PLOTTED ON: 6 August 2024

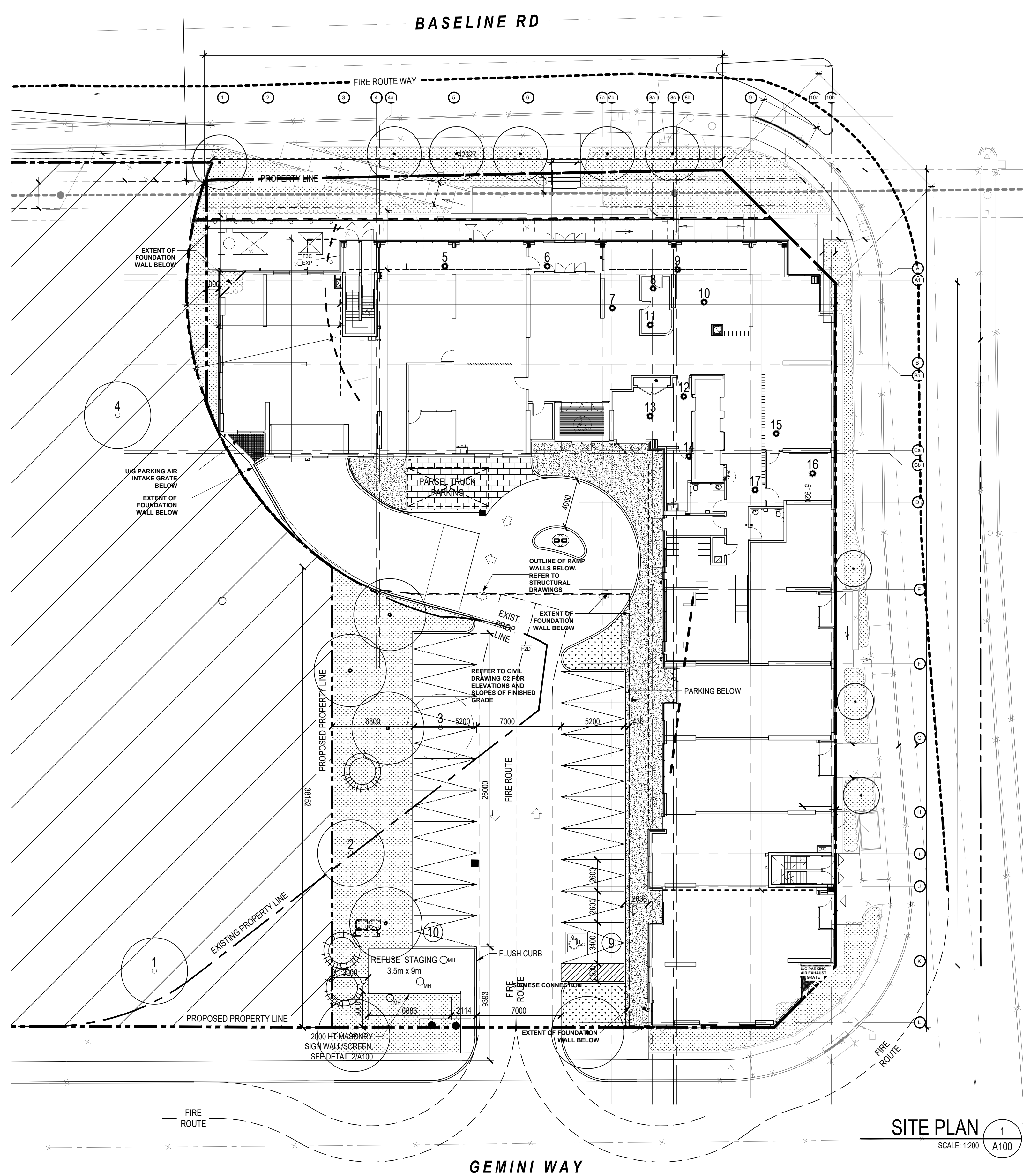
ISSUED FOR COORDINATION  
 PROJECT N9-23-027  
 ISSUE DATE: 06 AUG. 2024

1.9  
 REVISION

# PROPOSED SITE PLAN A-100



SCREEN WALL DETAIL 2  
 SCALE: 1:30 A100



SITE PLAN 1  
 SCALE: 1:200 A100

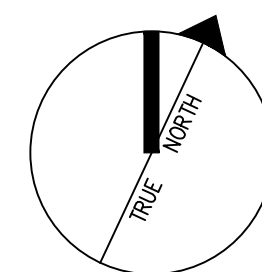
PARKING REQUIRED (By-law No.2008-250)			
Table 101: MIN PARKING SPACE RATES - R22			
ZONING REQUIREMENT (AREA B)	REQUIRED SPACES	PROVIDED SPACES	COMPLY
RETAIL (MIXED USE) (0 REQ'D <1500m <sup>2</sup> )	0	0	YES
RATE PER DWELLING UNIT	0.20	0.51	YES
# OF PARKING SPACES	53	137	YES
VISITOR PARK'G (0(0-12)+0.1/UNIT (12-267)	26	26	YES
SURFACE PARKING			
U/G PARKING P1		19	
U/G PARKING P2		36	
U/G PARKING P3		39	
U/G PARKING P4		39	
U/G PARKING P4		42	
<b>TOTAL SPACES</b>	<b>79</b>	<b>175</b>	<b>*INCLUDES ACCESSIBLE SPACES</b>
<b>SURPLUS / DEFICIT</b>	<b>96</b>	<b>221%</b>	<b>YES</b>
<b>*ACCESSIBLE SPACES *COUNTED AS PART OF TOTAL SPACES ABOVE</b>			
2(1-30) +2(31-60) +2(61-100)+2(PER 30)	6	6	YES
SMALL CARS	MAX	PROVIDED	
SMALL CAR (2.4x4.6) 40% MAX	40%	10%	YES
	32	17	YES
<b>BICYCLE PARKING - TABLE 111A</b>			
.05 PER DWELLING UNIT	134	286	YES
VERTICAL (MAX)	53(40%)	51	214
HORIZONTAL(MIN)	81	163	72
STACKED	-	72	72

ZONING INFORMATION - ZONING BY-LAW 2008-250 City of Ottawa Official Plan & Baseline-Woodroffe Secondary Plan			
Permitted Use:	Yes	NO	
MIXED USE	YES		
Part 10 - Mixed Use / Commercial Zones (Sections 185-198)	REQUIRED	PROVIDED	
	# / M <sup>2</sup> / M	M <sup>2</sup> / M	COMPLY
0.10 Lot Area	NO MIN.	3179.3	YES
0.11 Floor Space Index	4.4	4.3	YES
0.12 Lot Frontage (Min)	N/A	53.8	YES
0.13 Lot Coverage (Max)(Combined)	N/A	47.3%	YES
0.14 Building Height (Max) - Sect 9	45m	45m	YES
0.15 Bldg Height # of Storeys (Max)	N/A	14	YES
0.16 Front Yard Setback (Min)	N/A	3.3	YES
0.16a Hydro Line Setback	5m	5m	YES
0.17 Side Yard Setback (Min)	N/A	0.0	YES
0.18 Rear Yard Setback (Min)	N/A	0.0	YES
0.19 Lot Depth (Min)	-	70.7	YES
0.20 Landscaped Area Width (Min)	N/A	J	YES
0.21 Landscape Area of Parking Lot	15%	34.3%	YES
0.22 Amenity Space -6sm/unit	1602.0	1645.9	YES
L01 amenity area	-	699.0	YES
L15 amenity area	-	639.0	
L15 Roof Amenity Area	-	310.9	
PARKING STANDARDS (SECTION 6.18)			
PARKING STALLS - STANDARD	2.6 x 5.2		YES
PARKING STALLS - SMALL SPACE	2.4 x (5.2 or 4.6)		YES
ACC. PARKING - AODA TYPE A&B	4 / 3.4 x 5.2 (+1.5) x 2.75		YES
DRIVE AISLE - TWO WAY AT GRADE	6.7m		YES
DRIVE AISLE - TWO WAY PARK. GARAGE	6.0m		YES
LOADING SPACE - STANDARD	3.5 x 9.0 x 4.2(h)		YES
LOADING SPACE - OVERSIZED	4.3 x 13.0 x 4.2(h)		YES
BICYCLE PARKG, HORIZ - Table 111B	0.60 x 1.8		YES

AREAS OF PLAN THAT DO NOT COMPLY WITH ZONING BYLAW

GEMINI WAY

**1 CENTREPOINTE DR. PROPERTY ALIGNMENT**  
 2140 BASELINE RD, NEPEAN  
 (OTTAWA) ON, K2G 6E2  
 Closest Major Intersection: Hwy 416 & Hwy 417



CLIENT:  
 THEBERGE HOMES  
 904 LADY ELLEN PLACE  
 OTTAWA, ON K1Z 5L5

